

For and on behalf of CityMeade Limited

10 St Michael's Mount, Dewsbury

Construction Environmental Management Plan: Biodiversity



DC Development Consultants
Driving Sustainable Development

June 2026

26-394-DC-EC-CEMPB-06-XX-XX-R1





Document Revision Details

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Important note about the report:

The sole purpose of this report and the associated services performed by D & C Consultancy Ltd. (trading as "*DC Development Consultants*"; referred to as DC hereafter) is to develop and present the Construction Environmental Management Plan: Biodiversity (CEMP-B) in accordance with the scope of services set out in the Contract between DC and the Client. That scope of services, as described in this report, has been developed with the Client.

In preparing this report, DC has relied upon, and presumed accurate, any information (or confirmation of the absence thereof) provided by the Client. Except as otherwise stated in the report, DC has not attempted to verify the accuracy or completeness of any such information. If the information is subsequently determined to be false, inaccurate or incomplete then it is possible that our observations and conclusions as expressed in this report may change.

DC have derived the data and assessments in this report from information sourced from the Client, produced in house and/or available in the public domain at the time of reporting. The passage of time, changes to either design or construction details by either the Client, Designer or Contractor, changes in the Clients requirements, manifestation of latent conditions or impacts of future events may require further examination of the project and subsequent re- evaluation of the data, findings, observations and conclusions expressed in this report. DC has prepared this report in accordance with the usual care and thoroughness of the consulting profession, for the sole purpose described above and by reference to applicable standards, guidelines, procedures and practices at the date of issue of this report. For the reasons outlined above however, no other warranty or guarantee, whether expressed or implied, is made as to the data, observations and findings expressed in this report, to the extent permitted by law.

This report should be read in full and no excerpts are to be taken as representative of the findings. No responsibility is accepted by DC for use of any part of this report in any other context.

The report is based on the available information provided to date and subject to agreement with the relevant Regulators. This report has been prepared on behalf of, and for the exclusive use of the Client, and is subject to, and issued in accordance with, the provisions of the contract between DC and the Client.

DC accepts no liability or responsibility whatsoever for, or in respect of, any use of, or reliance upon, this report by any Third Party. A fee may be levied against such arrangements.



Contents

1.0	Introduction.....	1
1.1	Preliminary Information.....	1
1.2	Report Objectives	2
1.3	Development Works.....	2
1.4	Confidentiality	3
2.0	Site Information.....	3
2.1	Geographical Context	3
2.2	Ecological Context	5
3.0	Legislative Context.....	6
4.0	Construction Environmental Management.....	7
4.1	Potentially Damaging Construction Activities	7
4.2	Sensitive Working Practices.....	8
4.2.1	Bats	8
4.2.2	Nesting Birds.....	9
4.2.3	Non-native Invasive Plant Species.....	10
4.3	Timing of Works.....	10
4.4	Responsible Persons	12
4.4.1	The Site Manager.....	12
4.4.2	Ecological Clerk of Works	12
4.5	Biodiversity Protection Zones	13
5.0	Conclusion.....	14
	APPENDIX A – Decision Notice	
	APPENDIX B – Drawings	



1.0 Introduction

1.1 Preliminary Information

DC Development Consultants have been commissioned by CityMeade Limited to prepare the CEMP-B for the development at 10 St Michael's Mount, Thornhill, Dewsbury, WF12 0JT.

The planning application reference for this development is 2025/62/90712/E. This document has been prepared in relation to Condition 3 of the planning permission. A copy of the planning decision is provided in Appendix A for reference.

Table 1.1 – Planning Condition Requirements and Reference Sections

Planning Condition Ref.	Requirement	Section Addressed
3 Construction Environmental Management Plan: Biodiversity	<i>No works shall take place until a Construction Environmental Management Plan (CEMP: Biodiversity), in line with the Bat Survey report from Ecology Services UK (17th March 2025), has been submitted to and approved in writing by the local planning authority. The CEMP (Biodiversity) shall include the following:</i>	
	<i>a) Summary of potentially damaging activities</i>	4.1
	<i>b) Identification of "biodiversity protection zones"</i>	4.5
	<i>c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (these may be provided as a set of method statements)</i>	4.1 4.2
	<i>d) The location and timing of sensitive works to avoid harm to biodiversity features.</i>	4.2 4.3
	<i>e) The times during construction when specialist ecologists need to be present on site to oversee works.</i>	4.3 4.4.2
	<i>f) Responsible persons and lines of communication.</i>	4.4
	<i>g) The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person.</i>	4.4.2
	<i>h) Use of protective fences, exclusion barriers and warning signs.</i>	4.5
	<i>The approved CEMP: Biodiversity shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.</i> Reason: <i>In the interests of biodiversity and in accordance with Policy LP30 of the Kirklees Local Plan and chapter 15 of the National Planning Policy Framework.</i>	

This document has been prepared with reference to the National Planning Policy Framework (NPPF), BS 42020:2013, the Environment Act 2021, and other relevant statutory guidance, best practice standards and local development plan policies relating to biodiversity and the natural environment. It has further been prepared in relation to the approved development and the methods by which it is to be delivered.



The purpose of this plan is to set out the construction-phase controls, working methods and environmental safeguards required to protect retained habitats and ecological features during the construction of the development, and to ensure that construction activities do not adversely affect the biodiversity features to be retained or enhanced on site following completion of the works.

The measures contained within this CEMP-B shall therefore be implemented prior to and throughout the construction phase to manage ecological risk, prevent avoidable disturbance or damage, and maintain the integrity of habitats.

1.2 Report Objectives

The objectives of this report are to:

- Establish appropriate construction-phase controls and procedures in relation to potential fauna and flora on site;
- Identify potentially damaging construction activities associated with the development and define proportionate measures to avoid or reduce adverse effects on biodiversity during the construction phase;
- Set out appropriate construction methodologies, timing constraints and sensitive working practices to protect retained habitats, trees, hedgerows and other ecological features during site preparation and construction works;
- Establish clear responsibilities, supervision arrangements and compliance measures to ensure that ecological protection measures are implemented effectively throughout the construction period; and,
- Ensure that construction activities do not compromise the retention or enhancement of biodiversity features on site, including the biodiversity enhancement measures, such that post-construction ecological objectives secured through separate planning conditions remain achievable.

1.3 Development Works

The scope of the development will comprise the following works:

- Site set-up, including establishment of welfare facilities and material storage areas, demarcation of working areas, and erection of temporary protective fencing to retained garden trees, shrubs and boundary vegetation;
- Demolition of the existing detached bungalow, detached garage, timber sheds and greenhouse, with roof coverings removed carefully by hand under precautionary measures for bats;
- Removal of demolition arisings and clearance of vegetation within the development footprint, undertaken outside the bird nesting season where practicable;

- Earthworks, excavation of foundations and installation of below-ground drainage and services;
- Construction of the replacement two-storey detached dwelling;
- External works, including reinstatement of the driveway and hardstanding, boundary treatments and soft landscaping;
- Incorporation of biodiversity enhancement features, including integrated bat and bird boxes; and,
- Removal of temporary works and reinstatement of any temporarily disturbed areas on completion.

1.4 Confidentiality

D & C Consultancy Ltd. (trading as “DC Development Consultants”) have prepared this report solely for the use of the Client and those parties with whom a warranty agreement has been executed, or with whom an assignment has been agreed. Should any Third Party wish to use or rely upon the contents of the report, written approval must be sought from D & C Consultancy; a fee may be levied against such approval.

2.0 Site Information

2.1 Geographical Context

The site is broadly rectangular in shape, centred on grid reference SE 25370 18487 and encompasses an area of circa 0.08 hectares. Figure 2.1 below shows the existing site area. The full drawing is presented in Appendix B.

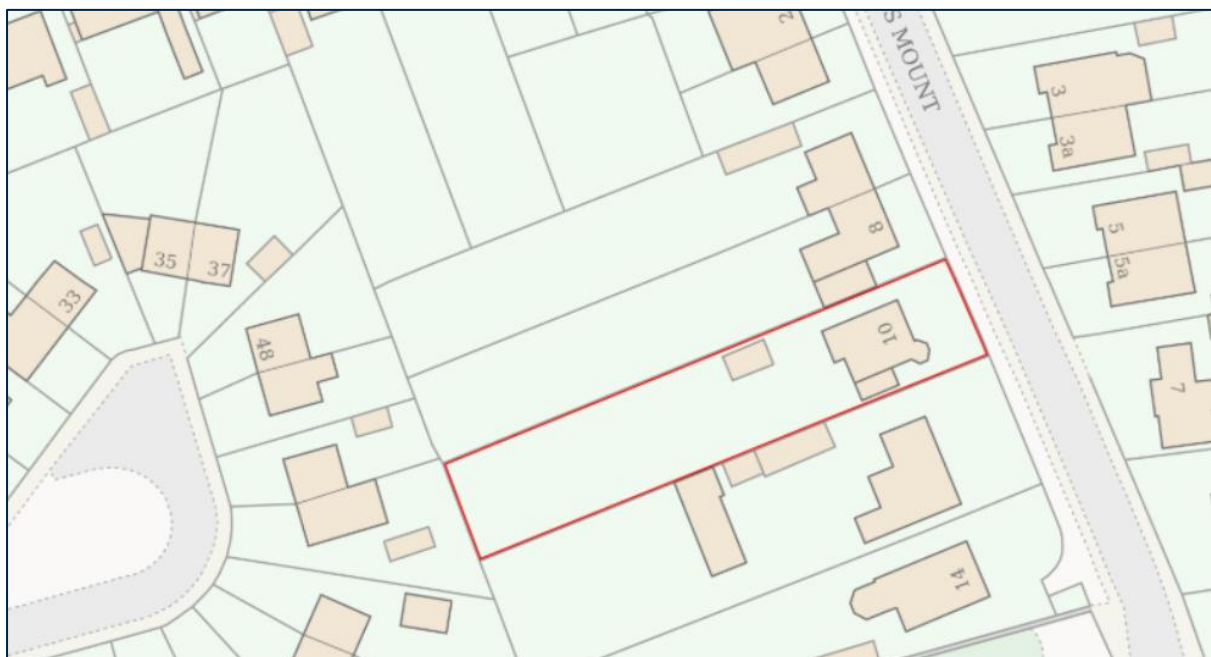


Figure 2.1 – existing site area.



The application site comprises the residential curtilage of 10 St Michael's Mount, occupied by a detached single-storey bungalow that is currently unoccupied. The dwelling is of rendered masonry construction beneath a hipped and dual-pitched roof finished with stone tiles. A driveway to the front and side of the property provides vehicular access and parking and leads to a detached garage to the rear. Two timber sheds and a greenhouse are present within the rear garden.

Land cover across the site is characteristic of a maintained domestic garden. The grounds comprise areas of mown amenity lawn, paved and hardstanding surfaces to the front and rear, and ornamental border planting incorporating a range of planted trees and shrubs. No waterbodies are present within the site or on adjoining land. The built form, hardstanding and regularly managed garden vegetation together represent habitats of low ecological distinctiveness.

The site has been subject to regular domestic management associated with its use as a residential garden, including routine mowing, pruning and maintenance of ornamental planting. This sustained management, combined with the site's position within an established residential area, limits its intrinsic ecological value. The garden trees and boundary vegetation nonetheless provide a degree of habitat connectivity with neighbouring gardens and nearby greenspace.

The proposed development involves the demolition of the existing bungalow and associated outbuildings and the erection of a replacement two-storey detached dwelling. The replacement dwelling occupies a similar position to the existing building, on a slightly larger footprint. The existing driveway is retained, and garden areas to the rear are retained and supplemented with new planting.

To the north, St Michael's Mount continues as a residential street lined with detached and semi-detached dwellings set within mature gardens. An area of greenspace, comprising a park with grassland, trees and scrub, lies a short distance to the north-east.

To the east lies the frontage of the site onto St Michael's Mount, beyond which are further residential properties with associated gardens. The front elevation of the existing dwelling faces in this direction.

To the south, the land rises gradually towards Thornhill Community Academy, which occupies the southern end of St Michael's Mount. A playing field is also present to the south of the site.

To the west are the rear gardens of the site and of neighbouring residential properties, characterised by further mown lawns, ornamental planting and boundary vegetation.

Relevant drawings are presented in Appendix B, including location and proposed development plans. For reference, the site in context is presented in Figure 2.2 below.



Figure 2.2 – Site in context (red).

2.2 Ecological Context

The ecological baseline of the site reflects its long-established use as a domestic garden within a residential area. Regular management and the surrounding built environment result in a site of limited intrinsic ecological value. The principal ecological interest is associated with the existing buildings, which were assessed for their potential to support roosting bats, and with the garden vegetation, which offers potential for nesting birds.

The habitats present comprise the existing buildings, mown amenity grassland, hardstanding, and ornamental trees, shrubs and border planting. None of the garden trees were found to support features suitable for roosting bats. The mature trees, shrubs and border planting provide foraging and shelter resources of value to common bird species. Ecological value across the site is therefore concentrated within the boundary and garden vegetation rather than the managed lawn or hardstanding.

A bat roost assessment and wider ecological appraisal were undertaken by Ecology Services UK Ltd in March 2025 in support of the planning application. No bats or evidence of bats were recorded, and the external roof coverings of the bungalow were assessed as offering low potential for roosting bats, with no further survey work considered necessary. The garden vegetation was assessed as offering high potential to support nesting birds during the breeding season. Montbretia (*Crococsmia x crocosmiiflora*), a species listed on Schedule 9 of the Wildlife and Countryside Act 1981 (as amended), was recorded within the garden border planting. No other protected or notable species



were identified. The construction-phase measures set out in this CEMP-B are directed at roosting bats, nesting birds and the control of this non-native invasive plant species.

A review of statutory and non-statutory designated sites was undertaken using the Government's MAGIC mapping service. No designated sites were identified within or adjacent to the application site that would be affected by the proposed works. The site falls within a Site of Special Scientific Interest Impact Risk Zone, however, the nature and scale of the development do not meet the criteria requiring consultation with Natural England, and the Local Planning Authority raised no concerns in respect of designated sites.

This ecological context has informed the preparation of this Construction Environmental Management Plan for Biodiversity, which focuses on controlling construction activities to avoid unnecessary disturbance, protecting retained habitats and ecological features, and ensuring that construction works do not compromise the delivery of the approved post-construction biodiversity outcomes, including the biodiversity enhancement measures secured through separate planning conditions.

3.0 Legislative Context

This Construction Environmental Management Plan for Biodiversity (CEMP-B) has been prepared with regard to the legislative and policy framework governing biodiversity protection in England and is intended to support compliance with the planning permission for the development at 10 St Michael's Mount, Dewsbury.

The principal legislative mechanisms relevant to the construction phase include the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. These provide protection for a range of species, including nesting birds, bats and other protected fauna, together with their breeding sites and resting places. In accordance with this legislation, construction activities are required to be undertaken in a manner that avoids offences, including disturbance or harm during sensitive periods such as the bird breeding season.

The preparation of this CEMP-B has also had regard to the National Planning Policy Framework (NPPF), which requires development to minimise impacts on biodiversity, avoid significant harm and, where possible, secure net gains for biodiversity. Best-practice guidance is provided by BS 42020:2013, which promotes a proportionate and risk-based approach to biodiversity within the planning process, particularly in relation to construction activities.

The Environment Act 2021 and the associated mandatory Biodiversity Net Gain (BNG) framework are also material considerations. The development is exempt from the mandatory BNG requirement under Schedule 7A of the Town and Country Planning Act 1990 (as amended), as confirmed by the Local Planning Authority. This CEMP-B does not seek to deliver BNG directly, instead establishing the



construction-phase controls necessary to ensure that construction activities do not compromise the biodiversity features to be retained or enhanced on site.

A review of the Government's MAGIC mapping service confirmed that there are no statutory or non-statutory designated sites within or adjacent to the application site that would be affected by the development. The controls set out within this CEMP-B are therefore directed at the protection of on-site ecological features and legally protected species only.

4.0 Construction Environmental Management

4.1 Potentially Damaging Construction Activities

Potentially damaging construction activities and their relevant control measures have been scheduled in Table 4.1 overleaf.

**Table 4.1 – Potentially Damaging Construction Activities and Mitigation Measures**

Construction Activity	Potential Ecological Risk	Receptors at Risk	Control / Avoidance Measures
Establishment of site compound, welfare and storage areas	Loss or damage to retained habitats through encroachment	Retained garden trees, shrubs and boundary vegetation	The site compound, welfare facilities and material storage areas shall be located on existing hardstanding within the previously developed footprint where possible, and shall be kept away from retained garden trees, boundary hedgerows and shrub planting. Working areas shall be clearly demarcated prior to commencement and no encroachment beyond agreed footprints shall occur.
Vegetation clearance (garden trees, shrubs and border planting)	Disturbance or destruction of nesting birds; harm to ground-dwelling fauna	Nesting birds; general terrestrial fauna	Vegetation clearance shall be undertaken outside the bird nesting season (March–September inclusive) where reasonably practicable. Where clearance is required during this period, a pre-clearance nesting bird check shall be undertaken by the ECoW.
Earthworks and ground regrading	Entrapment of fauna in open excavations; sediment mobilisation	General terrestrial fauna; retained boundary vegetation	Open excavations shall be kept to the minimum practicable duration. Where excavations are left open overnight, they shall be either securely covered or fitted with a rough-sawn timber escape ramp at an angle not exceeding 45 degrees, to allow trapped fauna to exit. Excavations shall be inspected daily prior to the commencement of works.
Installation of fencing and boundary treatments	Damage to hedgerows or scrub; disturbance to nesting birds	Boundary vegetation; nesting birds	Fence lines shall be installed in accordance with approved plans. Vegetation removal shall be limited to that strictly necessary. Where works occur during the nesting season, a pre-works check shall be undertaken by the ECoW.
Storage of materials, fuels and chemicals	Risk of spills or contamination	Soil; retained vegetation	Fuels and chemicals shall be stored on impermeable surfaces within designated areas. Spill kits shall be readily available on site and operatives trained in their use.

4.2 Sensitive Working Practices

4.2.1 Bats

A bat roost assessment of the existing bungalow and associated outbuildings was undertaken by Ecology Services UK Ltd in March 2025. No bats or evidence of bats were recorded during the survey, and no potential access points into the roof void were identified. The external roof coverings were



assessed as offering low potential for use by day-roosting and hibernating bats, and the surveying ecologist concluded that no further survey work was warranted. As the development involves the demolition of the existing building, the following precautionary working practices shall be implemented to avoid harm to bats should any individual be present at the time of the works.

Prior to demolition, all site personnel shall be briefed on the legal protection afforded to bats, the precautions to be observed, and the actions to be taken in the event that a bat is encountered. Where the removal or disturbance of the external roof coverings is required, this shall be undertaken carefully by hand under a soft-strip methodology, working progressively to allow any bat present to disperse.

Should a bat be discovered at any time during the works, all activity in the immediate area shall cease and advice shall be sought from a suitably qualified ecologist before works recommence. Where bats are confirmed to be present, works shall not proceed until the appropriate licence has been obtained from Natural England and any necessary mitigation has been put in place.

Any external lighting installed during the construction phase shall be designed to minimise light spill onto retained boundary vegetation and the wider landscape, in order to avoid disturbance to foraging and commuting bats. This is in addition to the detailed sensitive lighting scheme required by separate planning condition. It is however noted that given the scale of the development, external construction specific lighting is not considered necessary.

4.2.2 Nesting Birds

No active or disused birds' nests were recorded during the survey, however, the mature trees, shrubs and border planting within the garden were assessed as offering high potential to support nesting birds during the breeding season. All wild birds, their nests and eggs are protected under the Wildlife and Countryside Act 1981 (as amended). The following precautionary measures shall therefore be implemented to avoid disturbance to, or destruction of, active nests.

Vegetation clearance, demolition and works to garden trees and shrubs shall be undertaken outside the bird nesting season, which extends from March to September inclusive, wherever practicable. Where such works cannot be avoided during the nesting season, the working area shall be inspected by a suitably experienced ecologist immediately prior to works commencing. Where active nests are confirmed to be absent, works may proceed; where a risk of nesting birds remains, monitoring shall continue for the duration of the relevant works.

Where works are undertaken during the nesting season, all operatives shall receive a toolbox talk covering the identification and legal protection of nesting birds and the precautionary measures to be observed. Should an active nest be found within or adjacent to the working area, works in that location shall cease and a suitably qualified ecologist shall establish an appropriate exclusion zone



around the nest. Works shall not recommence within the exclusion zone until the nest is confirmed to be no longer in use.

4.2.3 Non-native Invasive Plant Species

Montbretia (*Crocasmia x crocosmiiflora*) was recorded within the ornamental border planting in the garden of 10 St Michael's Mount. The species is listed on Schedule 9 of the Wildlife and Countryside Act 1981 (as amended), under which it is an offence to plant or otherwise cause it to grow in the wild. As Montbretia spreads readily from corms and detached cormlets carried in disturbed soil, the following site-specific measures shall be implemented.

Prior to demolition or groundworks, the extent of the Montbretia within the border planting shall be located and marked out by the Ecological Clerk of Works. Where affected planting lies outside the development footprint and can be retained, it shall be enclosed within a clearly marked no-dig exclusion zone protected by temporary fencing, within which no excavation, soil storage or plant movement shall take place.

Where Montbretia lies within the development footprint and cannot be retained, it shall be removed by hand-digging under ECoW direction. The corms and cormlets shall be lifted in full, together with the surrounding soil to a depth of at least 300 mm and a lateral margin of approximately 0.5m beyond the visible plants, in order to capture detached cormlets. Excavated material shall be placed directly into sealed, labelled heavy-duty bags or containers rather than stockpiled, and shall not be mixed with clean soil or reused anywhere on the site.

All Montbretia arisings and contaminated soil shall be removed from site as controlled waste, in accordance with the Environmental Protection (Duty of Care) Regulations 1991, and taken by a registered waste carrier to a facility licensed to accept it and informed of its contents. Excavation tools, buckets, boots and plant tyres or tracks used in affected areas shall be cleaned of all soil and plant fragments before leaving the working area, to prevent the transfer of cormlets to unaffected ground. A toolbox talk covering the identification, legal status and handling of Montbretia shall be delivered to all operatives before groundworks begin.

4.3 Timing of Works

Timings of works are presented overleaf in Table 4.2.

**Table 4.2 – Works Timing**

Works Item	Ecological Receptor at Risk	Timing	ECoW Input / Monitoring Requirement
Pre-commencement site walkover	Nesting birds; retained trees and boundary vegetation	Prior to commencement of works	ECoW to undertake a pre-commencement walkover to confirm baseline conditions, identify any new ecological constraints and confirm suitability of proposed working areas. The pre-commencement walkover shall be carried out by the ECoW no more than 48 hours prior to works commencing. A written walkover report, setting out the findings, any updated ecological constraints and any required amendments to working methods, will be prepared by the ECoW and issued to the Local Planning Authority in advance of works commencing.
Establishment of site compound, welfare and temporary access	Retained garden trees and boundary vegetation	Prior to commencement of works	ECoW to confirm compounds and access routes are located outside retained habitat buffers.
Vegetation clearance (garden trees, shrubs and border planting)	Nesting birds; hedgerows; scrub	Outside bird nesting season (March–August inclusive), unless otherwise agreed	Where clearance is required during the nesting season, ECoW to undertake a pre-clearance nesting bird check and advise on appropriate buffers or timing restrictions.
Demolition of the bungalow, garage and outbuildings	Roosting bats (precautionary); nesting birds	During construction phase	ECoW to brief operatives on bats and nesting birds prior to demolition and, where required, to oversee the careful hand-stripping of roof coverings.
Earthworks, foundations and drainage	Retained garden trees and boundary vegetation	During construction phase	ECoW to advise on buffer distances to retained trees and boundary vegetation and undertake periodic inspections during earthworks.
Construction of the replacement dwelling and hardstanding	General terrestrial fauna; retained vegetation	During construction phase	ECoW to provide advice on sensitive working near retained habitats and monitor compliance with agreed buffers.



External works, landscaping and boundary treatments	Nesting birds; bats (precautionary)	During construction phase	ECoW to advise on precautionary measures during external works and inspect prior to works where features could support nesting birds within the bird nesting season.
Installation of fencing and boundary treatments	Boundary hedgerows; nesting birds	Outside nesting season where practicable	ECoW to check fence alignment and ensure retained vegetation is protected.
Removal of temporary works and site reinstatement	Retained habitats; landscaped areas	Post-construction	ECoW to confirm reinstatement of temporarily disturbed areas and that retained habitats remain intact and undamaged.

4.4 Responsible Persons

4.4.1 The Site Manager

The Site Manager will be the principal person responsible for ensuring implementation of the Construction Environmental Management Plan during all stages of the works. While the Site Manager is not an ecological specialist, they will have the authority and oversight to ensure that all ecological & environmental protection measures identified in the CEMP are fully implemented and maintained.

The Site Manager will be responsible for coordinating with the appointed Ecological Clerk of Works (ECoW), ensuring that the ECoW is engaged at all necessary stages of the works and is present on site to provide expert guidance and supervision during ecologically sensitive operations. The Site Manager will ensure that the advice and recommendations of the ECoW are fully integrated into the site's operations, and that all site operatives and contractors receive appropriate briefings and toolbox talks on ecological issues.

Effective communication channels will be established between the Site Manager, the ECoW, and all site operatives. The Site Manager will record all relevant communications and ensure that ecological advice is acted upon promptly to maintain legal compliance and protect site ecology.

4.4.2 Ecological Clerk of Works

A suitably qualified and experienced Ecologist shall be appointed prior to the commencement of works to act as the Ecological Clerk of Works. They will support the implementation of the CEMP by undertaking site visits and supervising ecologically sensitive operations to ensure compliance with this report, relevant legislation and best practice guidance.

The ECoW will provide ecological advice to the Site Manager and contractors, including input during site inductions and toolbox talks, as well as preparing reports of site visits and ecological



observations. The ECoW will also supervise key activities to ensure the protection of species &/ or habitats.

The Site Manager will be responsible for liaising with the ECoW to ensure that their advice is followed and that they are present for works requiring ecological oversight.

Key responsibilities of the ECoW shall include:

- Providing ecological advice to the Site Manager and Contractors;
- Undertaking site inspections to monitor compliance with ecological protection measures;
- Supervising ecologically sensitive activities;
- Preparing and issuing written reports/ inspection statements following each site inspection, outlining observations, compliance status, and any recommended actions or additional measures; and,
- Advising on mitigation and enhancement measures to ensure biodiversity protection throughout the project lifecycle.

The ECoW will act as the principal ecological advisor on site and maintain direct communication with the Site Manager. They will ensure that site operatives and subcontractors are briefed on ecological requirements through toolbox talks and site inductions. Any issues identified by the ECoW will be reported immediately to the Site Manager, who will be responsible for implementing any necessary actions or adjustments to the works programme.

The ECoW shall have the authority to advise on the temporary suspension of works where there is a risk of harm to protected species or retained habitats. Any such advice shall be communicated immediately to the Site Manager, who shall be responsible for implementing appropriate measures to address the risk prior to works recommencing.

Reports from the ECoW shall form part of the completion package for the works, and shall be made available to the LPA upon request.

4.5 Biodiversity Protection Zones

Protective fencing and clearly defined biodiversity protection zones shall be implemented prior to the commencement of construction works where necessary to safeguard retained habitats, boundary vegetation and sensitive ecological features from accidental damage or encroachment during the construction phase. A plan identifying the location and extent of the Biodiversity Protection Zones is provided in Appendix B.

As a minimum, the following indicative stand-off distances shall be applied unless otherwise agreed on site:

- Retained trees: the Root Protection Area as defined in accordance with BS 5837:2012, or a minimum stand-off of 2 m where a Root Protection Area is not otherwise defined;



- Retained boundary hedgerows and shrubs: a minimum 2 m stand-off; and,
- Other retained garden vegetation and habitats: a minimum 2 m stand-off.

The final location and extent of biodiversity protection zones shall be confirmed on site by the Ecological Clerk of Works prior to works commencing in the relevant area, taking into account prevailing ground conditions, working methods and proximity of construction activities. Where necessary, the ECoW may advise on increasing or locally adjusting stand-off distances to ensure adequate protection.

Protective fencing shall be of a suitable temporary type (e.g. high-visibility fencing) and installed to clearly demarcate protected areas. Once installed, fencing shall be retained in situ for the duration of the relevant construction activities and shall not be moved, breached or removed without prior agreement from the Site Manager and, where required, the ECoW.

No construction activities, including storage of materials, plant movement, refuelling, parking or soil handling, shall take place within biodiversity protection zones. These areas shall remain undisturbed throughout the construction phase to maintain the condition and integrity of retained habitats and ecological features.

The Site Manager shall ensure that all operatives are informed of the location and purpose of biodiversity protection zones through site inductions and toolbox talks. The ECoW shall undertake periodic inspections to verify that fencing remains effective and that protection zones are being respected. Any damage or unauthorised encroachment shall be rectified immediately.

5.0 Conclusion

This Construction Environmental Management Plan for Biodiversity has been prepared in relation to Condition 3 of planning permission 2025/62/90712/E for the development at 10 St Michael's Mount, Thornhill, Dewsbury, WF12 0JT. The Plan sets out proportionate, construction-phase measures to identify potentially damaging activities, define sensitive working practices, and establish clear responsibilities for ecological protection during the implementation of the approved development.

The measures contained within this Plan are focused on the protection of roosting bats, nesting birds and the control of non-native invasive plant species (*Montbretia*), together with retained garden trees, shrubs and boundary vegetation, the avoidance of unnecessary disturbance to protected and notable species, and the control of construction activities to prevent avoidable ecological harm.

Subject to the implementation of the measures set out herein, it is considered that the development can be constructed in compliance with relevant legislation, national planning policy and best practice guidance, without giving rise to adverse ecological effects. This CEMP-B therefore provides an appropriate framework for biodiversity protection during the construction phase and satisfies the requirements of the planning condition.



End of Report



DC Development Consultants
Driving Sustainable Development

APPENDIX A – Decision Notice



Town and Country Planning Act 1990

**Town and Country Planning (Development Management Procedure) (England) Order
2015**

PLANNING PERMISSION FOR DEVELOPMENT

Application Number: 2025/62/90712/E

To: Mubeen Patel,
Planning Management Ltd
Batley Business Park
Technology Drive
Batley
WF17 6ER

For: M MUNSHI

In pursuance of its powers under the above-mentioned Act and Order the KIRKLEES COUNCIL (hereinafter called "The Council") as Local Planning Authority hereby permits:-

DEMOLITION OF EXISTING DETACHED BUNGALOW AND ERECTION OF
REPLACEMENT DETACHED DWELLING

At: 10, ST MICHAEL'S MOUNT, THORNHILL, DEWSBURY, WF12 0JT

In accordance with the plan(s) and applications submitted to the Council on 14-Mar-2025, subject to the condition(s) specified hereunder:-

1. The development hereby permitted shall be begun within three years of the date of this permission.

Reason: Pursuant to the requirements of Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in complete accordance with the plans and specifications schedule listed in this decision notice, except as may be specified in the conditions attached to this permission, which shall in all cases take precedence.

Reason: For the avoidance of doubt as to what is being permitted and so as to ensure the satisfactory appearance of the development on completion, and to accord with Policies

LP7, LP20, LP21, LP22, LP24, LP30, LP51, LP52 and LP53 of the Kirklees Local Plan, the adopted Housebuilders SPD and Chapters 5, 8, 9, 11, 12, 14 and 15 of the National Planning Policy Framework.

3. No works shall take place until a Construction Environmental Management Plan (CEMP: Biodiversity), in line with the Bat Survey report from Ecology Services UK (17th March 2025), has been submitted to and approved in writing by the local planning authority. The CEMP (Biodiversity) shall include the following:

- a) Summary of potentially damaging activities
- b) Identification of "biodiversity protection zones"
- c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (these may be provided as a set of method statements)
- d) The location and timing of sensitive works to avoid harm to biodiversity features.
- e) The times during construction when specialist ecologists need to be present on site to oversee works.
- f) Responsible persons and lines of communication.
- g) The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person.
- h) Use of protective fences, exclusion barriers and warning signs.

The approved CEMP: Biodiversity shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.

Reason: In the interests of biodiversity and in accordance with Policy LP30 of the Kirklees Local Plan and chapter 15 of the National Planning Policy Framework.

4. Prior to commencement on the superstructure of the building, details of all external facing materials shall be submitted to the Local Planning Authority and agreed in writing. The approved details shall be retained thereafter.

Reason: In the interests of visual amenity and to accord with Policy LP24 of the Kirklees Local Plan, Principles of the Kirklees Housebuilders Design SPD (2021) and the aims of chapter 12 of the National Planning Policy Framework.

5. The development shall not be occupied until the W/C/bathroom windows in the dwelling hereby approved has been obscurely glazed (to a minimum Grade 4). Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 as amended (or any Order revoking or re-enacting that Order) the obscure glazing (to a Grade 4) shall thereafter be retained.

Reason: To protect the privacy of future and neighbouring occupiers and to accord with Policy LP24 of the Kirklees Local Plan the Key Design Principles of the Kirklees Housebuilders Design and the aims of the National Planning Policy Framework

6. If contamination, or the presence of coal not previously identified by the developer prior to the grant of this planning permission is encountered during the development, all works in the affected area (except for site investigation works) shall cease immediately and the Local Planning Authority shall be notified in writing within 2 working days. Works in the affected area shall not recommence until either

- (a) A Remediation Strategy by a suitably competent person has been submitted to and approved in writing by the Local Planning Authority or
- (b) The Local Planning Authority has confirmed in writing that remediation measures are not required. The Remediation Strategy shall include a timetable for the implementation and completion of the approved remediation measures. Thereafter remediation of the site shall be carried out and completed in accordance with the approved Remediation Strategy.

Following completion of any measures identified in the approved Remediation Strategy a Verification Report shall be submitted to the Local Planning Authority. No part of the site shall be brought into use until such time as that part of the site has been remediated in accordance with the approved Remediation Strategy and a Verification Report in respect of those works has been approved in writing by the Local Planning Authority.

Reason: To ensure the safe occupation of the site in accordance with Policy LP53 of the Kirklees Local Plan and paragraph nos. 196 and 198 of the National Planning Policy Framework.

7. Notwithstanding the provisions of section 55(2)(a)(ii) of the Town and Country Planning Act 1990 and the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking or re-enacting that Act or Order with or without modification) no buildings or extensions other than those hereby approved shall be erected to the dwellings or in the area of land outlined in red on the approved plans without the prior written approval of the Local Planning Authority.

Reason: To preserve the openness of the Green Belt and in the interest of visual amenity in accordance with Policy LP24 of the Kirklees Local Plan and chapters 12 and 13 of the National Planning Policy Framework

8. A bat and bird box shall be incorporated into the dwelling during the construction phase; the boxes shall be long-lasting Schwegler 'woodcrete' type, Schwegler 1B type or similar, shall be located away from sources of light and be sited at least 4 metres above ground level. The bat and bird box shall be provided prior to first occupation of the dwelling and thereafter be retained.

Reason: To enhance the biodiversity of the site in accordance with Policy LP30 of the Kirklees Local Plan, Principle 9 of the Housebuilders Design Guide SPD and Chapter 15 of the National Planning Policy Framework

NOTE: No construction related noise should be audible beyond the site boundary outside the hours of: 07.30 to 18.30 hours Mondays to Fridays 08.00 to 13.00 hours, Saturdays. With no construction related noise audible beyond the site boundary on Sundays or Public Holidays. Kirklees Council has powers under Section 60 of the Control of Pollution Act 1974 to control noise from construction sites and may serve a notice imposing requirements on the way in which construction works are to be carried out. It has additional powers under Sections 80 of the Environmental Protection Act 1990 to prevent statutory nuisance including noise, dust, smoke and artificial light and must serve an abatement notice when it is satisfied that a statutory nuisance exists or is likely to occur or recur. Failure to comply

with a notice served using the above-mentioned legislation would be an offence for which the maximum fine on summary conviction is unlimited.

NOTE: All contamination reports shall be prepared by a suitably competent person, as defined in Annex 2 of the National Planning Policy Framework. Reports must be prepared in accordance with the following guidance:

- Land Contamination Risk Management (LCRM)
- BS 10175:2011+ A2:2017 Investigation of Potentially Contaminated Sites. Code of Practice
- Development on Land Affected by Contamination - Technical Guidance for Developers, Landowners & Consultants - (v11.2) June 2020 by the Yorkshire and Lincolnshire Pollution Advisory Group.

Plans and specifications schedule:-

Plan / Document Type	Reference	Revision	Date Received
Location Plan			14/03/2025
Existing Plans	21-114-01		14/03/2025
Proposed Plans	21-114-05	A	14/11/2025
Street scene plan	21-114-06		14/03/2025
Bat Survey			10/04/2025
Planning Statement			14/03/2025
Design and Access Statement			14/03/2025
Climate Change Statement			14/03/2025
Daylight sunlight assessment			14/11/2025

Pursuant to article 35 (2) of the Town and Country Planning (Development Management Procedure) Order 2015 and guidance in the National Planning Policy Framework, the Local Authority have, where possible, made a pre-application advice service available, complied with the Kirklees Development Management Charter 2015 and otherwise actively engaged with the applicant in dealing with the application.

Revised plans moving the dwelling forward in the plot so it did not extend as far beyond the rear elevation of neighbours and a daylight/sunlight assessment were provided during the course of the application. These were considered acceptable, and the application progressed.

Building Regulations Approval is required for most work involving building operations and/or structural alterations. It is the applicant's responsibility to find out if the work permitted by this planning permission needs approval under the Building Regulations, and if necessary to submit an application. If you are not the applicant can you please ensure the applicant is aware of this requirement. Contact Building Control on Tel No: (01484) 221550 for more information.

It is the applicant's responsibility to find out whether any works approved by this planning permission, which involve excavating or working near public highway and any highway structures including retaining walls, will require written approval from the Council's Highways Structures Section. Please contact the Highways Structures Section on Tel No. 01484-221000 Ext 74199 for further advice on this matter.

Details Reserved by Condition

- This permission has been granted subject to conditions. Some of the conditions may require you to submit further details. These conditions normally contain the wording “submitted to and approved in writing by the Local Planning Authority”.
- You can apply online for approval of these details at the Planning Portals website at www.planningportal.gov.uk. Alternatively the forms and supporting guidance for submitting an application can be found online at www.kirklees.gov.uk/planning.
- This Authority recognises the need to ensure that you are able to develop the site as effectively and flexibly as possible. However, at the same time it must ensure that development is in accordance with the terms of the planning conditions and legal agreement and the expectations of elected members and local residents set through the decision process.
- You should note the triggers for compliance with the conditions of this planning permission. This Authority is committed to processing applications to discharge conditions in a timely manner. It is important to ensure that submissions are made as far in advance of the trigger to allow time for adequate consultation, discussion and in some circumstances publicity.
- It is important that applications to discharge conditions are accompanied by sufficient information to enable this Authority and its consultees to fully consider and determine the proposals. Whilst officers will endeavour to negotiate solutions, failure to provide a comprehensive submission may result in delay and refusal of the application.
- If you commence work without discharging conditions you are at risk of enforcement action and invalidating your permission if the planning condition is a pre commencement condition.

Development within a Coal Mining Area

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Mining Remediation Authority on 0345 762 6846 or if a hazard is encountered on site call the emergency line 0800 288 4242.

Further information is also available on the Mining Remediation Authority website at: [Mining Remediation Authority - GOV.UK](http://MiningRemediationAuthority.gov.uk)

Digital Infrastructure: Fibre To The Property (FTTP)

Access to affordable and reliable broadband is necessary for Kirklees' residents, businesses, and visitors to take advantage of the growing digital economy and 'digital by default' services. Fibre optic cables direct to a property (FTTP) is the most reliable way of delivering high speed broadband connectivity and allows for gigabit internet speeds. Access to high quality digital infrastructure provides the foundations for, amongst other things:

- Economic prosperity – workforces that are digitally-literate enables business to thrive.
- Digital literacy – digital literacy and skills increase employability and people can exploit the internet for transactional, social, entertainment and learning purposes.
- New services – digital delivery can lower costs and provide innovative public and health services more conveniently.

It is therefore advised that digital infrastructure, including FTTP, and its benefits for the development be considered from the earliest feasible stage. Methods include working with Internet Service Providers to install digital infrastructure alongside other utilities or providing pre-infrastructure allowing for speedier installation at a later date.

Note: The provision of fibre infrastructure is often available from certain telecommunications providers free of charge for development over a certain scale, provided that sufficient notice is given. Notice periods are typically at least 12 months prior to first occupation. In some cases, providers may request a contribution from the developer.

Note: Where no telecommunications provider has been secured to provide fibre infrastructure by the time of highway construction, it is advised that additional dedicated telecommunications ducting is incorporated alongside other utilities to enable the efficient and cost effective provision of fibre infrastructure in the future.

Where the application has been publicised by notice(s) in the vicinity of the site. It is respectfully requested that the notice(s) now be removed and responsibly disposed of to avoid harm to the appearance of the area

Appeals to the Secretary of State

- If you are aggrieved by the decision of your Local Planning Authority to grant it subject to conditions, then you can appeal to the Secretary of State under section 78 of the Town and Country Planning Act 1990.
- If an enforcement notice is served relating to the same or substantially the same land and development as in your application and if you want to appeal against your Local Planning Authority's decision on your application, then you must do so within:
 - i) 28 days of the date of service of the enforcement notice, or
 - ii) within the specified period, starting on the date of this notice,whichever period expires earlier.
- If you want to appeal against your Local Planning Authority's decision then you must do so within the specified period, starting on the date of this notice.
- The "specified period" is 12 weeks where the development relates to a "minor commercial application" as defined within the Town and Country Planning (Development Management Procedure) Order 2010 (as amended), or 6 months in any other case.
- Appeals must be made using a form which you can get from the Secretary of State at Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN (Tel: 0303 444 5000) or online at <https://www.gov.uk/appeal-planning-decision>. Further information on the Planning Appeal process can be found online at the Planning Inspectorates website <https://www.gov.uk/government/organisations/planning-inspectorate>.
- You must use the correct Planning Appeal Form when making your appeal. If requesting forms from the Planning Inspectorate, please state the type of application that the appeal relates to so they can send you the appeal form you require.
- The Secretary of State can allow a longer period for giving notice of an appeal, but he will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.
- The Secretary of State need not consider an appeal if it seems to him that the Local Planning Authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.
- In practice, the Secretary of State does not refuse to consider appeals solely because the Local Planning Authority based their decision on a direction given by him.

Please note, only the applicant possesses the right of appeal.

Purchase Notices

- If either the Local Planning Authority or the Secretary of State refuses permission to develop land or grants it subject to conditions, the owner may claim that he can neither put the land to a reasonably beneficial use in its existing state nor render the land capable of a reasonably beneficial use by the carrying out of any development which has been or would be permitted. In these circumstances, the owner may serve a purchase notice on the Council. This notice will require the Council to purchase his interest in the land in accordance with the provisions of Part VI of the Town and Country Planning Act 1990.

An important part of improving our service is to review your feedback on the way that we have dealt with your planning application(s). Please take a couple of minutes to email your comments to dc.admin@kirklees.gov.uk so that we can work on continually improving our customer service. Thank you.

Dated: 20-Nov-2025

Signed:



David Shepherd
Executive Director for Place

Decision Documents

The decision notice indicates which documents relate to the decision. These documents can be viewed online at the Planning Services website at www.kirklees.gov.uk/planning, and by clicking on the 'search planning applications and decisions' and by searching for application number 2025/62/90712/E.

If a paper copy of the decision notice or decided plans are required please email dc.admin@kirklees.gov.uk or telephone 01484 414746 with the application number. There may be a charge for this service.

All communications should be sent to one of the following address:

E-mail: dc.admin@kirklees.gov.uk

Write to: Kirklees Council
Planning and Development Service
PO Box 1720
Huddersfield
HD1 9EL



DC Development Consultants
Driving Sustainable Development

APPENDIX B – Drawings

Location Plan

Site Address: 10, St Michael's Mount, Thornhill, Dewsbury, WF12 0JT

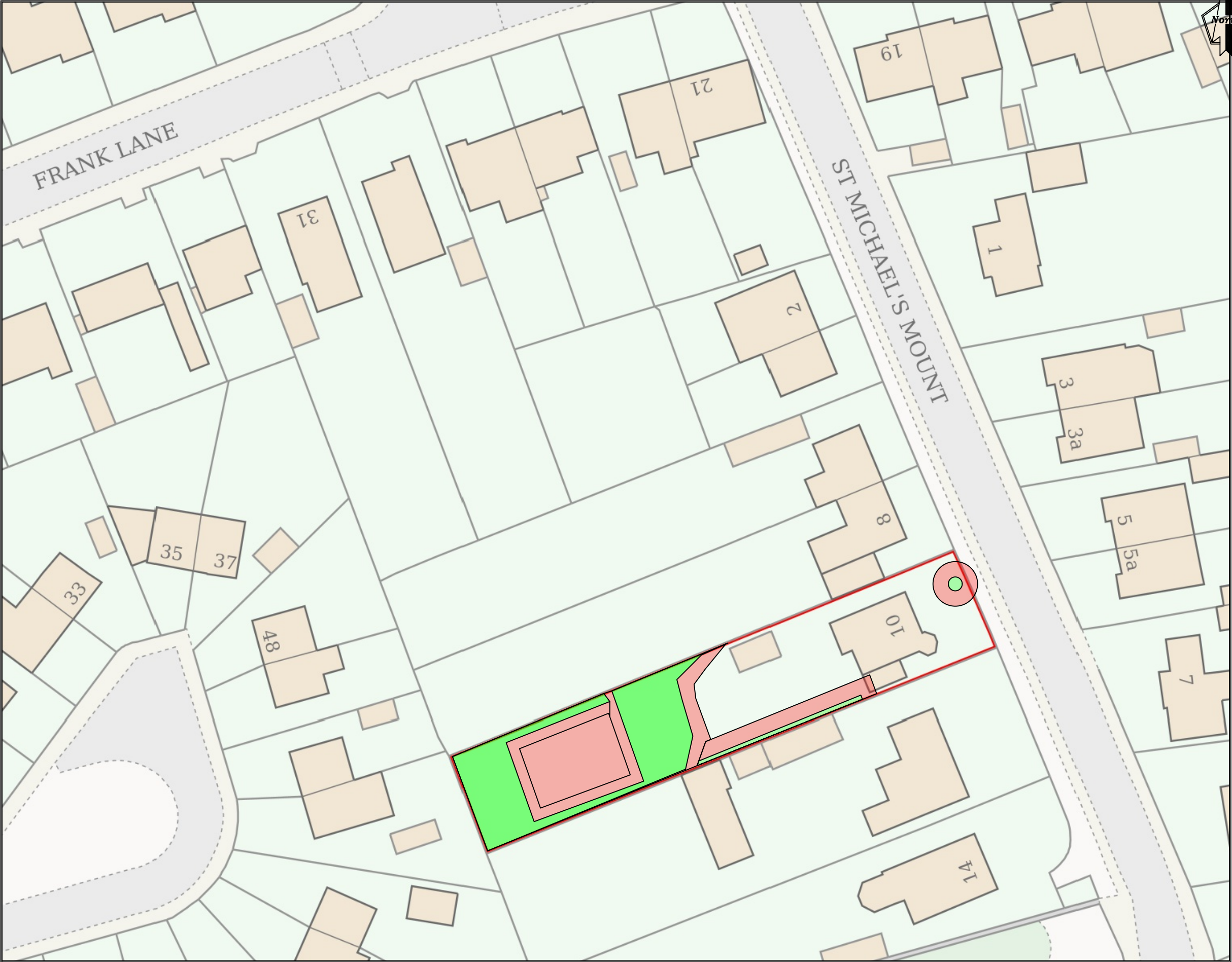
Date Produced: 14-Mar-2025

Scale: 1:1250 @A4



Planning Portal Reference: PP-13856912v1

0 50
Metres



Job Title
10 St Michael's Mount

Location
Thornhill

Client
CityMeade

Key

Approximate location of vegetation

Biodiversity protection zones

Rev	Date	Description
A	22/06/26	Information
Drawing Status		
Information		
Drawing Title		
Biodiversity Protection Zones		
Project Code 394		
Scale 1: 500		
Date Drawn 22/06/26		
Drawn By TM		
Reviewed By CH		
Original Size A3		
Drawing Number		Rev
394-BPZ-001		A