



Katie Chew  
Planning Services  
Kirklees Metropolitan Council  
PO Box 1720  
Huddersfield  
HD1 9EL

UK0043290.2281  
10 August 2026

Dear Katie,

**APPLICATION TO DISCHARGE CONDITIONS 27 (TEMPORARY CAR PARK), 28 A (HIGHWAY CONDITION SURVEY) AND 31 (SUPPLEMENTAL CEMP / CEMP ADDENDUM) OF PLANNING PERMISSION REF: 2026/62/90937/E  
GOMERSAL ST MARY'S PRIMARY SCHOOL, SHIRELY AVE, GOMERSAL, BD19 4NA  
PLANNING PORTAL REF: PP-15121177**

On behalf of Bowmer and Kirkland (B&K) for Gomersal St Mary's Primary School and the Department for Education, please find enclosed an application for the discharge of Conditions 27 (temporary car park), 28 A (highway condition survey) and 31 (Supplemental CEMP / CEMP addendum) at the above address.

In addition to this cover letter, please find enclosed the following documents which are submitted in support of this application:

- Parking Space Agreement between Gomersal Cricket Club and B&K
- Construction Environmental Management Plan Prepared by B&K
- Phasing Plan Prepared by B&K
- Dilapidation Reports for Shirley Avenue, Shirley Road Roundabout and Shirley Road prepared by Hexa [provided via this link](#).

The application fee of £309 has been paid via the planning portal.

## BACKGROUND

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Full planning permission was granted on 24 July 2026 (ref: 2026/90937) for the following:

*"Redevelopment of school, including demolition of existing buildings and construction of replacement single storey building with external works including provision of hard and soft PE and play spaces, sub-station and associated landscaping, as well as installation of temporary building during construction."*

## PROPOSED DISCHARGE OF CONDITION

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### Condition 27:

Condition 27 attached to the permission states:

First Floor  
3 Wellington Place  
Leeds  
LS1 4AP  
Tel: +44 113 395 6200  
[wsp.com](http://wsp.com)

*'27. Prior to the commencement of development (other than the demolition of existing EFAB building), details of a temporary car park to accommodate both school staff and construction staff vehicles shall be submitted to and approved in writing by the Local Planning Authority. The approved temporary car park shall be made available prior to the commencement of construction works and shall be retained and available for use for the duration of the construction phase. The temporary car park shall be removed and the land reinstated to its former use within three months of the completion of the construction works.'*

*Reason: This pre-commencement condition is required to ensure adequate off-street parking provision, to minimise on-street parking pressures and to safeguard highway safety and the operation of the surrounding highway network in accordance with LP21 of the Kirklees Local Plan and Chapter 9 of the National Planning Policy Framework.'*

The submitted parking space agreement (signed by Gomersal Cricket Club and B&K) demonstrates that temporary parking will be available for construction and school staff during the construction phase. The agreement provides for a minimum of 20 parking spaces at Gomersal Cricket Club, with the option to increase this to 30 spaces if required. The parking area is located immediately to the east of the school (see image below) and will be available from 28 September 2026. This off-site provision will help accommodate construction related parking demand, reduce pressure on surrounding streets and maintain highway safety during the construction period.

The agreement demonstrates that suitable temporary parking provision will be available throughout the construction phase and therefore satisfies the requirements of Condition 27.

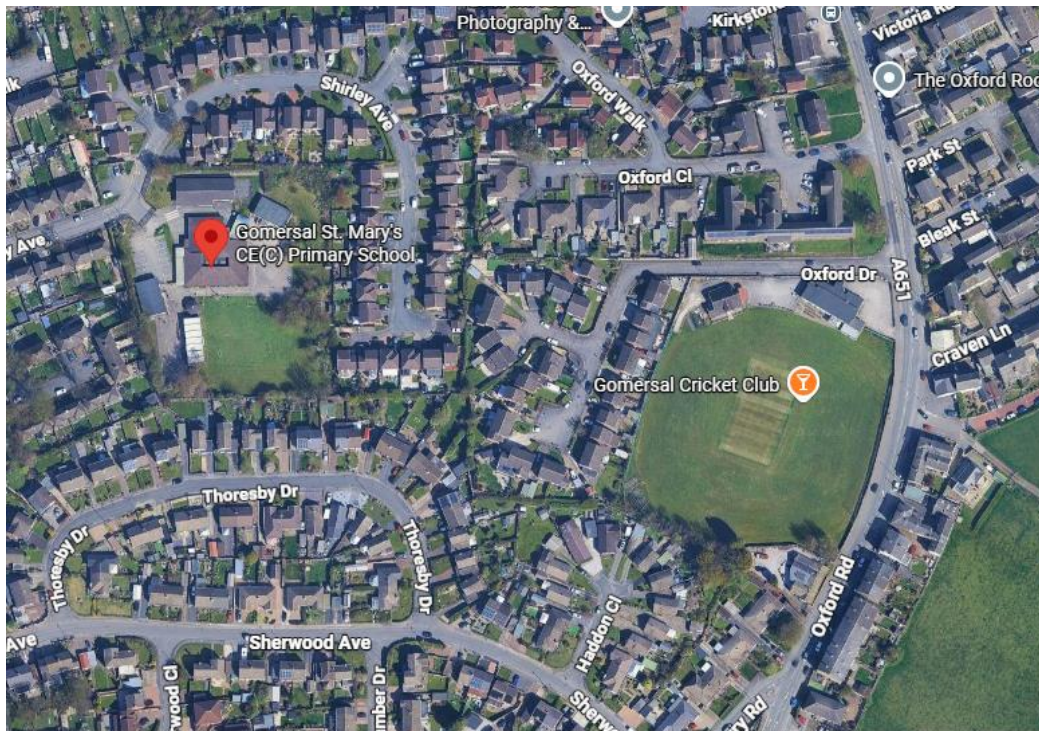


Figure 1: Aerial image of Gomersal Cricket Club and Gomersal St Mary's School

## Condition 28A:

Condition 28A attached to the permission states:

*'28. Prior to the commencement of development, (other than the demolition of existing EFAB building) hereby approved (including groundworks), a survey of the existing condition of the highway (the extent of highway to be surveyed to be agreed with the Local Planning Authority in advance) shall be carried out and submitted to and approved in writing by the Local Planning Authority. The survey shall include carriageway and footway surfacing, verges, kerbs, edgings, street lighting, signing and road markings.*

*Reason: In the interests of highway safety, and to ensure the effective maintenance of the highway and to accord with Policy LP21 of the Kirklees Local Plan and Chapter 9 of the National Planning Policy Framework. This pre-commencement condition is necessary to ensure highways surrounding the site are appropriately surveyed prior to works commencing, and to ensure responsibility for remedial works can be fairly assigned with reference to evidence.'*

The enclosed Dilapidation Reports for Shirley Avenue, Shirley Road Roundabout and Shirley Road set out the findings of a highway condition survey undertaken on 5 August 2026. They include images and descriptions of any existing damage within the area that runs from the site up to Spen Lane, as agreed with Highways. Please note that the survey was undertaken prior to demolition works associated with prior approval ref: 2026/92036 going ahead.

As required by the condition, a further survey shall be undertaken following completion of all construction works with a further report submitted to the Council accordingly.

## **Condition 31:**

Condition 31 attached to the permission states:

*'Prior to the commencement of development (including ground works), notwithstanding the requirement(s) of condition 30, a supplemental Construction (Environmental) Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority. The CEMP addendum shall relate to the construction phase of the development hereby approved, and shall include the following details:*

- *Parking for construction workers;*
- *Site manager and resident liaison officer contacts, including details of their remit and responsibilities;*
- *Engagement with local residents and occupants or their representatives; and*
- *Engagement with the developers of nearby sites to agree any additional measures required in relation to cumulative impacts (should construction be carried out at nearby sites during the same period);*

*The development shall be carried out strictly in accordance with the CEMP so approved throughout the period of construction and no change therefrom shall take place without the prior written consent of the Local Planning Authority.*

**Reason:** *In the interests of amenity, to ensure that the highway is not obstructed and in the interests of highway safety; and to accord with Policies LP21, LP24 and LP52 of the Kirklees Local Plan and Chapters 9 & 12 of the National Planning Policy Framework. This pre-commencement condition is necessary to ensure measures to avoid obstruction to the wider highway network, to avoid increased risks to highway safety, and to prevent or minimise amenity impacts are devised and agreed at an appropriate stage of the development process.'*



The enclosed CEMP and Phasing Plan prepared by B&K address the following points raised in the condition:

#### **PARKING FOR CONSTRUCTION WORKERS**

The submitted documents identify parking arrangements for construction staff throughout the development programme. This includes the use of the school car park during early works and nearby public car parks during later phases. For example, off-site parking provision is agreed for up to 30 spaces at Gomersal Cricket Club.

#### **SITE MANAGER AND RESIDENT LIAISON OFFICER CONTACTS, INCLUDING THEIR REMIT AND RESPONSIBILITIES**

The CEMP identifies the Contracts Manager, Project Manager and Site Managers as responsible for community liaison, communication with residents, managing complaints and providing newsletters, meetings and site visits where appropriate. The document also confirms that contact details will be displayed at the site entrance.

#### **ENGAGEMENT WITH LOCAL RESIDENTS AND OCCUPANTS OR THEIR REPRESENTATIVES**

The CEMP commits to pre-commencement engagement with local residents, regular newsletter updates and ongoing communication throughout the construction programme.

#### **ENGAGEMENT WITH DEVELOPERS OF NEARBY SITES REGARDING CUMULATIVE IMPACTS**

The CEMP confirms that no major construction projects are currently known to be taking place nearby. It also states that B&K will liaise with nearby developers regarding deliveries and construction logistics should any neighbouring developments come forward during the construction period to minimise cumulative impacts.

Therefore, the CEMP and Phasing plan address the requirements of Condition 31.

### **CONCLUSION**

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For the reasons set out above, the submitted information demonstrates compliance with the requirements of Conditions 27, 28A and 31 and therefore we respectfully request their discharge.

However, if you require any further information, or would like to discuss the application, please do not hesitate to contact me.

Yours faithfully

Fraser Dann  
Associate