

40 & 40A Daisy Hill, Dewsbury,

WF13 1LT

Proposed External Alterations to the Principal Elevation

DESIGN, ACCESS AND HERITAGE STATEMENT

July 2026



1. Introduction

This Design, Access and Heritage Statement has been prepared in support of a Full Planning Application for external alterations to the principal elevation of **40 & 40A Daisy Hill, Dewsbury, WF13 1LT**.

The application site lies within the Dewsbury Town Centre Conservation Area. The proposal relates solely to the refurbishment of the existing principal elevation and does not involve any extension, increase in height, alteration to the roof, change to the building footprint or change of use.

The objective of the proposal is to improve the appearance of the building by removing the existing commercial roller shutters and creating a simple, coherent and well-proportioned frontage that complements the surrounding streetscape while preserving the character and appearance of the Conservation Area.

2. Site Description

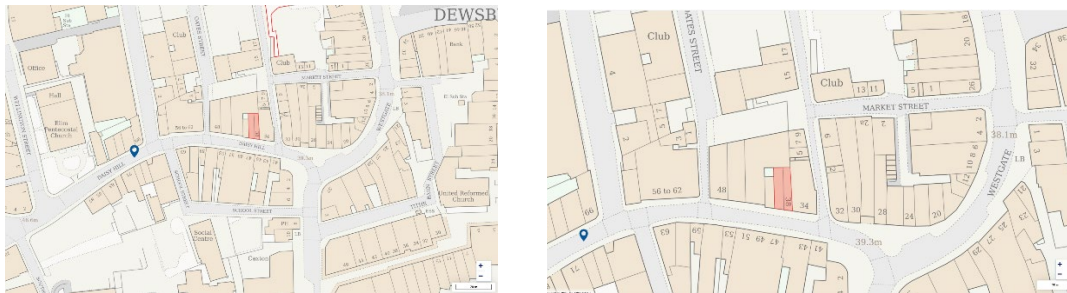


Figure 1: Location Plan identifying the application site at 40 & 40A Daisy Hill within the Dewsbury Town Centre Conservation Area.

The application property occupies a prominent position on Daisy Hill within Dewsbury town centre and forms part of an established terrace of mixed-use commercial buildings.

The building is a three-storey property with a rendered principal elevation and a pitched slate roof. The upper floors retain their original arrangement of window openings, while the ground floor currently contains two commercial roller shutters and separate entrance doors.

The existing frontage has deteriorated over time and now presents a fragmented appearance that makes only a limited positive contribution to the Conservation Area. Weathered render, ageing shopfront elements and the visual dominance of the roller shutters detract from the overall quality of the streetscape.

The surrounding area contains a mixture of historic commercial buildings finished in natural stone, painted masonry and render. A number of neighbouring properties have been refurbished using muted neutral render finishes, demonstrating that sympathetic modernisation has successfully taken place elsewhere within Daisy Hill.

3. Existing Building



Figure 2: Existing principal elevation viewed from Daisy Hill showing the existing white rendered facade, roller shutters, entrance doors and the current condition of the building.

The existing front elevation is characterised by:

- White painted render to the upper floors.
- Two commercial roller shutter doors at ground floor level.
- Separate entrance doors.
- Weathered external finishes.
- A fragmented arrangement of ground floor openings.

Although the building remains structurally intact, the current frontage no longer reflects the quality expected within a designated Conservation Area and presents an opportunity for sensitive enhancement.

4. Proposed Development



Figure 3: Proposed front elevation illustrating the removal of the existing roller shutters, installation of two entrance doors and two ground floor windows aligned with the upper-floor openings, and the application of a smooth warm beige render finish across the principal elevation.

The proposal comprises external alterations to the principal elevation only.

The works include:

- Removal of the existing roller shutter doors.
- Removal of the associated entrance door openings.
- Formation of a new rendered ground floor facade.
- Installation of two entrance doors and two ground floor windows as illustrated on the proposed elevation.
- Alignment of the ground floor windows with the existing first and second floor windows to create a consistent vertical rhythm.
- Application of a smooth warm beige render finish to the entire front elevation.

No changes are proposed to the building's footprint, roof, height, chimney, structural form or upper-floor window openings.

No advertisement signage is proposed.

5. Design Principles

The proposal has been developed with the objective of improving the appearance of the building while respecting its historic proportions and relationship with neighbouring properties.

The existing roller shutters create a visually dominant and inactive frontage. Their removal allows the building to regain a more traditional appearance through a balanced arrangement of doors and windows.

The proposed façade has been designed so that all window openings align vertically across each floor, reinforcing the building's existing proportions and creating a more harmonious elevation.

The design avoids unnecessary architectural embellishment and instead relies on simple detailing, appropriate proportions and a restrained palette of materials.

6. Materials and Appearance

The existing white render will be replaced with a high-quality smooth mineral render finished in a warm beige colour.

The chosen colour has been selected to complement the surrounding buildings and to provide a softer, more sympathetic appearance within the Conservation Area.

Dark entrance doors and white-framed windows provide subtle contrast while maintaining a simple and traditional architectural character.

7. Heritage Assessment

The property lies within the Dewsbury Town Centre Conservation Area.

The proposal has been carefully designed to preserve and enhance the character and appearance of the Conservation Area in accordance with Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

The development does not alter the historic form, height, roofscape or scale of the building.

Instead, it removes visually intrusive modern additions and replaces them with a coherent, high-quality façade that better reflects the character of the surrounding streetscape.

The proposal therefore results in a positive enhancement to the Conservation Area.

8. Access Statement

The proposal relates solely to external alterations to the principal elevation.

Existing access arrangements remain unchanged, and no alterations are proposed that would adversely affect accessibility or pedestrian movement.

9. Planning Policy Assessment

The proposal has been prepared having regard to:

- Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- National Planning Policy Framework – Chapters 12 and 16.
- Kirklees Local Plan Policy LP24 (High Quality Design).
- Kirklees Local Plan Policy LP35 (Historic Environment).

The proposal is considered to comply with these policies by enhancing the appearance of the building, respecting the established character of Daisy Hill and preserving the significance of the Conservation Area.

10. Conclusion

The proposal represents a high-quality refurbishment of the existing principal elevation through the removal of visually intrusive roller shutters, the introduction of a balanced arrangement of doors and windows, and the application of a sympathetic warm beige render finish.

The development preserves the building's scale, form and architectural proportions while making a positive contribution to the character and appearance of the Dewsbury Town Centre Conservation Area.

For these reasons, the proposal is considered to accord with the Planning (Listed Buildings and Conservation Areas) Act 1990, the National Planning Policy Framework and the adopted Kirklees Local Plan. Planning permission is therefore respectfully requested.