

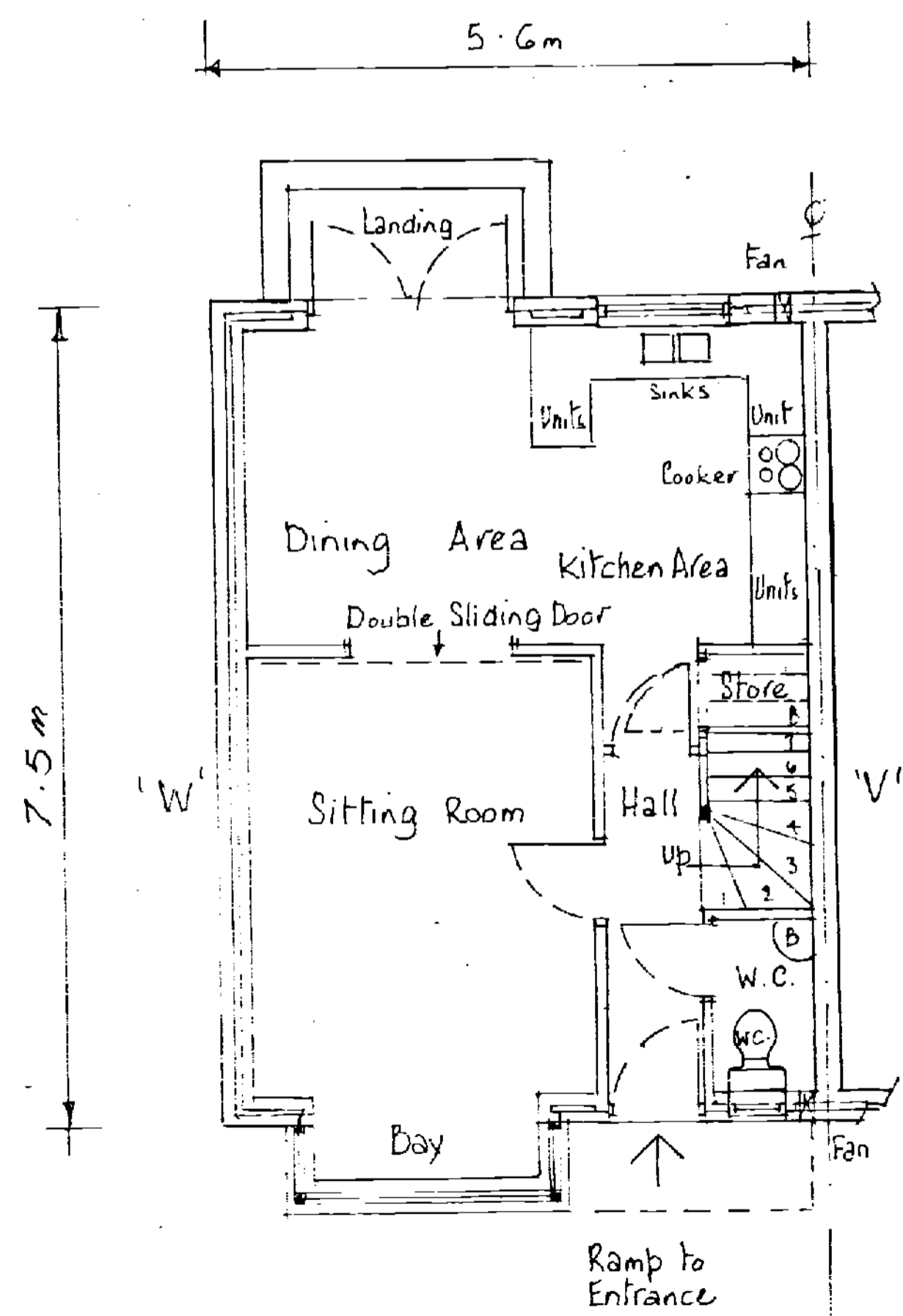


Side Elevation 'W'  
Scale 1:100

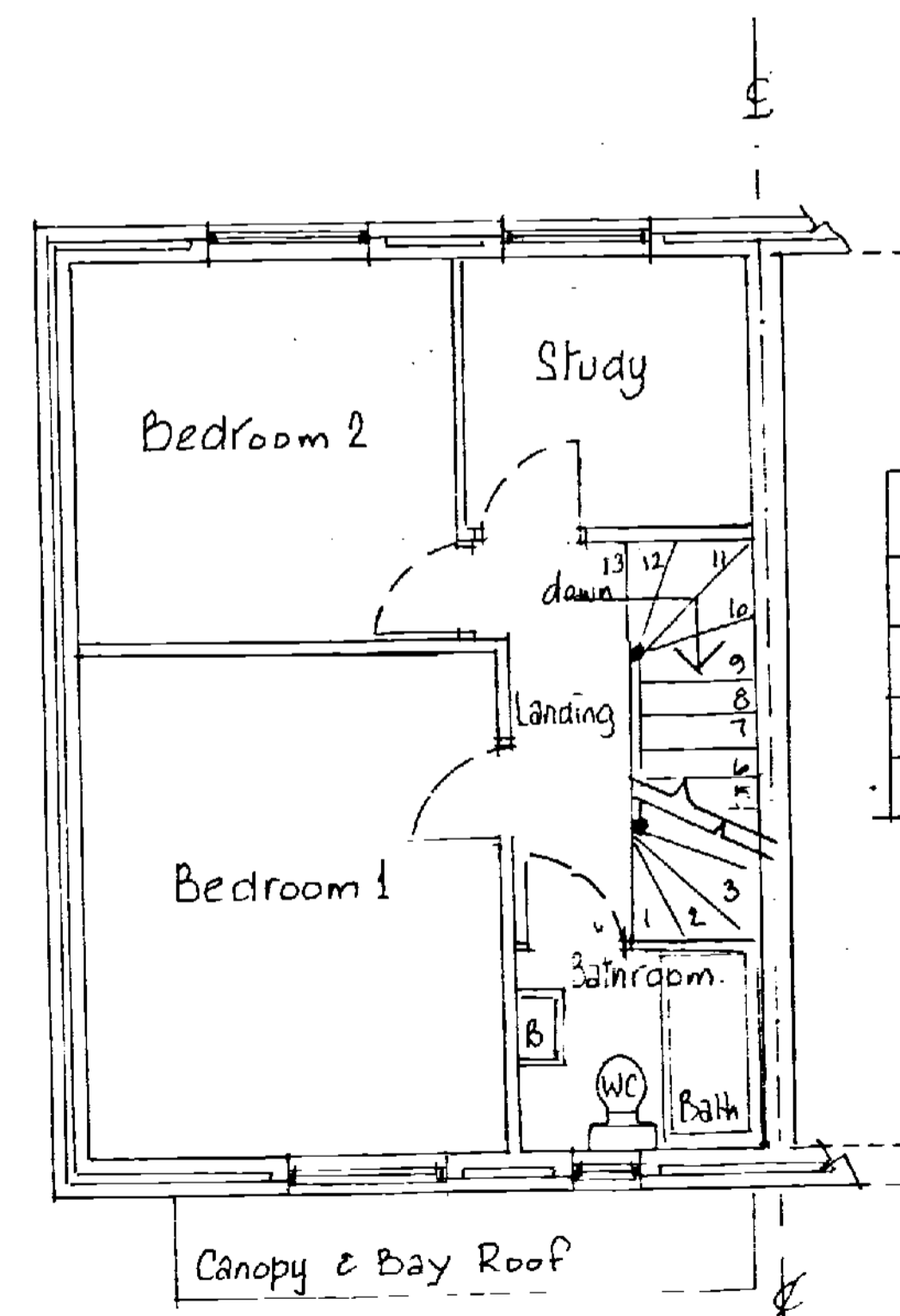
Rear Elevation  
(North or South)  
Scale 1:100

Front Elevation  
North or South  
Scale 1:100

Side Elevation 'V'  
Scale 1:100

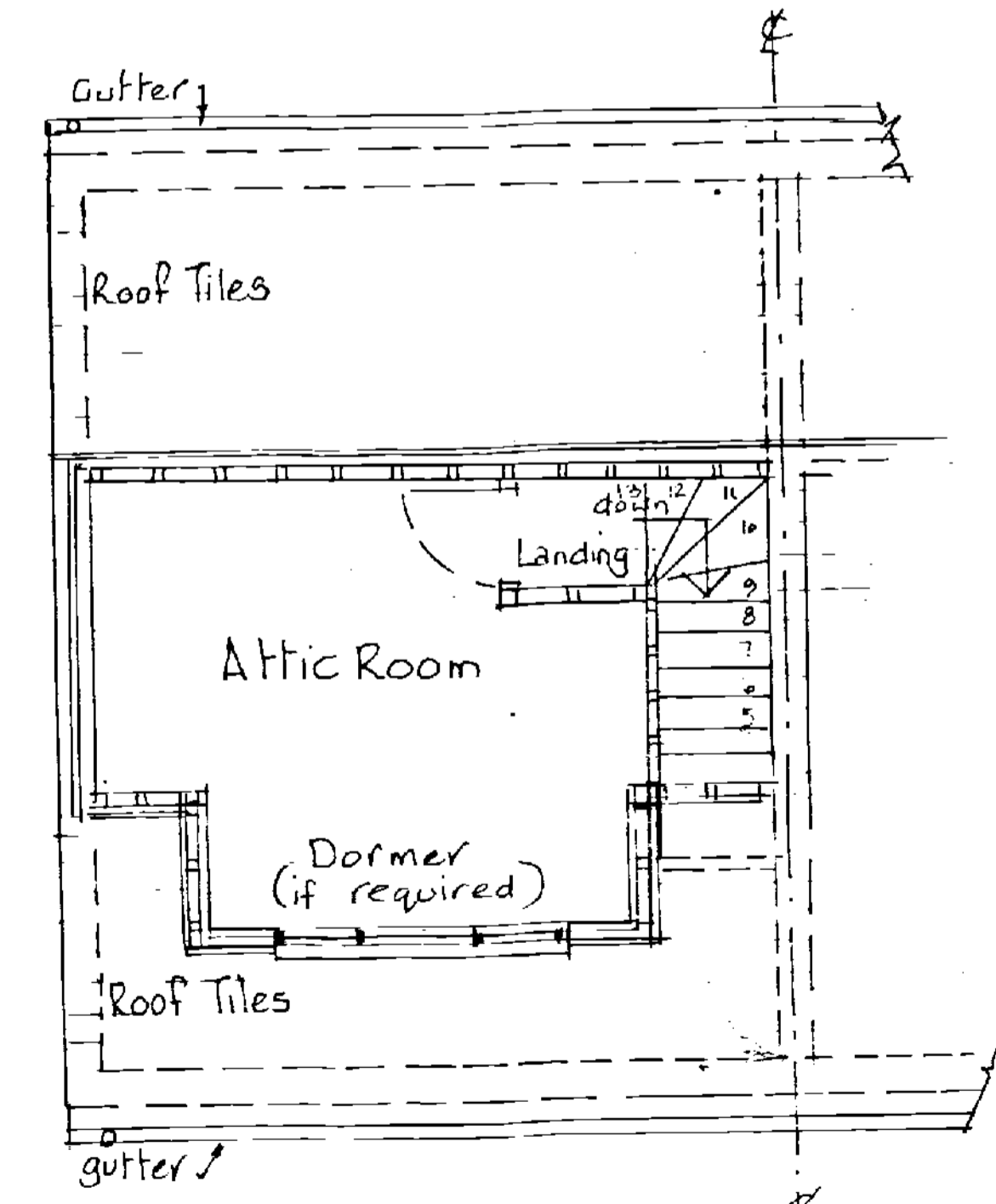
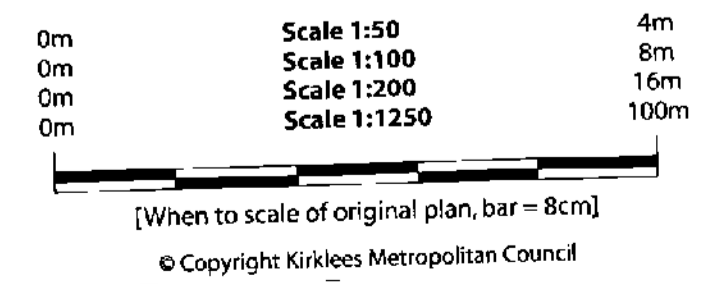


Ground Floor Plan  
Scale 1:50



First Floor Plan  
Scale 1:50

House Type 'A'	
Detached	2
Semi-Detached	10
Terrace	4
<b>Total</b>	<b>16</b>



Attic Room (if required)  
Scale 1:50

- The Building Contractor to be responsible for structural stability, damp proofing and waterproofing of the Works.
- All works to be carried out in accordance with current building regulations and in accordance with the Local Authority's Building Control Conditions of the Planning Permission referred to.
- All works to be carried out in accordance with relevant Codes of Practice.
- All materials to be in accordance with British Standards.
- All dimensions and levels to be checked by the Contractor prior to the commencement of the works.
- The position of all Statutory Authority services and drains to be checked by the Contractor prior to the commencement of the works including depths and inverts.
- The Client to check all legal requirements in development with their Solicitor prior to commencement of the works.
- We have to ensure that the Contractor complies with their obligations under the Construction Management regulations (CDM) and Approved Code of Practice (ACOP) on these can be obtained from the Health and Safety Executive HSE 01753 881111.
- Where applicable, the client must be the 'Party Walls' etc act.

Subject: Dwelling Type 'A'  
Project: Residential Development at Spafield Mills, Upper Road, Batley, WF10 1AA  
Client: Spafield Properties Ltd  
Scale 1:100 Date: May 2014  
and 1:50  
Drawing Number: 14/05/1

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