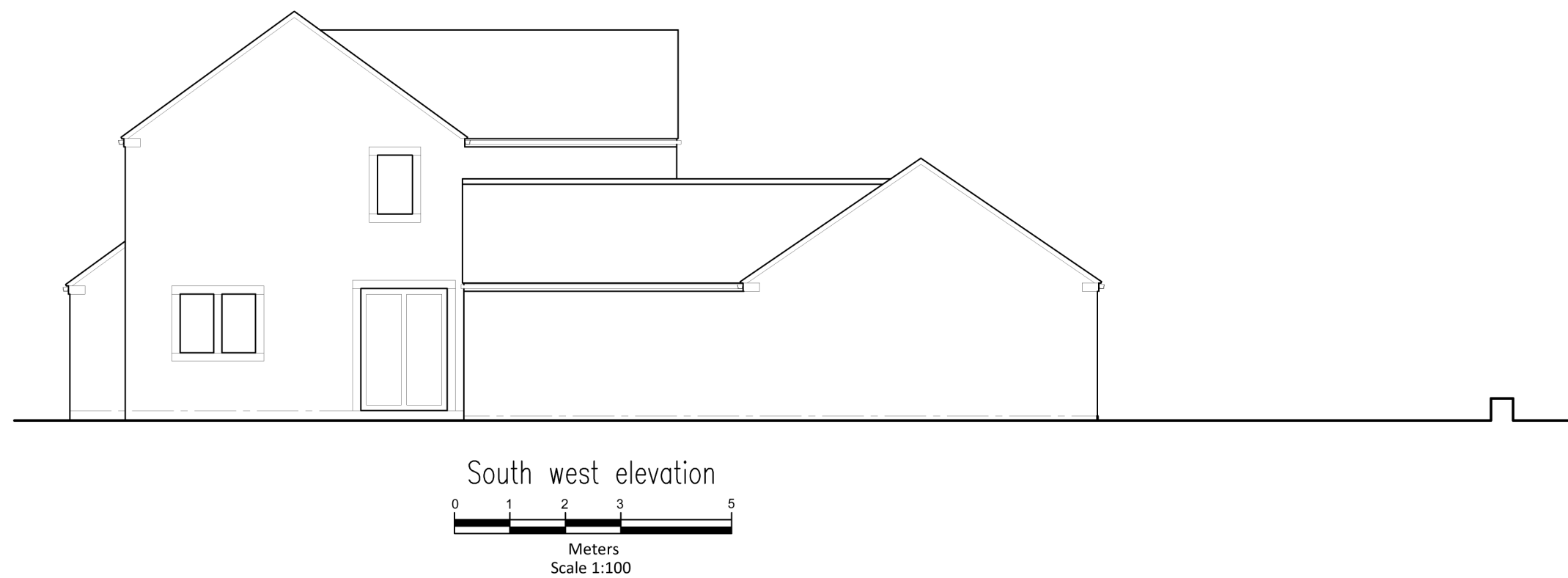
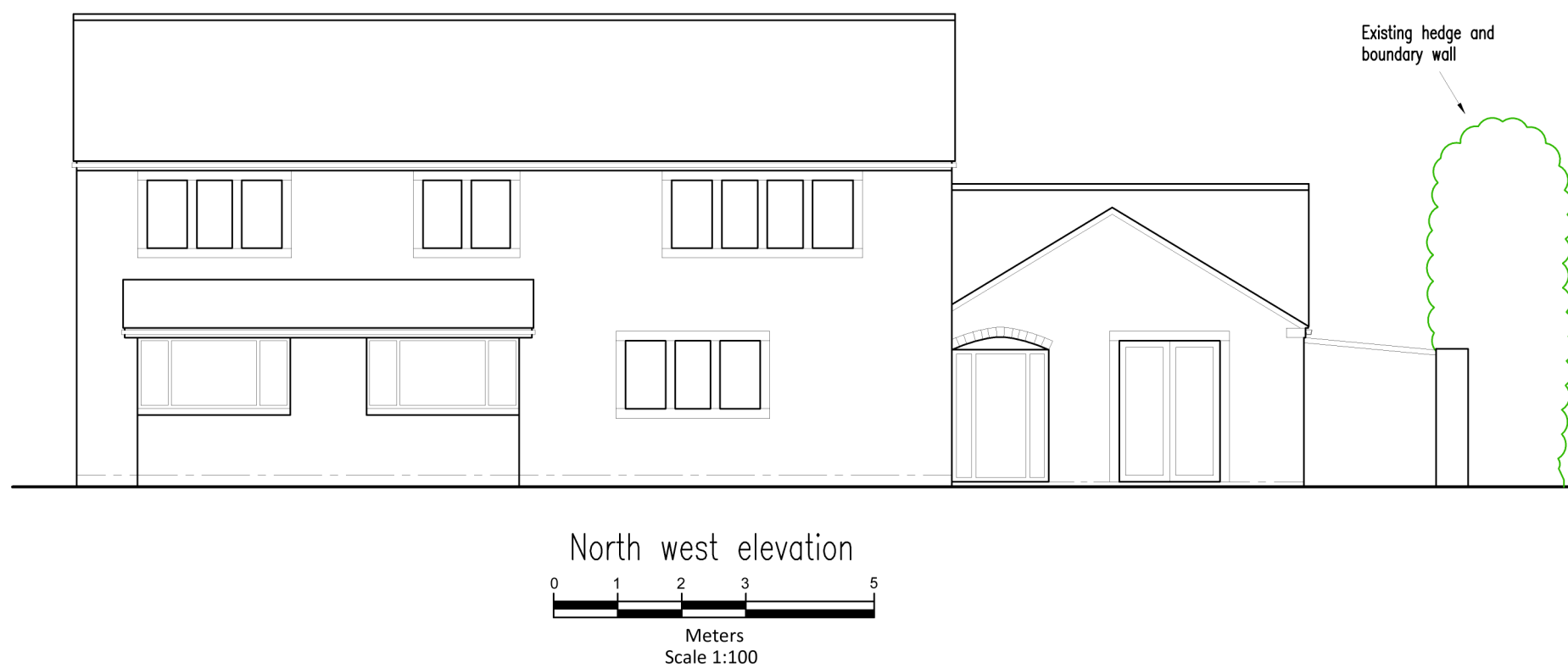
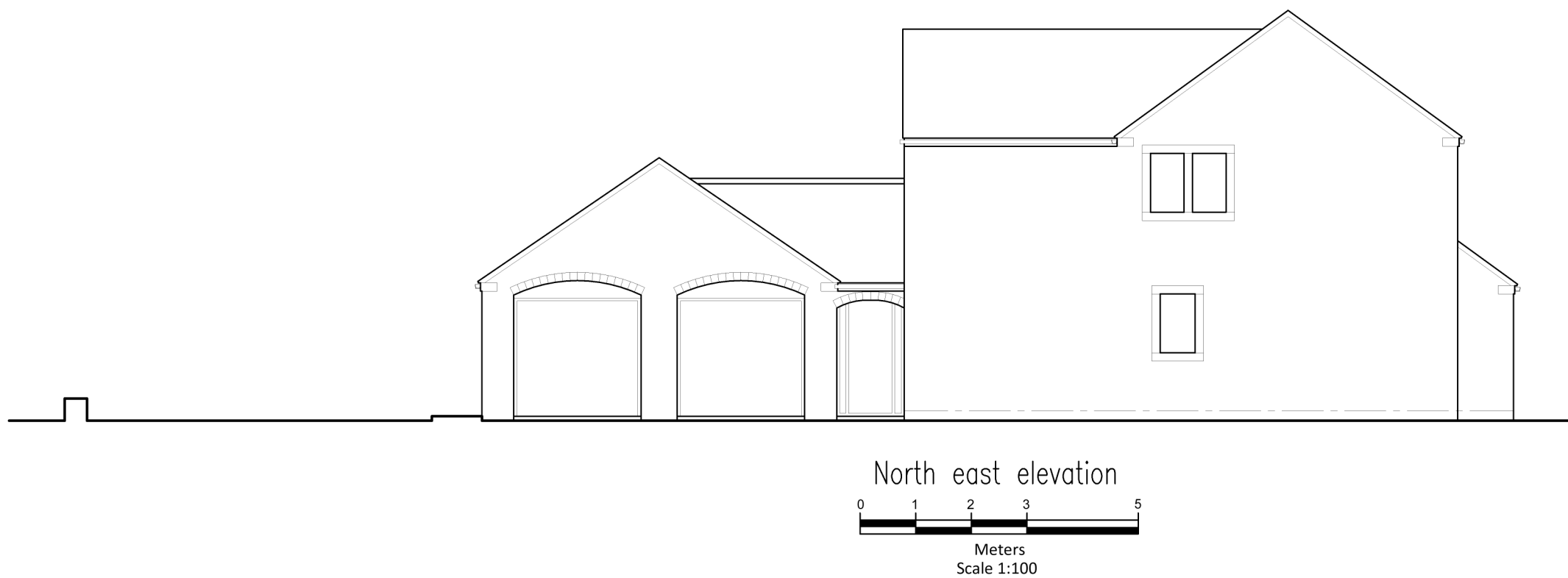
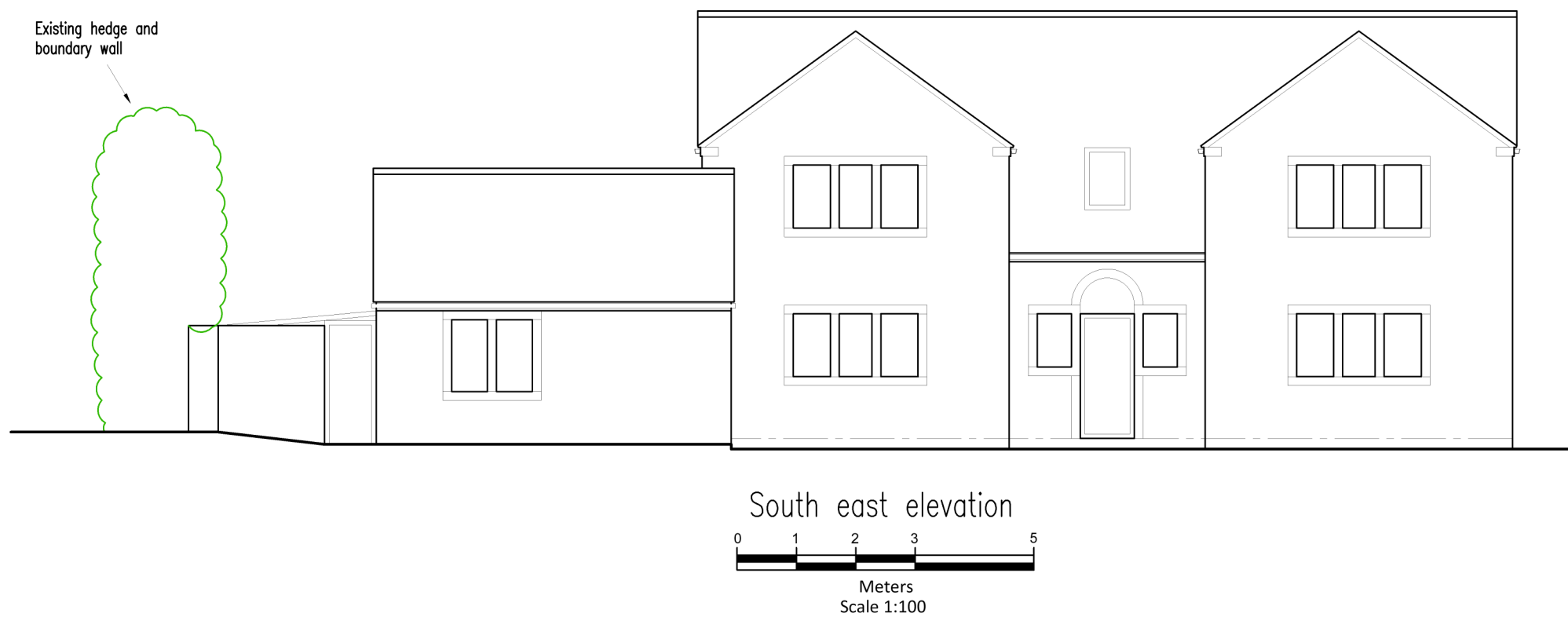
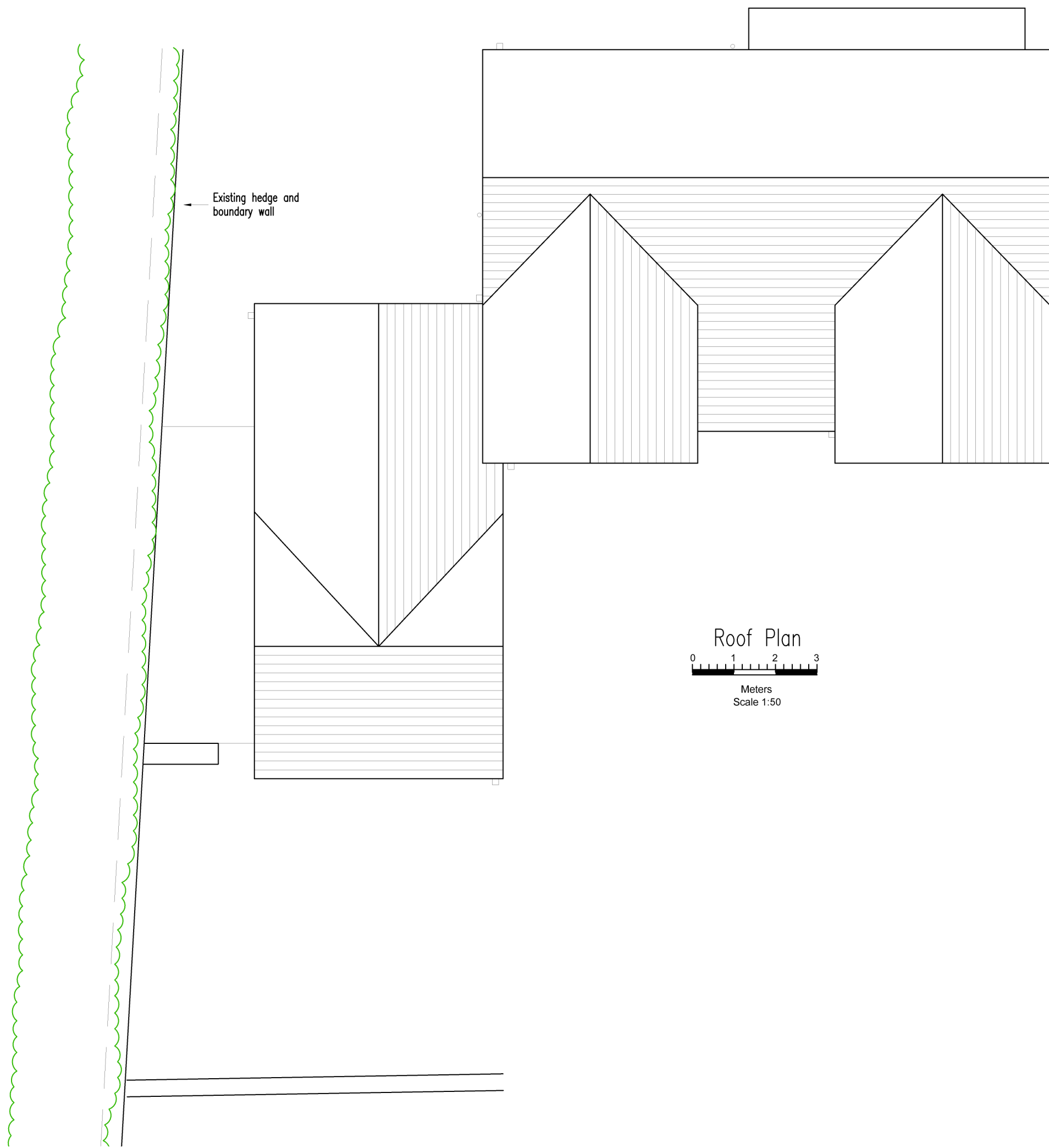
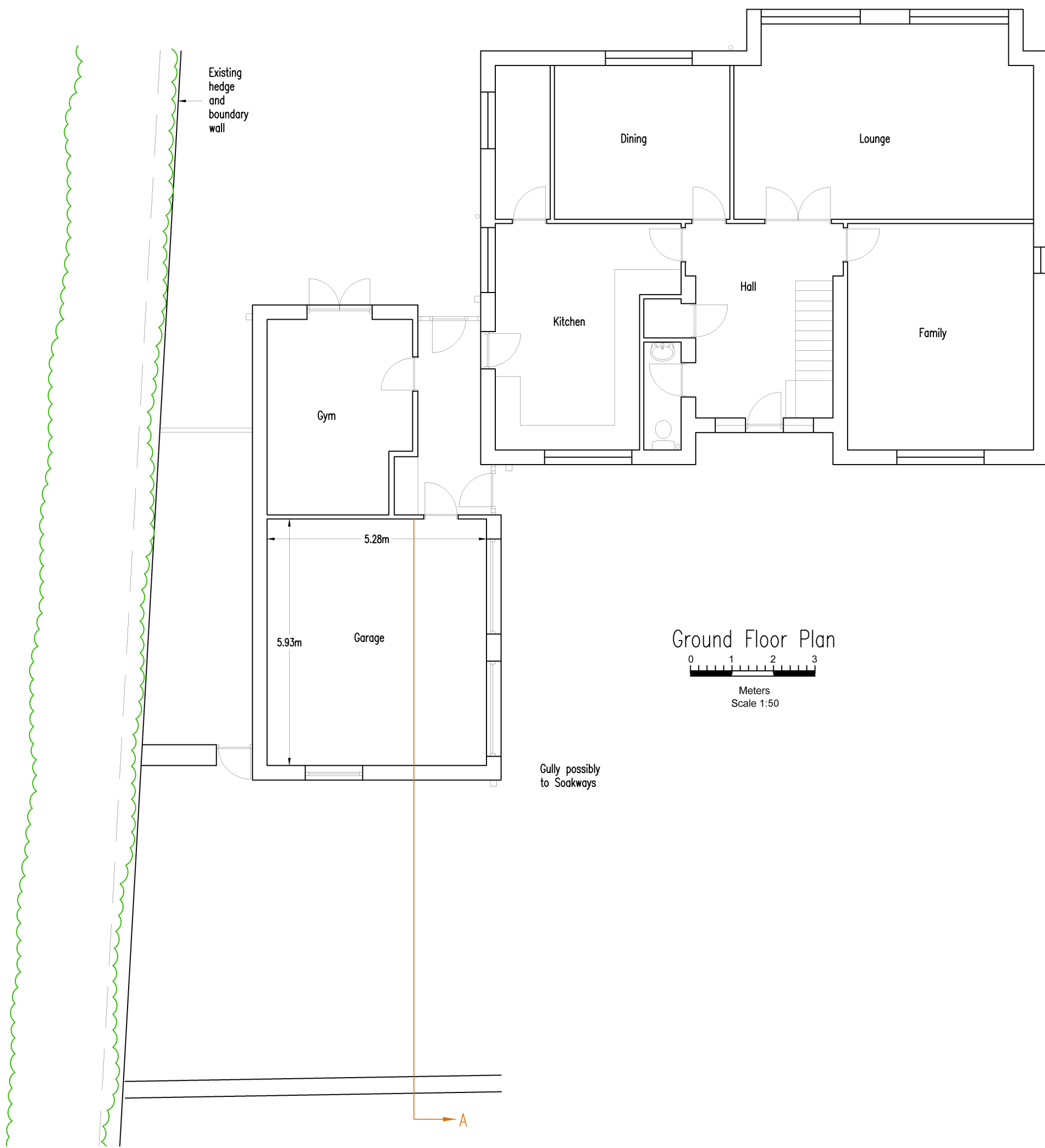




Planning and Building Regulations
Drawings to be read in conjunction with the building regulation notes and structural engineers' drawings and calculation.

The structural engineer's drawings and calculations supersede information on the T J Coates Ltd drawings.

Any alterations to the design or construction must be approved by the builder and / or the supervising officer.

Builders must scrutinise the official approved plans and notes before commencing work and comply with all the notes thereon.

These drawings have been prepared for planning and building regulation submission only and therefore all forms of construction and detailing are solely the responsibility of the builder, T J Coates Ltd accept no liability for errors or omissions.

It remains the responsibility of the person carrying out the works to ensure that work complies with the Building Regulations.

The Contractor / Builder is responsible for checking site dimensions, materials etc. and all building work, such work being checked by Building Control on site, as may be appropriate. T J Coates Ltd disclaim any liability for works carried out.

All dimensions to be checked on site before works commence, do not scaled from this drawing.

All internal dimensions refer to structure i.e. prior to fixing of wall finish

On no account are any works whatsoever including foundations to be undertaken outside the boundary of the site without express permission from the adjoining owner.

Check position and verify, flow direction and invert levels of all existing drainage before work commences on site.

Party wall act 1996
Occupiers of both adjoining properties must be in agreement of the construction work and the detail of the construction before works commences on site.

The builder to liaise with and notify adjoining owners if work is to be carried out on adjoining property.

Planning conditions
There may be planning conditions to comply with in accordance with the planning approval notice.

CDM Regulations
The builder will need to comply and include for Health and Safety, Construction Design Management regulations (CDM), please see link below.
<http://www.hse.gov.uk/construction/cdm/2015/domestic-clients.htm>

Under the role of the 'Principal Designer' as referred to in the CDM Regulations 2015 (it is the responsibility of the client to appoint a 'principal designer' or the role of principle designer falls to the client / principle contractor).
T J Coates Ltd are not acting as Principal Designer or contractor under the CDM regulations

New Building Regulations / Building Safety Act
Where no other Principal Designer has been appointed, T J Coates Ltd will act as Principal Designer up to Building Regulations plan stage, and it is the Main Contractor / Clients responsibility to act as or appoint a 'Principal Designer' during the Construction Stage.

Note - New Building Regulations / Building Safety Act
It is the Main Contractor / Clients responsibility to act as or appoint a 'Principal Designer' during the construction stage.

(M) 07973 513015 (E) mick@mjcoates.com		T J Coates Ltd 2 Unity Hall Court Haigh Moor Road West Ardsley Wakefield WF3 1BE		
DESIGN				
CLIENT	Darrel Woods 55 Church Street Emley Huddersfield HD8 9RP			
PROJECT	Proposed garage extension			
TITLE	Existing plans and elevations			
SCALE	ELEVATIONS 1:100 PLANS 1:50	DATE	14.03.2026	
DRAWN BY	MC	CHECKED		
DRAWING NO	P01	REVISION		