



Design & Access Statement

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INTRODUCTION

This statement has been prepared by AHJ Architects on behalf of Grange Moor Homes Ltd for the full planning application seeking approval for the demolition of an existing dwelling and garage and erection of 8 new build dwellings on the site at 4 Back Lane, Grange Moor, Huddersfield, WF4 4EJ.

THE SITE

The site is 0.241ha and fronts on to Back Lane and Liley Lane, a classified B Road (B6118). One existing stone detached house is currently located in the north-east corner of the site, with an existing drive access leading to a detached garage. These buildings are in a poor condition and the site is vacant. The site is relatively flat but does have a very slight incline to the east, away from Back Lane.



Aerial image taken from Google Maps showing the site within the wider context of Grange Moor.



Aerial image taken from Google Maps to show the immediate site context.



View from within the site back towards the existing house and garage.



View towards the corner of Liley Lane and Back Lane.



View looking towards Liley Lane from within the site.

LAND ALLOCATION AND RELEVANT PLANNING POLICIES

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that planning applications are determined in accordance with the Development Plan unless material considerations indicate otherwise. The statutory Development Plan for Kirklees is the Local Plan (adopted 27th February 2019).

The site is UNALLOCATED on the Kirklees Local Plan Proposals Map. The most relevant policies for consideration in this case are:

Kirklees Local Plan Policies

LP 1 - Achieving Sustainable Development

LP 2 - Place Shaping

LP 3 - Location of New Development

LP 7 - Efficient and Effective Use of Land and Buildings

LP 11 - Housing Mix and Affordable Housing

LP 20 - Sustainable Travel

LP 21 - Highway Safety and Access

LP 22 - Parking

LP 24 - Design

LP 26 - Renewable and Low Carbon Energy

LP 28 - Drainage

LP 30 - Biodiversity & Geodiversity

LP 33 - Trees

LP 51 - Protection and Improvement of Air Quality

LP 52 - Protection and Improvement of Environmental Quality

LP 53 - Contaminated and Unstable Land

National Planning Policy Framework

Chapter 2 - Achieving Sustainable Development

Chapter 5 - Delivering a Sufficient Supply of Homes

Chapter 9 - Promoting Sustainable Transport

Chapter 11 - Making Effective Use of Land

Chapter 12 - Achieving Well-Designed Places

Chapter 14 - Meeting the Challenge of Climate Change, Flooding Change

Chapter 15 - Conserving and Enhancing the Natural Environment

Other Guidance Documents:

Kirklees Highways Design Guide (2019)

Housebuilders Design Guide (2021)

Nationally Described Space Standards

National Design Guide

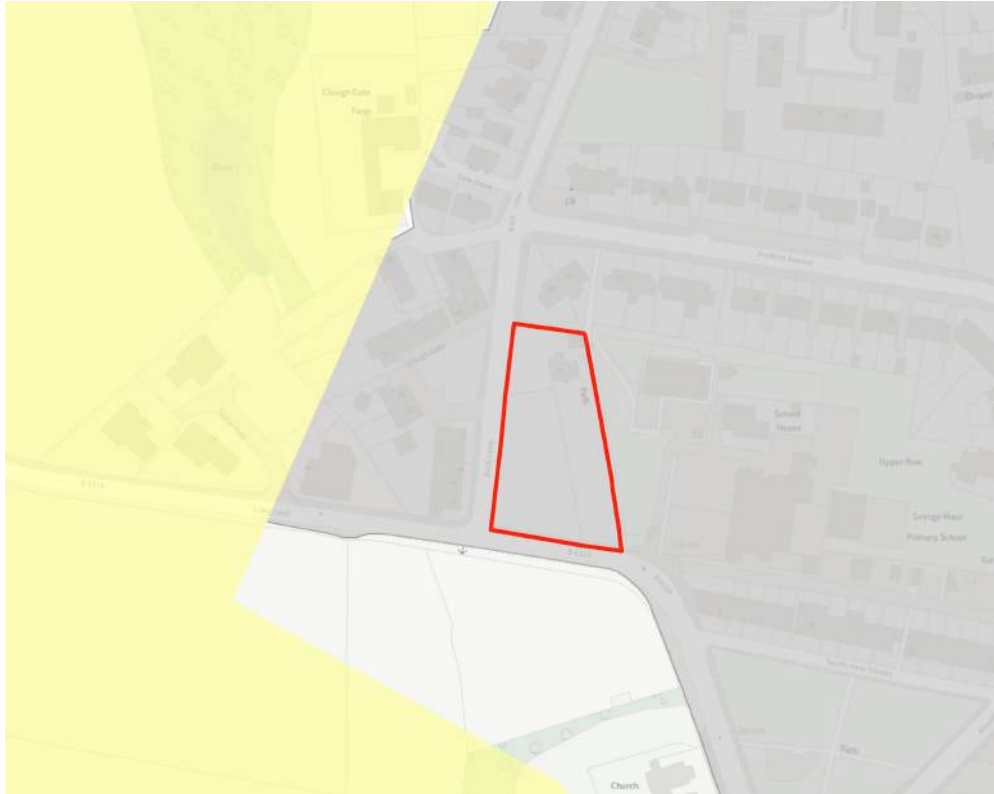
Biodiversity Net Gain Technical Advice Note (2021)

Planning Applications Climate Change Guidance (2021)

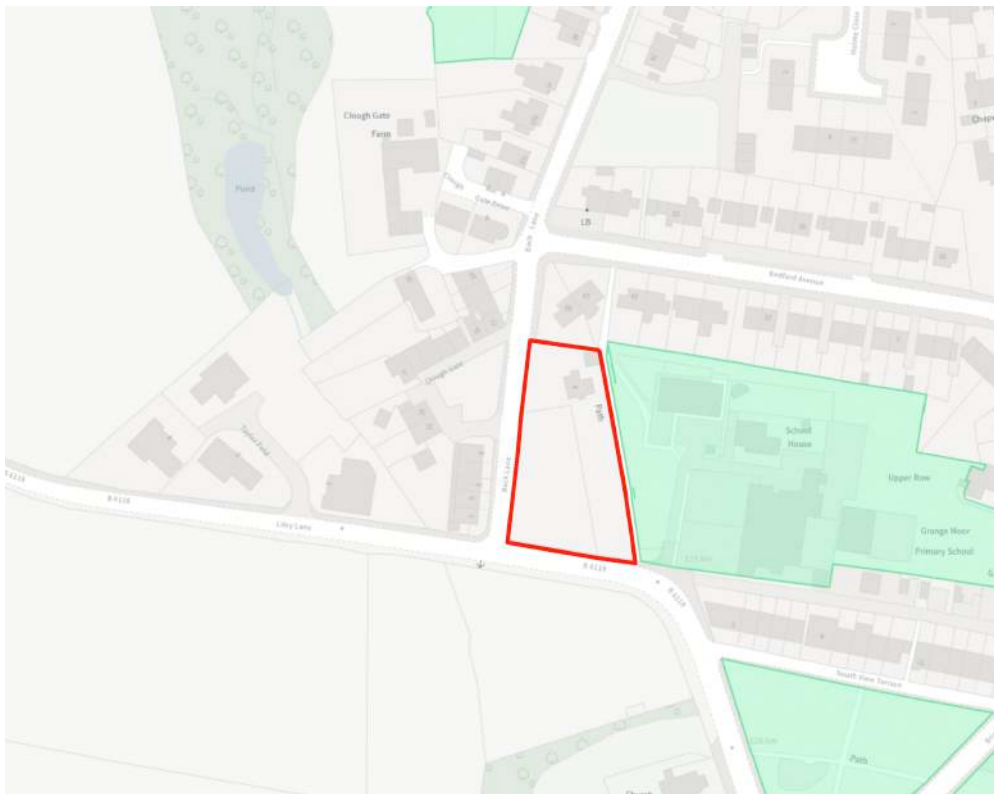
West Yorkshire Low Emissions Strategy and Air Quality and Emissions Technical Planning Guidance (2016)

LOCAL PLAN POLICIES MAPS

The below maps have been taken from the 2016 local plan policy maps to show additional site context.



The site lies within the identified built up areas for Grange Moor.



Urban greenspace has been associated with the Grange Moor Primary School, allotments and village green.



The site is adjacent with greenbelt land; however, no part of the site is within the greenbelt.

RELEVANT PLANNING HISTORY

There is one planning applications available through public access for the site, this is listed below:

2022/60/92428/E

Outline application for demolition of existing dwelling and garage and erection of residential development (8 semi-detached dwellings)

Decision: Conditional Outline Permission

DRAINAGE / FLOOD RISK

Surface water and mains foul drainage connections are already established on site and will be used for the proposed development in accordance with Building Regulations and Yorkshire Water requirements.

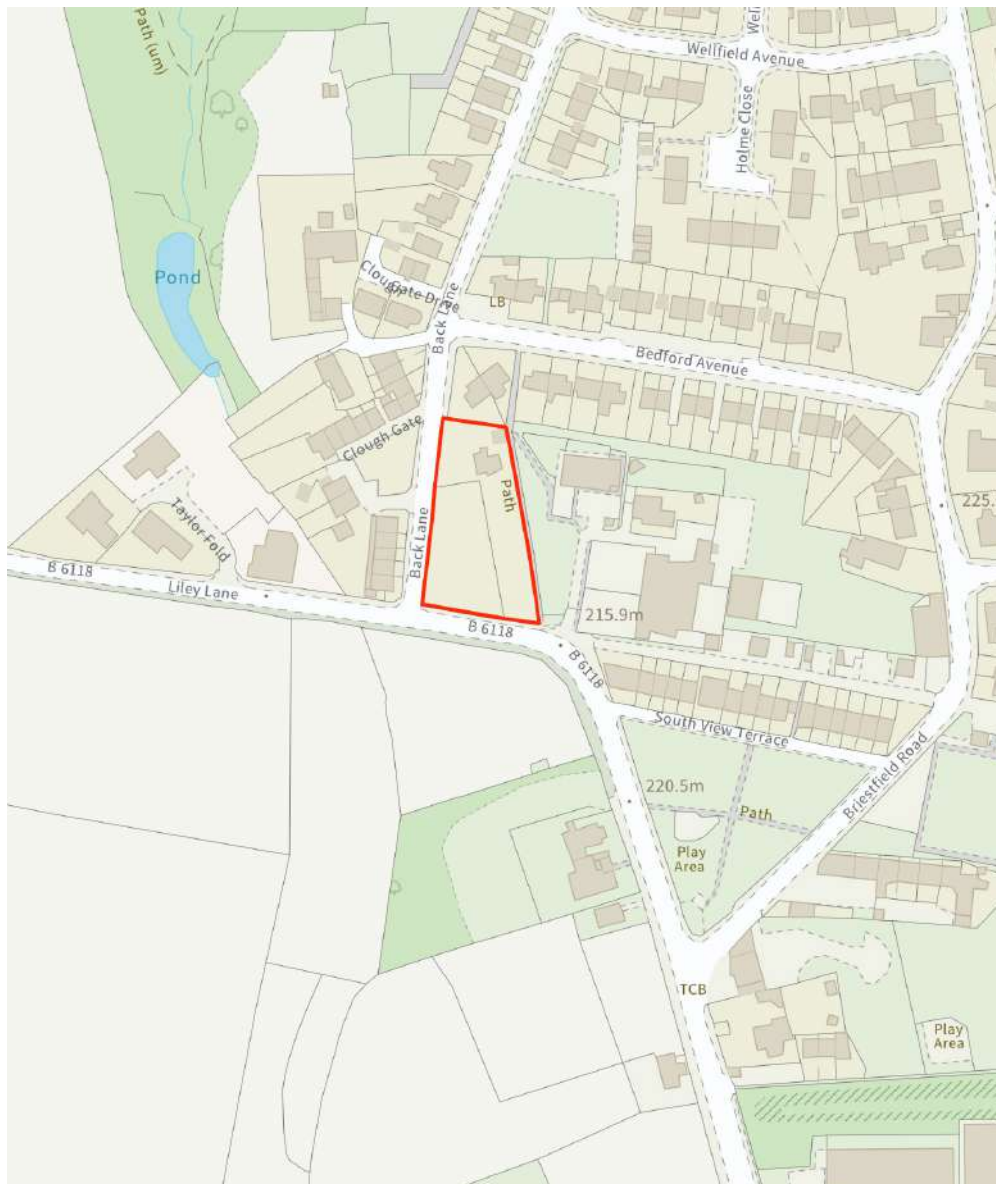
The new development will follow the Sustainable Drainage System (SuDS) principles. Surface water drainage will be attenuated on site and discharged at a rate of 3.5l /s back towards Howroyd Beck. The foul drainage will be

connected back to the existing site drainage to the north as indicated on the submitted drainage strategy drawings.

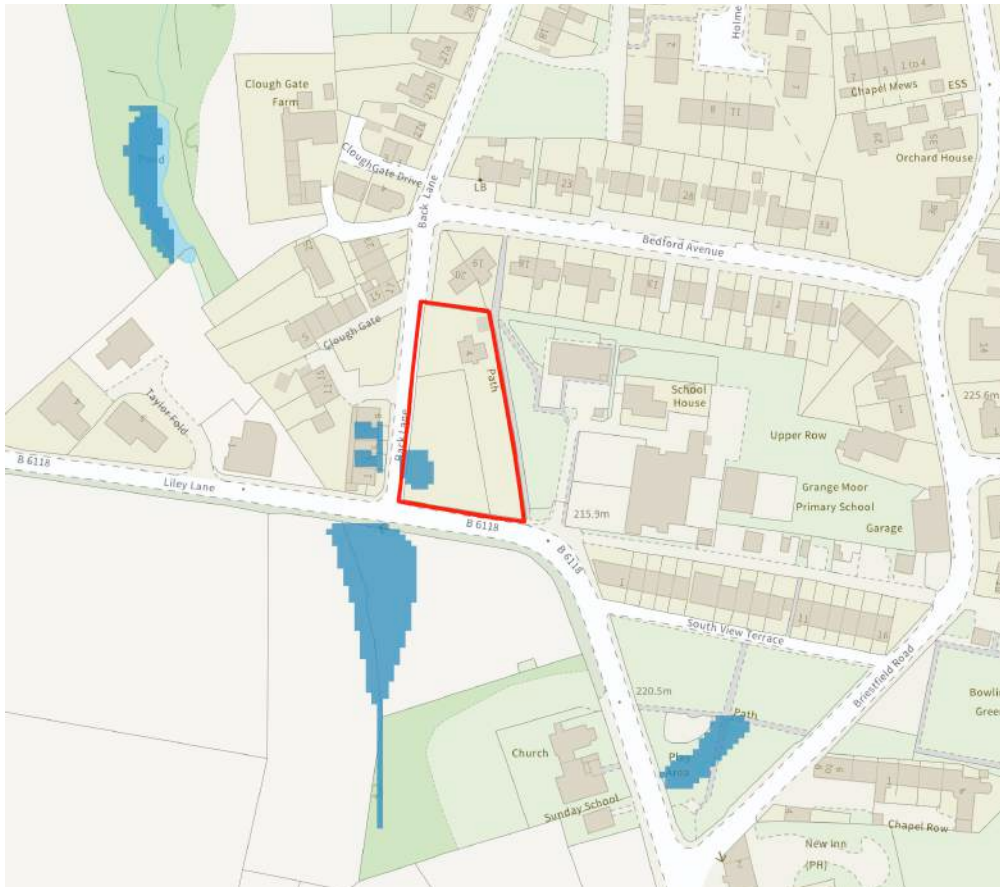
The percolation test submitted as part of the application shows that the existing ground conditions will not be suitable for soakaways. A mains water supply would be available to the proposed development; therefore, Private Water Supply conditions are unlikely.

The site is located within flood zone 1, surface water flooding is indicated at the southwest corner where the site levels are at their lowest and set below the adjacent highway. The levels in this area will be lifted as part of the proposed development and in order to provide a new footway to the perimeter of Back Lane and Liley Lane.

Refer to the flood mapping details below.



Flood mapping showing the site within flood zone 1.



Surface water flood mapping showing the site being outside the areas of high risk.

ECOLOGY

An Ecological Impact Assessment (EclA) has been submitted with the application. Overall, the site provides limited opportunities for protected and notable species, with no notable habitats present on the site. The building on site has been surveyed for its potential to support roosting bats and a full report detailing the findings has been submitted with the application. The development provides opportunities to increase provisions for protected species in the area, through the inclusion of nesting bird and roosting bat boxes and these are indicated on the proposed landscaping plans. A BNG assessment has been completed and submitted with the application and the existing features, where possible have been retained on site. The balance of credits will be purchased off site.

GEOTECHNICAL & COAL MINING LEGACY

The recent outline planning application submitted a Coal Mining Risk Assessment by Haigh Huddleston and Associates and the below reflects the comments made by The Coal Authority and KC Environmental Health on this application.

“Due to the presence of workings in the vicinity of the site, the author of the submitted Coal Mining Risk Assessment indicates that there is a risk of ground gas migration affecting the site and that therefore it is recommended that a minimum of three piezometers should be installed on site to monitor ground gas. The site is also situated close to land identified as potentially contaminated. To the west a former infilled quarry (site ref:135/11) and a former sewage works (site ref:138/11), to the east a former sewage works (site ref:141/11) and an area described as Tilehouses (site ref:140/11), to the south a former colliery which appears to be infilled (site ref:161/11). The Coal Authority and KC Environmental Health both support the conclusion of the CMRA that intrusive site investigations are required, for both contaminated land and the historic coal mining legacy. Subject to these conditions, the scheme is considered to accord with the aforementioned policy with regard to contaminated land and land stability.”

In addition to this, the applicant has commissioned a coal mining investigation report in 2025 by RGS, Environmental Geotechnical Specialist and a copy of this report has been submitted with the application. With regards to the recommended gas monitoring and contaminated land, no further works have been completed and we would request that this be conditioned should the application be approved.

DESCRIPTION OF PROPOSALS

The application seeks full planning approval for the demolition of an existing dwelling and garage and erection of 8 new build dwellings on the site located on the edge of Grange Moor.

As demonstrated on the submitted site plan and supporting information, the proposals seek to provide family homes with parking that will follow the “URBAN” model of a traditional dwelling. The site is located within an existing neighbourhood where there is already an established network of facilities in close proximity with easy access to Huddersfield, Wakefield, Leeds and Manchester. The aim of the proposals will be to develop high-quality buildings that sit comfortably within their surroundings.

The proposed elevations will follow the established building heights with the plan taking the form of a traditional two-story dwelling [additional bed space will be provided within the loft]. This will allow harmonious overall designs typical to the character of the area. The development and amenity space has been positioned and designed to receive adequate sunlight, and the daylight available to adjoining properties will not be compromised.

The proposed development is split, with three dwellings facing towards Liley lane, albeit they are served by a shared driveway from Back Lane, whilst the other five dwellings each have their own driveways from Back Lane. This layout works well to create a built form that accords with the corner plot nature of the site as it provides frontages on both roads.

The dwellings will be set in line with other build forms along Liley Lane and will have a coherent building line.

SCALE

The proposed dwellings will be two storeys with a massing and roof form to replicate the vernacular of other similar sized buildings within the area. The roof voids will be used on plots 1 to 3 and 5 to 8 but this will not increase the height of the dwellings over the height of a typical two storey property.

The design of the dwellings seeks to create buildings of high aesthetic quality through the careful and considered approach to proportion, materials, form and scale whilst respecting the more traditional properties within the area. The traditional styled dwelling will be carefully detailed using traditional materials so that it sits comfortable within its established residential area. In developing the proposals for this application, we have considered the following:

- Ridge and eaves annotated with local detailing to match the surrounding context.
- Ridge and Eaves heights set out to match that of the surrounding dwellings, in consideration to the changes in ground level.
- Composition and positioning of the windows and doors to replicate local context.

The scale is considered appropriate to the plot size and semi-rural context and accords with the Local Plan requirement that the development respects and enhances the character of the townscape (LP24).

APPEARANCE

The design has been consciously developed to reflect traditional local architecture, interpreted in a contemporary but sympathetic manner.

The following materials are proposed:

- Walls - Coursed natural stone to reflect local vernacular and detailing.
- Roof – Blue slates.
- Rainwater Goods – Black UPVc. guttering & downpipes.
- Windows – Dark grey UPVc.
- Doors – Composite/Powder Coated Aluminium Doors.

The appearance is therefore firmly rooted in local character while delivering contemporary levels of performance and sustainability, consistent with Policy LP24 and the Housebuilders Design Guide SPD.



Proposed site plan.

STANDARDS OF ACCOMMODATION

The proposed dwellings will be located within an established residential area, and as such will not be adjacent to any “bad” neighbours in residential terms. The space about the proposed dwelling in relation to the existing properties meets the recommended policy standards and will maintain privacy and amenity to those existing surrounding occupants. A large family kitchen dining room will occupy the ground floor of each house, positioned to make best use of the secluded landscaped garden. The bedrooms are on the first floor and benefit from a house bathroom and en-suite to the master bedroom. Additional space will be provided with the roof void, but this will not result in the height of the dwellings being increased over the height of a typical two storey dwelling.

The existing dwellings to the East of plot 3's gable elevation have a separation distance of 14.04m which exceeds the recommendation for residential properties. Plot 4 further to the North is located 21m from the dwelling it faces on Back Lane but does not directly overlook this dwelling as its position further North.

No 20 Back Lane is set at an angle to plot 8 and this has a separation distance of 12m to its gable. No 20 Back Lane has a single storey side addition and therefore the main two storey element of the building will not have its outlook impacted in terms of daylight or over shadowing.

The proposed dwelling will be set out to comply fully with the National Described Space Standards.

RESIDENTIAL AMENITY

The amenity of future occupiers also needs to be considered as per Local Plan Policy LP24. With regard to overbearingness and privacy, none of the front or rear elevations of the proposed dwellings would facing directly towards each other. The rear elevations of plots 3 would be set 18.5m away from the side elevation of plot 4 which accords with Principle 3. No other dwellings face towards each other within the site.

Site section details have been provided to allow further assessment of the relationship of development.

The design and size of private amenity space should be considered in relation to the individual circumstances and should consider development form, siting of buildings to public open space and dwelling types. Private outdoor space will be provided for activities such as sitting out, children's play, drying clothes and gardening. Each of these spaces can be positioned and designed to take account of orientation, types of uses and aspect. The private garden spaces are proportional to the size of dwelling being proposed.

MEANS OF ACCESS & HIGHWAYS

All dwellings will have vehicular access from Back Lane, the four three-bedroom houses to the North of the site, plots 5 to 8 are shown to have driveways to the front providing parking for two vehicles. Plot 4 is a four-bedroom house and has a garage along with 2 surface parking spaces. Plots 1 to 3 are five-bedroom dwellings and again have a garage and 2 surface parking spaces. The smaller bedroom on the second floor can be used as a home office.

The site layout and geometry will provide:

- A suitable visibility splay of 2.4m x 43m at the Back Lane/ Liley Lane junction meaning there is adequate visibility for vehicles when using the access.
- The proposed arrangement is safe and suitable for the 8 dwellings being proposed.
- 2 parking spaces can be accommodated on site for each of the three-bedroom dwellings and 3 parking spaces for the four and five-bedroom dwellings whilst still maintaining sufficient turning provision within the site boundary so that cars from plots 1 to 3 can exit in a forward gear.
- Secure cycle storage will be located within the proposed garage.
- 1 shared visitor parking space has been provided on the private drive.

This level of provision aligns with local guidance for 3 and 4 bedroom dwellings and therefore complies with Local Plan Policy LP22 and associated SPD's.

EV charging will be provided either within the garage or to the front of the dwellings where surface parking has been provided, supporting a shift towards low-emission vehicles and in line with national and local policy on climate change.

Dedicated bin storage will be provided within the private gardens for each dwelling. A bin collection point has been provided at the entrance to the shared private drive and to the front of each dwelling with direct access off Back Lane. This will allow the refuse vehicles to collect waste as they do for neighbouring properties. This avoids the need for large vehicles to enter the site and is well positioned so that bins can be presented on collection day without obstructing the proposed footway or drives.

The application site is located at the junction of Back Lane and B6118 Liley Lane. Public footpath Kirkburton 37/10 runs along the eastern boundary of the site, and this will be unaffected by the proposal.

There is currently no footway to the east side of Back Lane. To improve local pedestrian provisions, it is proposed to provide a new 2m wide footway along the Back Lane site frontage. This will improve safety for pedestrians.

Fire appliance access can be achieved from either Liley Lane or Back Lane.

Local Plan Policies LP21 and LP22 of the Kirklees Local Plan are relevant and seek to ensure that proposals do not have a detrimental impact on highway safety and provide sufficient parking. Furthermore, Paragraph 115 of the NPPF states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe. Paragraph

5.4 of the Kirklees Highways Design Guide, outlines the following parking provision should be provided for residential developments:

- 3 bedroom dwellings provide two off-street parking spaces
- 4+ bedroom dwellings provide three off-street spaces and
- 1 cycle space per residential unit.

Principle 19 of the Kirklees Highways Design Guide states that provision for waste storage and recycling must be incorporated into the design of new developments in such a way that it is convenient for both collection and use whilst having minimal visual impact on the development.

On this basis, the proposal accords with Policies LP21 and LP22 of the Kirklees Local Plan, Principles 12 and 19 in the Council's Housebuilders Design Guide SPD, guidance within the Council's Highways Design Guide SPD, and Chapter 9 of the National Planning Policy Framework.

SUSTAINABILITY

The site is located in the edge of Grange Moor, a semi-rural area of Huddersfield and as such is considered to be within a sustainable location with access to various public transport connections and local amenities within easy walking distance.

The buildings will adopt a fabric first approach and designed to make best use of the South facing orientation where larger glazed area will be provided for natural heat gains in winter and smaller glazing area to the North elevations.

Grange Moor as a village provides local amenities including, but not limited to;

- Premier convenience store.
- Traditional pubs/restaurants.
- Post office.
- Church of England.
- Multiple children's playgrounds
- Assorted service businesses
- Primary school (Grange Moor First School).
- Sports clubs (cricket, football and bowling).
- Hairdressers.
- Café.
- Takeaway.

CLIMATE CHANGE

Climate change mitigation measures will be incorporated into the proposals. These include:

- Smart energy metering.
- LED lighting.
- Materials to be sourced locally where possible.
- Local contractors to be preferred for the development.
- EV charging facilities.
- Solar panels.
- Provision of ASHP.
- Mechanical Heat recovery system.
- High levels of thermal insulation.
- Well-sealed buildings with low levels of air leakage.

The Local Plan pre-dates the declaration of a climate emergency and the net zero carbon target, however it includes a series of policies which are used to assess the suitability of planning applications in the context of climate change.

The proposed development would therefore have a positive impact on climate change and accords with Local Plan Policy.

CONCLUSION

The site is without notation on the Kirklees Local Plan. Policy LP1 of the Kirklees Local Plan states that when considering development proposals, the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in Chapter 2 of the National Planning Policy Framework. Policy LP2 sets out that, in order to protect and enhance the character of places, all development proposals should seek to build on the opportunities and help address the challenges identified in the Local Plan.

Paragraph 11 of the National Planning Policy Framework (NPPF) advises that plans and decisions should apply a presumption in favour of sustainable development. It adds, within the same paragraph, that where the policies in the Development Plan, deemed most relevant to the consideration of the proposal in question are out-of-date, the default position is that planning permission should be granted unless: -

a) policies in the Framework that protect areas or assets of particular importance provide a clear reason for refusing the development proposed; or

b) any adverse impacts of so doing would significantly and demonstrably outweigh the benefits when assessed against the policies in the Framework taken as a whole.

In the case of applications for residential development such as this, the NPPF adds that policies will normally be considered 'out of date' if the Local Planning Authority cannot demonstrate a five-year supply of deliverable housing land.

The Council's inability to demonstrate a five-year supply of housing land weighs in favour of housing development but has to be balanced against any adverse impacts of granting the proposal.

The application seeks full planning approval for the demolition of an existing dwelling and garage and erection of 8 new build dwellings on the site located on the edge of Grange Moor and would assist in meeting the housing needs of the Council.

This would be 'in line' with the aims of Chapter 5 of the NPPF, which states that small developments such as this can make an important contribution to meeting the housing requirement of an area and are often built out relatively quickly.

In terms of design, Policy LP24 of the Kirklees Local Plan is relevant, in conjunction with Chapter 12 of the National Planning Policy Framework. Policy LP24, together with the Housebuilders Design Guide SPD, suggests that proposals should promote good design by ensuring, among other things, that the form, scale, layout, and details of all development respects and enhances the character of the townscape, heritage assets and landscape. Furthermore, it requires that proposals protect the amenity of future and neighbouring occupiers and promote highway safety and sustainability.

In this case, the detailed contained within this report demonstrates how this can be achieved.

The NPPF offers guidance relating to design in Chapter 12 (achieving well designed places) whereby Paragraph 131 provides a principal consideration concerning design which states: *"The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities."*

Kirklees Local Plan Policies LP1, LP2 and LP24 all seek to achieve good quality, visually attractive, sustainable design to correspond with the scale of development in the local area, thus retaining a sense of local identity. Policy LP24 states that proposals should promote good design by ensuring: *"the form,*

scale, layout and details of all development respects and enhances the character of the townscape, heritage assets and landscape...”

Paragraph 133 of the NPPF sets out that design guides and codes carry weight in decision making. Of note, Paragraph 139 of the NPPF states that development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Also relevant to this is the Kirklees Housebuilders Design Guide SPD 2021, which aims to ensure future housing development is of high-quality design.

Principle 2 of the Kirklees Housebuilders Design Guide SPD states that: *“New residential development proposals will be expected to respect and enhance the local character of the area by:*

- *Taking cues from the character of the built and natural environment within the locality.*
- *Creating a positive and coherent identity, complementing the surrounding built form in terms of its height, shape, form and architectural details.*
- *Illustrating how landscape opportunities have been used and promote a responsive, appropriate approach to the local context.*

Further to this, Principle 13 of the Housebuilders Design Guide states that applicants should consider the use of locally prevalent materials and finishing of buildings to reflect the character of the area, whilst Principle 14 notes that the design of openings is expected to relate well to the street frontage and neighbouring properties. Principle 15 states that the design of the roofline should relate well to site context.

The proposals seek approval for the demolition of an existing dwelling and garage and erection of 8 new build dwellings on the site at 4 Back Lane, Grange Moor, Huddersfield, WF4 4EJ.

As demonstrated by the above statement and submitted drawings, it is considered that the properties would sit comfortably in relation to neighbouring buildings. With regard to footprint and massing, the proposed dwellings would not be out of keeping with the neighbouring properties given that the locality lacks coherent character and there is already a degree of variation with regard to scale and design. The application site is also of a sufficient size to support the 8 dwellings without the development appearing overly cramped or causing undue harm to the character and appearance of the area.

In summary, it is considered that a development which meets the policies of Chapter 12 of the NPPF, by contributing positively to the surrounding area, as

well as policies LP1, LP2, LP11 and LP24 of the Kirklees Local Plan and principles 2, 5, 6, 13, 14 and 15 of the Council's adopted Housebuilders Design Guide could be achieved on the development site.

