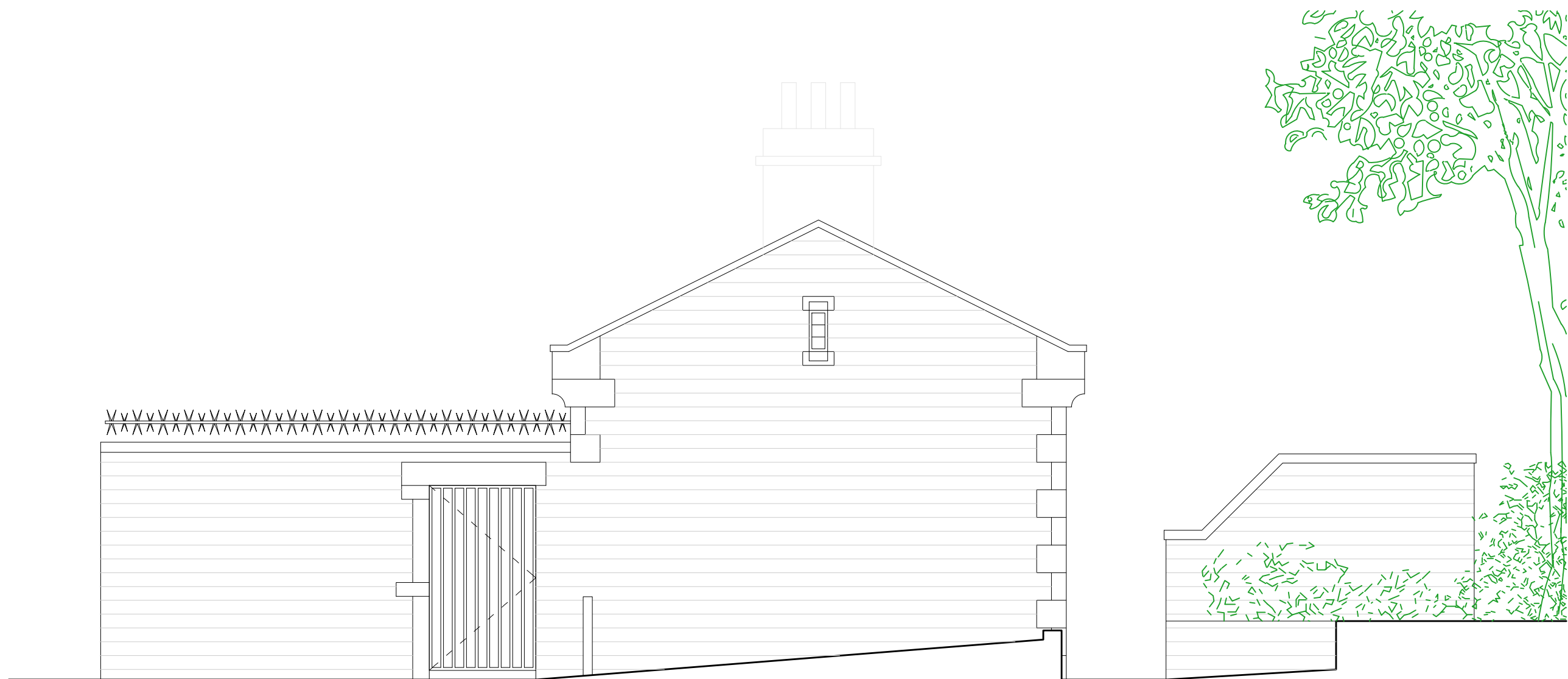
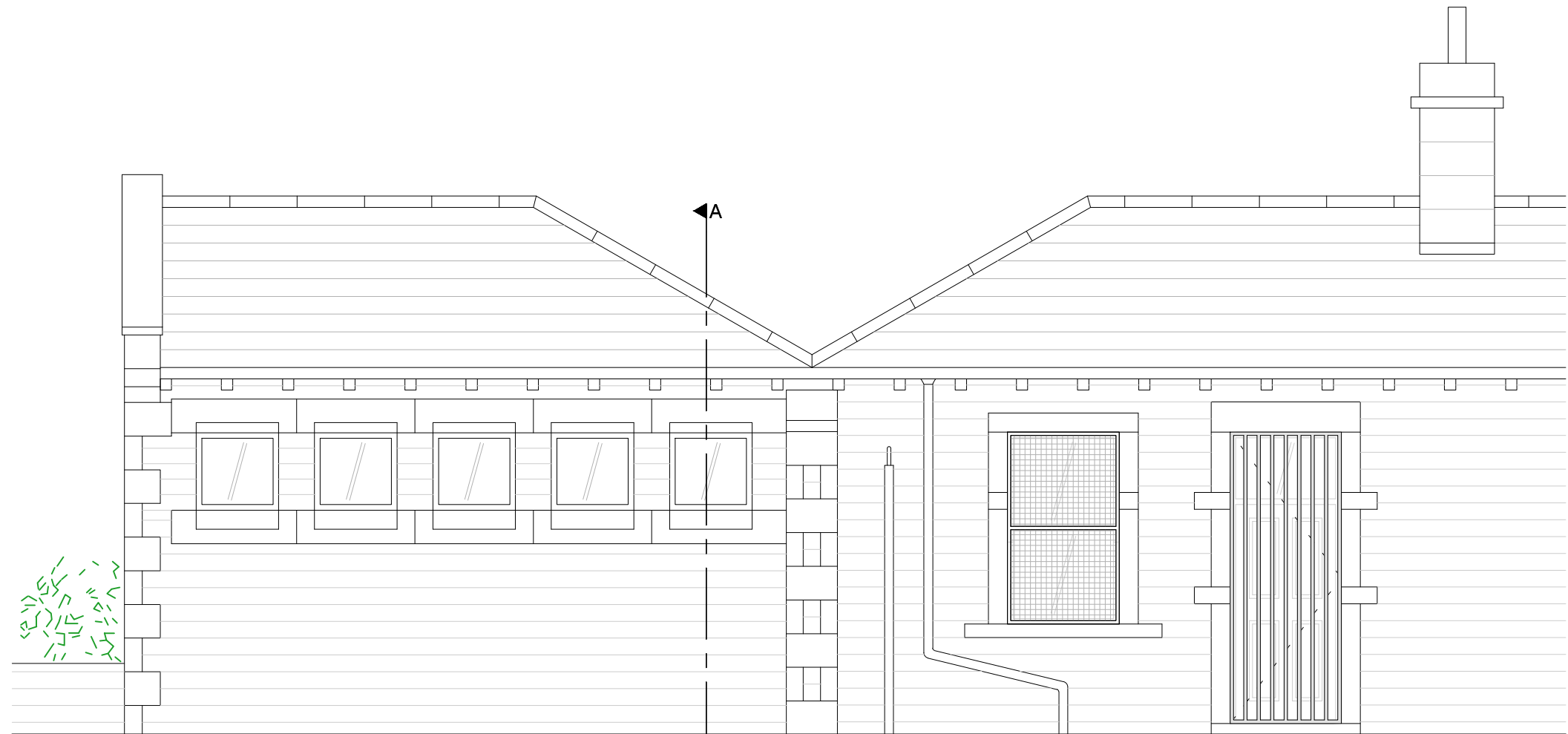
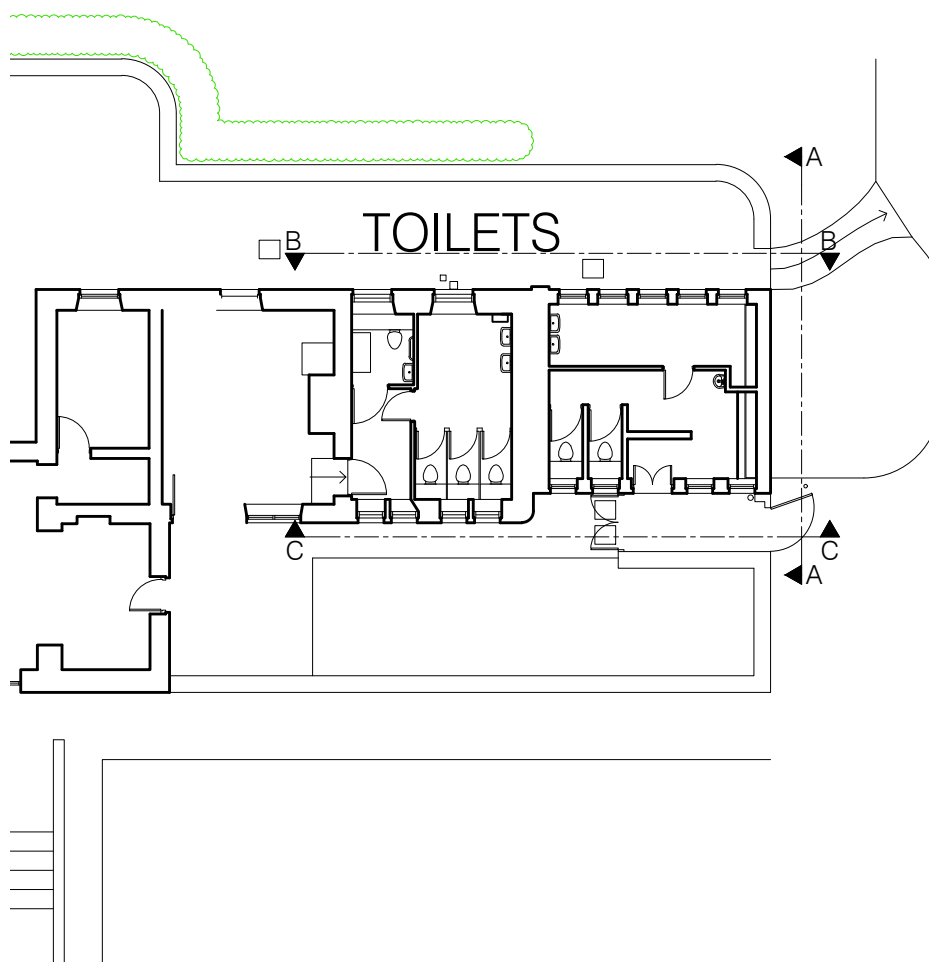
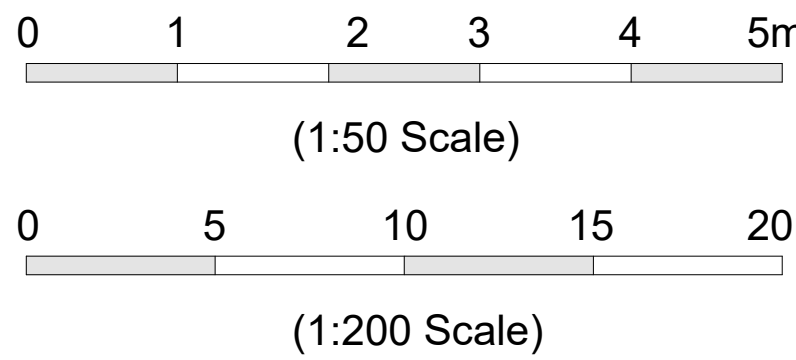




Existing End Elevation - AA
Scale 1:50



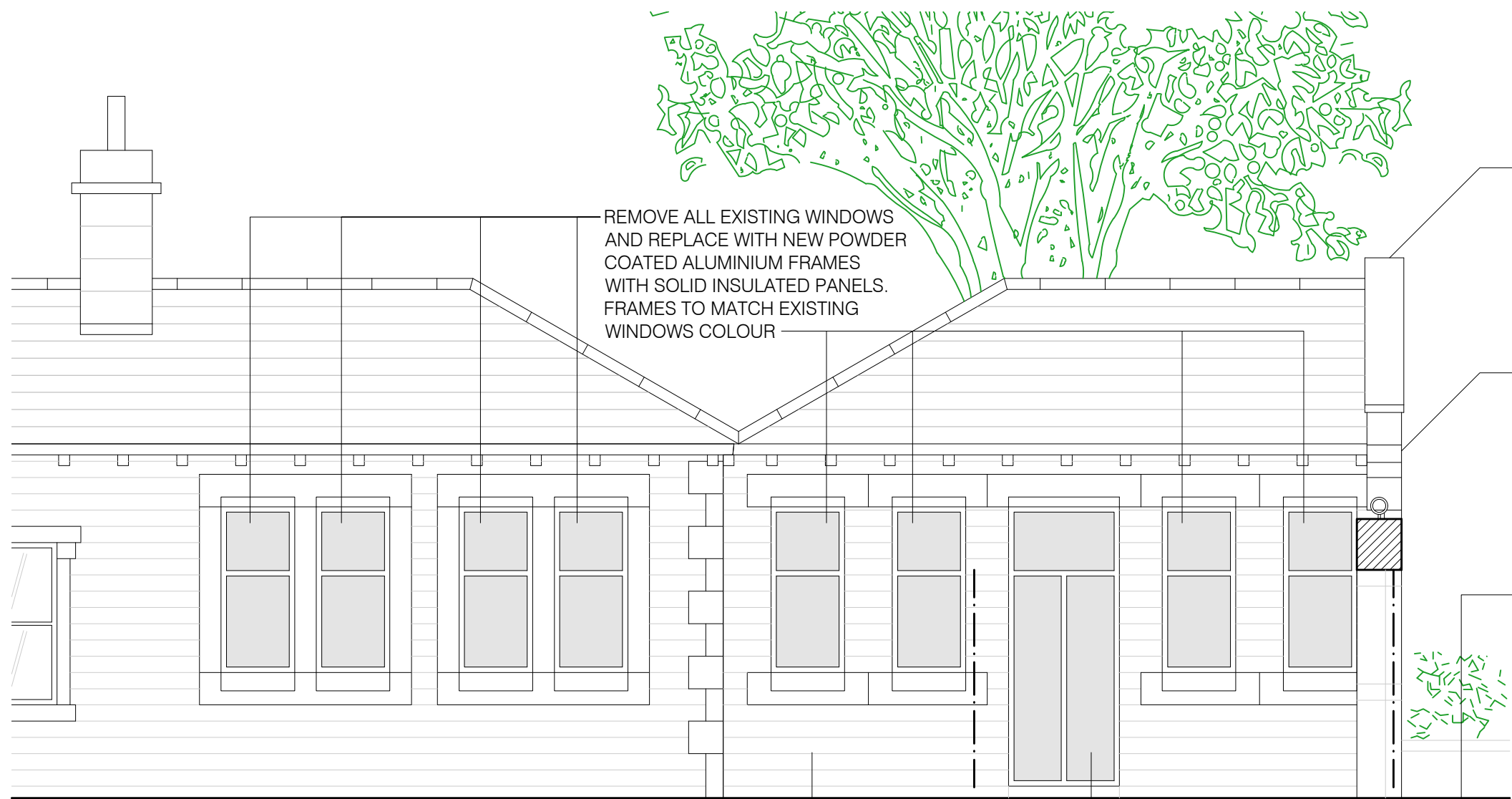
Existing Side Elevation - BB
Scale 1:50



Existing Ground Floor Location Plan
Scale 1:200



Existing Side Elevation - CC
Scale 1:50



Proposed Side Elevation - CC
Scale 1:50

REMOVE ALL EXISTING WINDOWS AND REPLACE WITH NEW POWDER COATED ALUMINIUM FRAMES WITH SOLID INSULATED PANELS. FRAMES TO MATCH EXISTING WINDOWS COLOUR

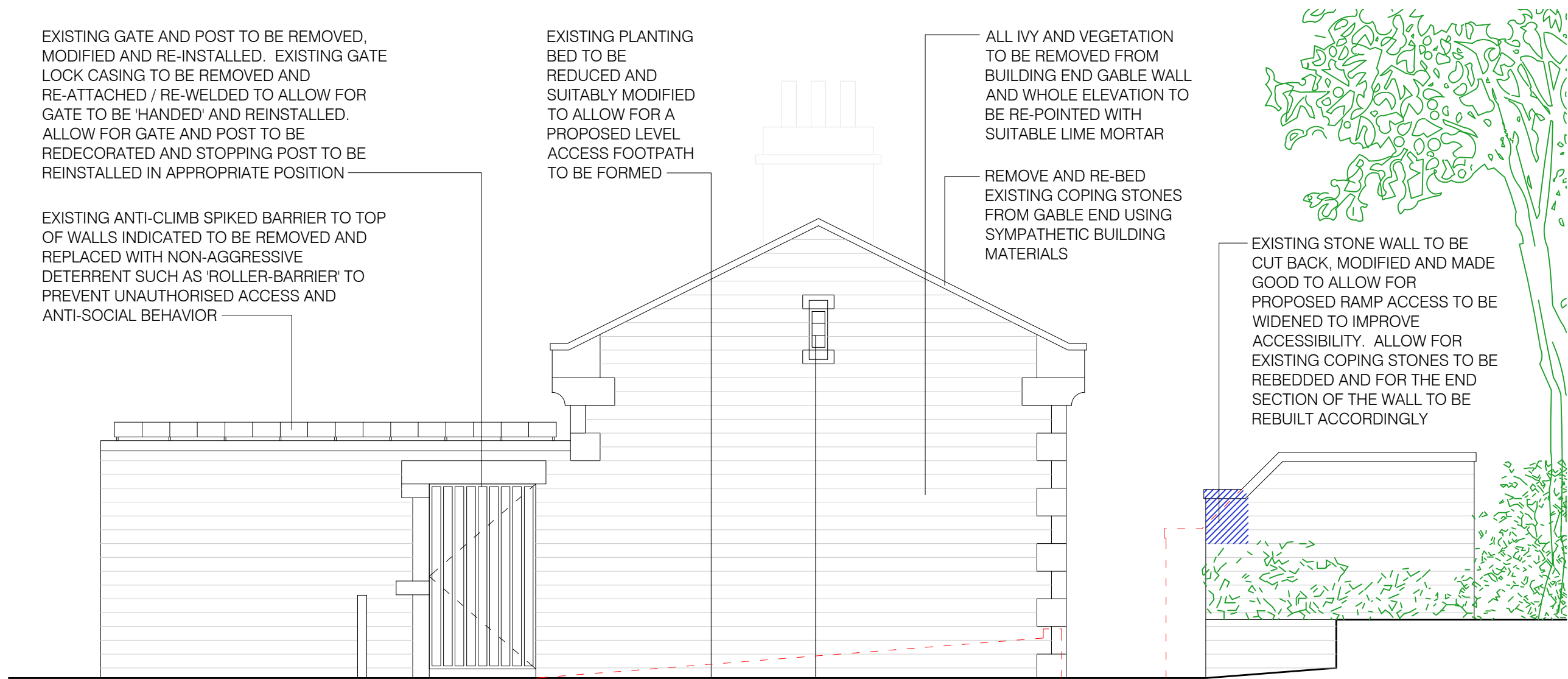
REMOVE AND RE-BED EXISTING COPING STONES FROM GABLE END USING SYMPATHETIC BUILDING MATERIALS

ALL IVY AND VEGETATION TO BE REMOVED FROM BUILDING END GABLE WALL AND WHOLE ELEVATION TO BE RE-POINTED WITH SUITABLE LIME MORTAR

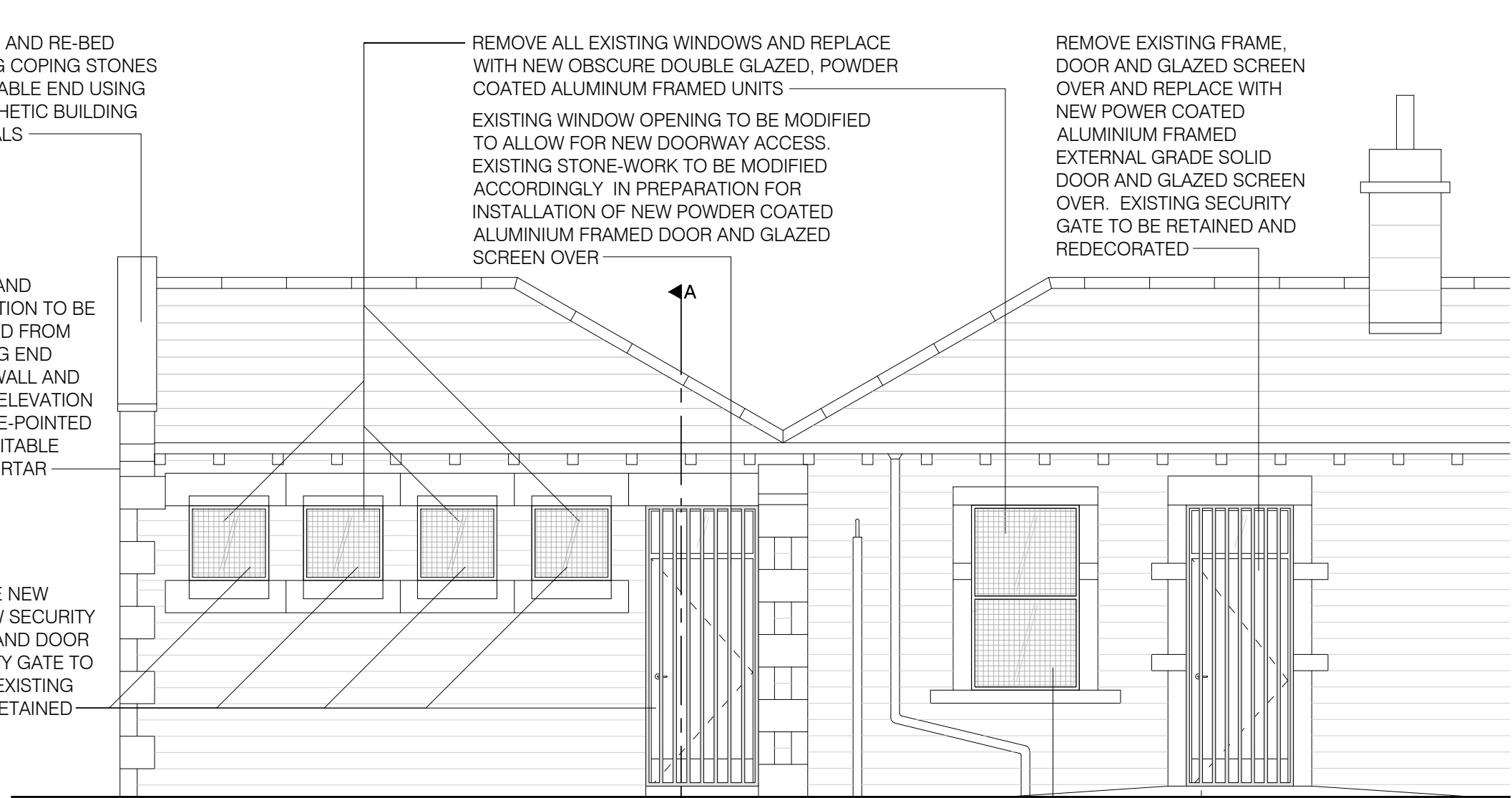
EXISTING PLANTING BED TO BE REDUCED AND SUITABLY MODIFIED TO ALLOW FOR A PROPOSED LEVEL ACCESS FOOTPATH TO BE FORMED

DESCALE EXISTING STONE-WORK ON WHOLE ELEVATION

REMOVE EXISTING DOUBLE DOORS AND REPLACE WITH NEW POWDER COATED ALUMINIUM FRAMES WITH SOLID INSULATED PANELS. FRAMES TO MATCH EXISTING WINDOWS COLOUR



Proposed End Elevation - AA
Scale 1:50



Proposed Side Elevation - BB
Scale 1:50

REMOVE AND RE-BED EXISTING COPING STONES FROM GABLE END USING SYMPATHETIC BUILDING MATERIALS

ALL IVY AND VEGETATION TO BE REMOVED FROM BUILDING END GABLE WALL AND WHOLE ELEVATION TO BE RE-POINTED WITH SUITABLE LIME MORTAR

PROVIDE NEW WINDOW SECURITY CAGES AND DOOR SECURITY GATE TO MATCH EXISTING BEING RETAINED

REMOVE ALL EXISTING WINDOWS AND REPLACE WITH NEW OBSCURE DOUBLE GLAZED, POWDER COATED ALUMINIUM FRAMED UNITS
EXISTING WINDOW OPENING TO BE MODIFIED TO ALLOW FOR NEW DOORWAY ACCESS. EXISTING STONE-WORK TO BE MODIFIED ACCORDINGLY IN PREPARATION FOR INSTALLATION OF NEW POWDER COATED ALUMINIUM FRAMED DOOR AND GLAZED SCREEN OVER

REMOVE EXISTING FRAME, DOOR AND GLAZED SCREEN OVER AND REPLACE WITH NEW POWER COATED ALUMINIUM FRAMED EXTERNAL GRADE SOLID DOOR AND GLAZED SCREEN OVER. EXISTING SECURITY GATE TO BE RETAINED AND REDECORATED

EXISTING WINDOW SECURITY CAGE TO BE REMOVED, REFURBISHED / REDECORATED AND REINSTATED WITH NEW FIXINGS

EXISTING EXTERNAL STONE FLOORING SLABS TO BE REMOVED AND REPLACED WITH NEW FLOOR FINISH. FLOORING TO BE SUITABLY SLOPED TO ENSURE LEVEL ACCESS AREAS TO PROPOSED TOILETS ENTRANCE POINTS

ALL PROPOSALS SUBJECT TO
BUILDING CONTROL &
PLANNING AND
CONSERVATION APPROVAL



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Client

Kirklees Council

Project

Crow Nest Park Toilets

Drawing Title

Existing & Proposed Elevations

Drawn	July26	Checked	
Project Number	CLA850211	Issue Status	PLANNING
Drawing Number	P3	Revision	Scale
			as shown
			A1

Cad Ref: g:\kirklees\hdd\cla850211\hdd\cla850211\crow nest park toilets - 08.07.2020
This drawing is to be read in conjunction with all other drawings and contract documents issued. All dimensions must be checked and verified on site before commencing any works.
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