

Design, Access & Heritage Statement

Job No. 2887

Land at Fenay Lane, Almondbury,Huddersfield, HD8 oLJ

Introduction:

This design and access statement is submitted to meet the requirements of the Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015. It has also taken account of the (now superseded) CABE publication, "Design and Access Statements – How to Write, Read and Use Them" (June 2006) and the National Planning Policy Framework (March 2012 and subsequent updates). It should be read with the drawings and other material accompanying the planning application and be treated as part of that planning application.

Both the 2015 Order and the CABE document set out the issues to be addressed in Design and Access statements. They should describe the design principles and concepts that have been applied to the development and demonstrate the steps taken to appraise its context and how the design takes that context into account.

They should describe how issues relating to the access to the development have been dealt with, explain the policy adopted as to access, show how relevant local development documents have been taken into account and give an account of any consultation undertaken.

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Site Address:

The land at Fenay Lane is situated on the southern edge of Almondbury village, offering a rare combination of village accessibility and rural character.



Site Location



Site Location

- Key
- Application boundary (0.8982 Hectares)
 - Land within applicant's control

Site Features:

The site is clearly defined and contained by existing features, including mature hedgerows and tree screening to the North (Trees protected by TPO). Thicker density can be found running along the North boundary beck. Stone walls divide the site from Fenay Lane and Fleminghouse Lane, with field fencing found along the beck. This creates a natural enclosure along all edges. These boundaries integrate the land with the surrounding village, showing that the site is influenced by nearby development rather than isolated countryside.

Current access is via an existing gated entrance off Fleminghouse Lane. The site is situated within a shallow valley and features a gradual slope from the North to the South. Historic buildings and residences establish a finished floor level higher than our site.



Site Location Views



1. View looking North East from Fenay Lane



2. View West of the site looking East



3. View looking West from Fleminghouse Lane

Landscape Character

The site sits on the rural fringe, forming a transition between the urban edge and open countryside. Suburban development, domestic gardens, and pockets of open land create a soft settlement edge. The site is surrounded by nearby built form rather than reading as part of the open countryside.

Crucially, Fenay Lane forms a strong, defensible boundary. Development is largely contained to the northern side, reinforcing that the site relates more to existing residential areas than to the wider countryside.

Visual Appraisal

The site is well contained visually. Heavy tree cover along boundaries limits views from surrounding public roads, while its position within a valley means most nearby development sits on higher ground, further restricting visibility.



Site Location Views



1. View from public footpath, Fenay Crescent



2. View from Thorpe House Court



3. View from Fenay Lane

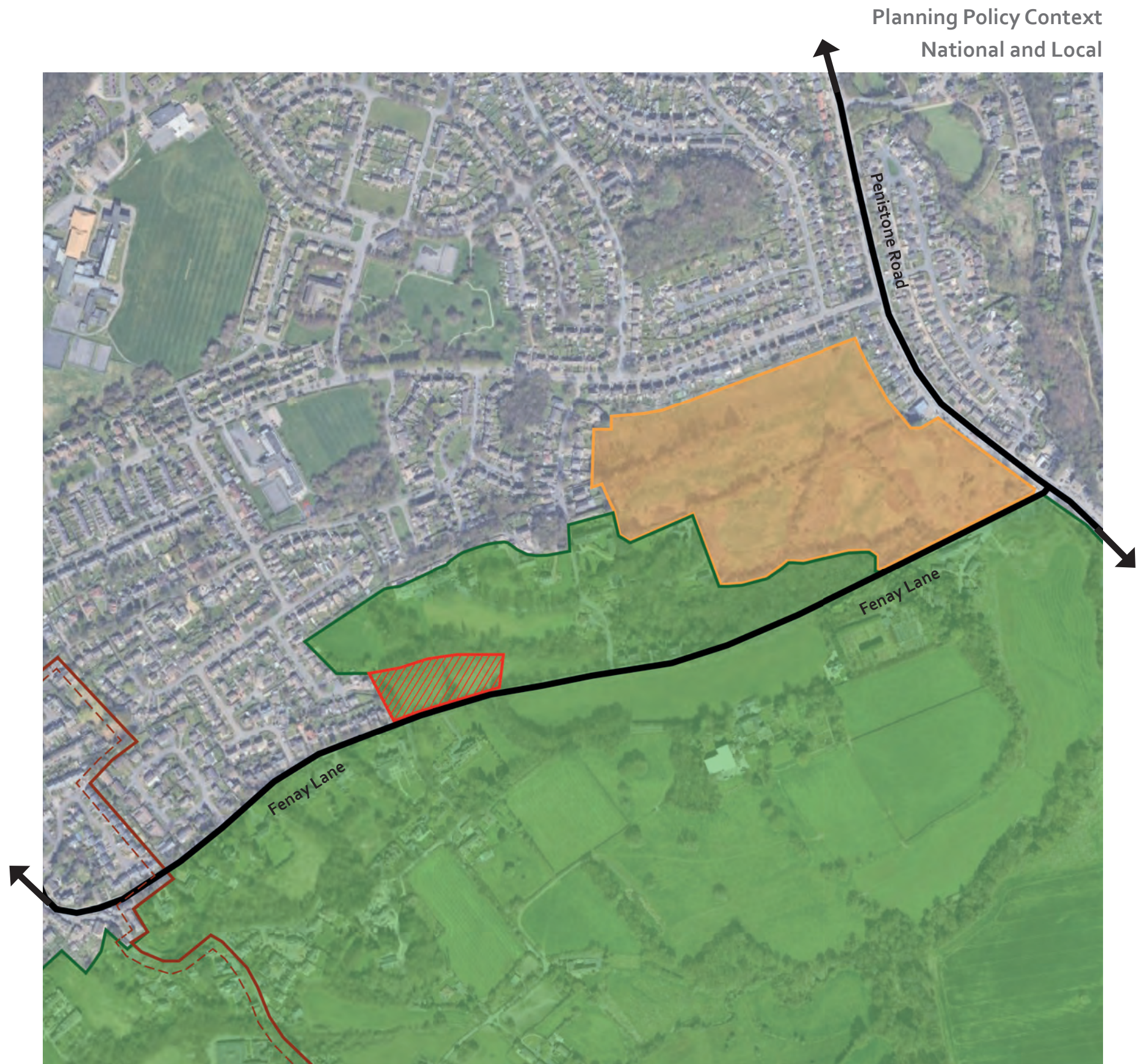
National Planning Policy Framework

For a full planning policy commentary and detailed assessment, reference should be made to the supporting material prepared by the Agent and Planning Consultant, Peacock and Smith.

The application site lies within the Green Belt. National planning policy recognises the fundamental aim of Green Belt designation as preventing urban sprawl by keeping land permanently open. Green Belt policy seeks to safeguard the countryside from encroachment, prevent neighbouring towns from merging, preserve the setting and special character of historic settlements, and support urban regeneration by encouraging the reuse of previously developed land.

Notwithstanding its Green Belt location, it is considered that the site satisfies the criteria for designation as Grey Belt land as set out in national planning policy. Grey Belt land comprises areas within the Green Belt that do not strongly contribute to the core purposes of Green Belt designation, particularly where land has been influenced by existing built form, infrastructure or urbanising features, or otherwise makes a limited contribution to maintaining openness. In this instance, the characteristics of the site, together with its relationship Fenay Lane, demonstrate that it does not perform the key strategic functions of the Green Belt to any significant degree and therefore falls within the scope of Grey Belt land.

Accordingly, it is contended that the proposed development is capable of meeting the relevant policy tests applicable to Grey Belt land and should be assessed on that basis.



Key

Site

Conservation Area

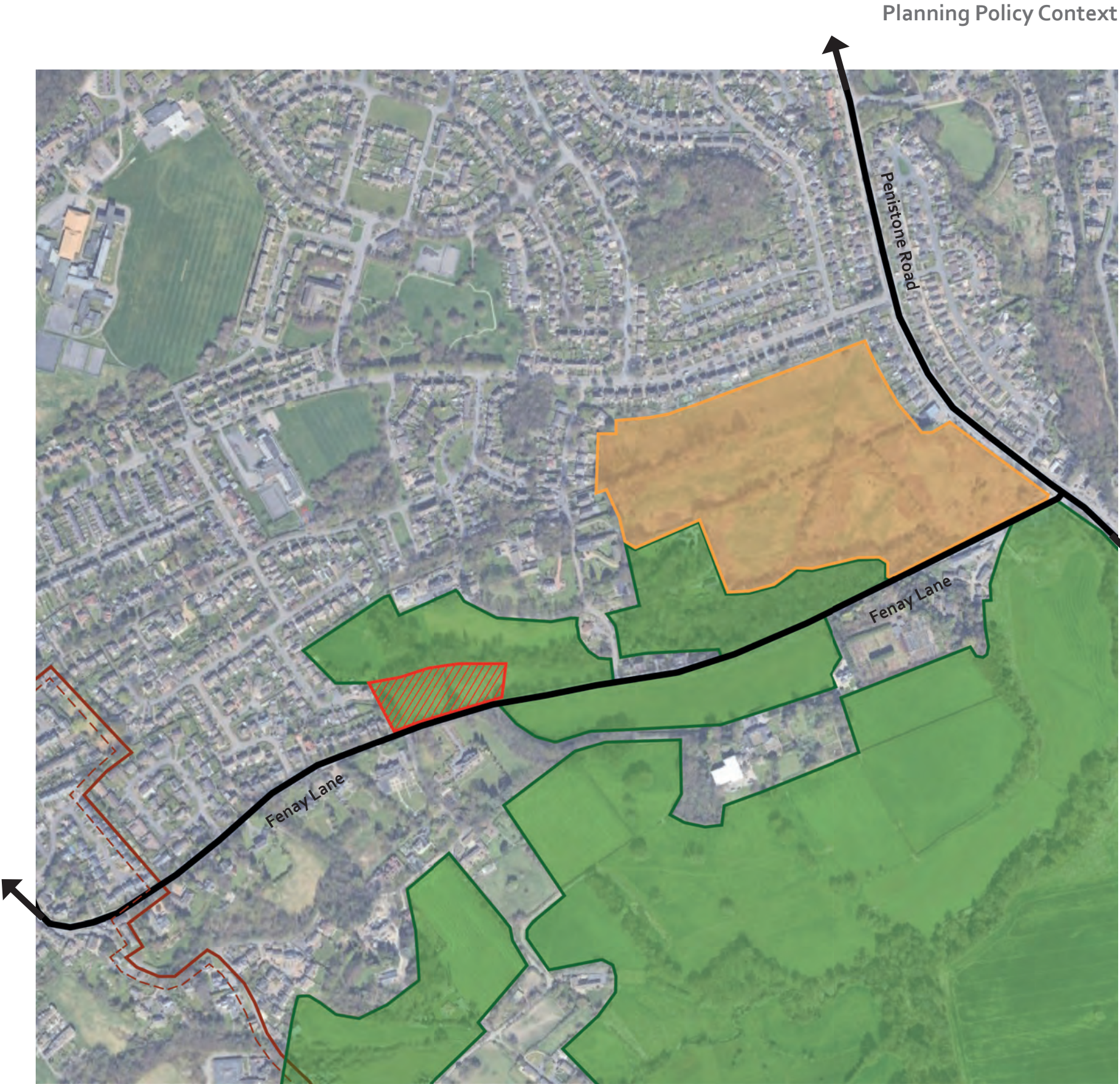
Housing Allocation

Green Belt



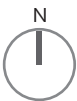
Green Belt Not Developed

The adjacent image shows the application site in the context of greenbelt. The plan shows greenbelt land unshaded to reveal land currently within domestic use and curtilage. Fenay Lane forms a natural dividing line within the greenbelt, with development primarily to the north of Fenay Lane; this is further reinforced with the large housing allocation land to the north east of the application site, further weakening the openness of this particular portion of the greenbelt.



Key

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|---|--|
|  Site |  Housing Allocation |
|  Conservation Area |  Undeveloped Green Belt |



Local History:

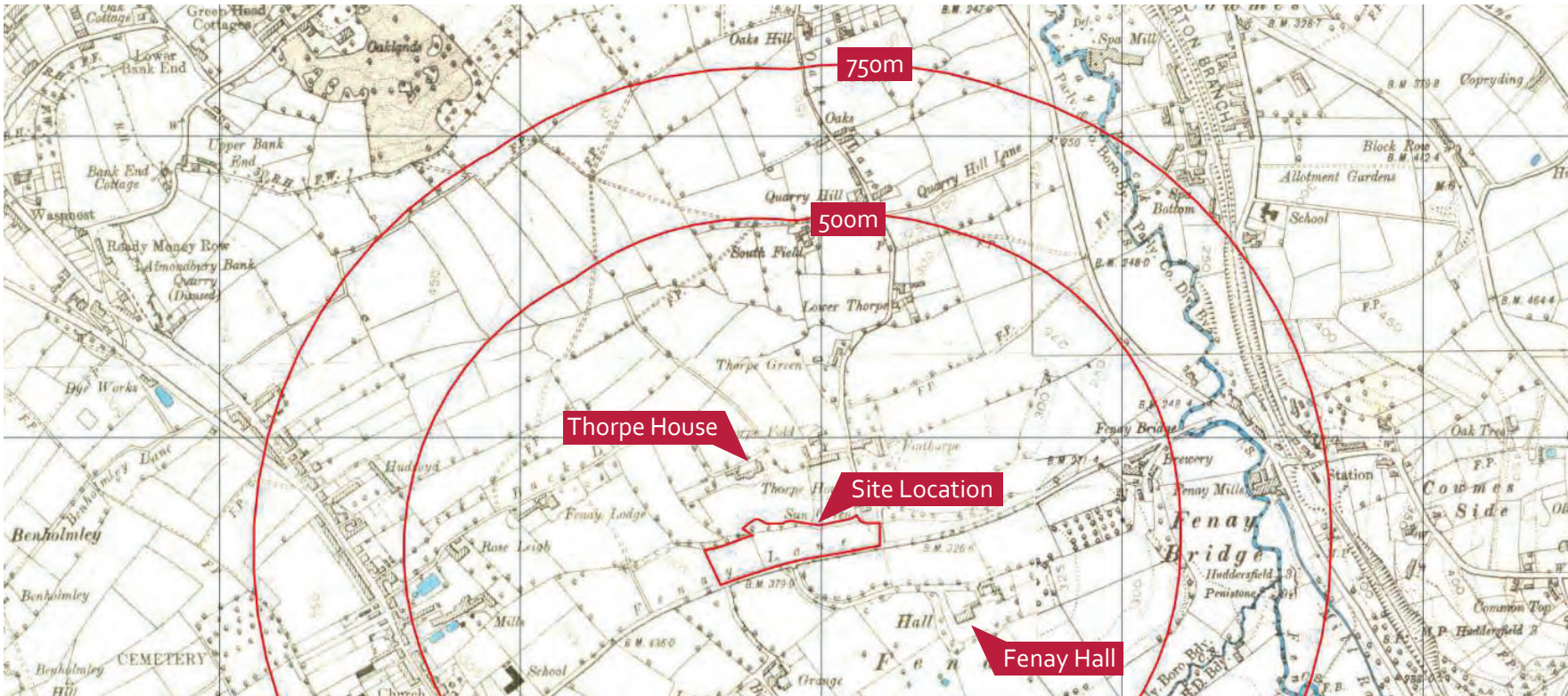
Fenay Lane was historically a rural agricultural area, with farmland and smallholdings shaped by the region’s wool and textile industries, as seen in historic mills and farmsteads. Early maps show consistent agricultural use over centuries. From the late 1980s, rising housing demand, improved infrastructure, and proximity to nearby towns spurred rapid residential development, transforming the area from a rural landscape into a thriving suburban community while retaining elements of its agricultural heritage.

Farm History & Heritage:

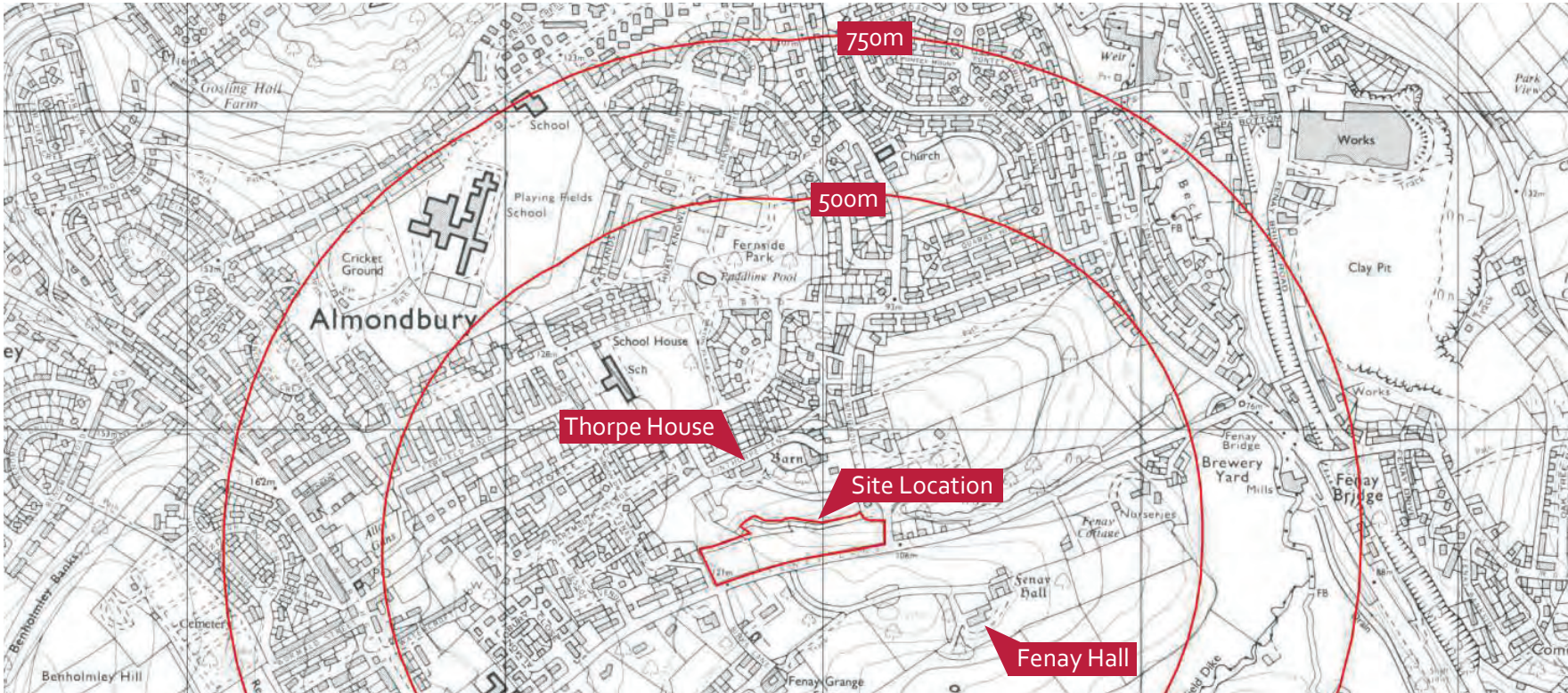
Fenay Lane features traditional farm buildings, some dating from the 18th and 19th centuries, with stone and timber barns reflecting historic rural construction. While some structures have been modified over time, their overall form and materials retain the site’s historic character, allowing any sympathetic development to honor its agricultural heritage while supporting contemporary use.



Fenay Hall, Greenside, Almondbury, Huddersfield. (Grade II* Listed)



National Survey (1888 - 1892)



National Survey (1988 - 1990)



Heritage Assets:

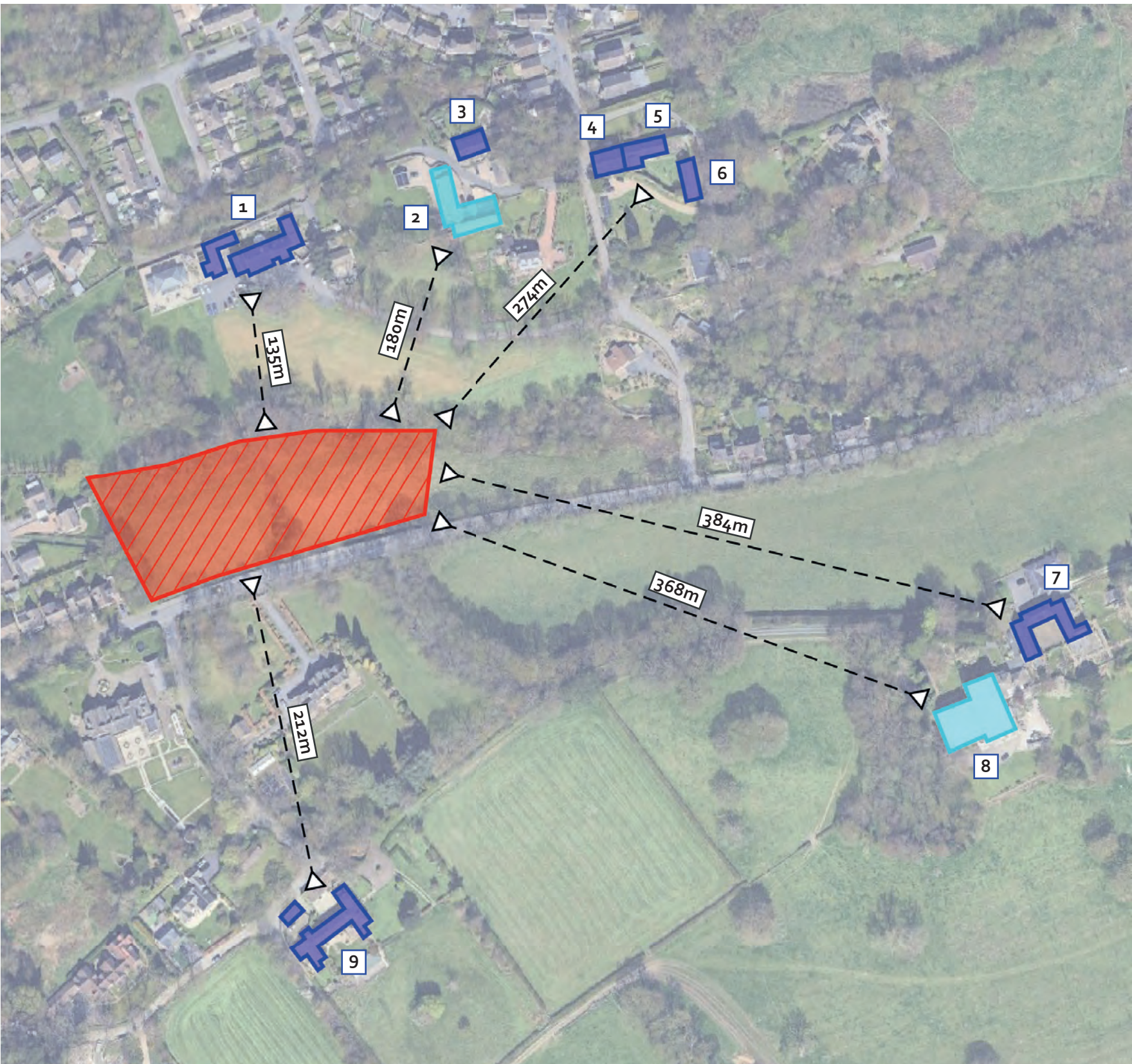
The site is surrounded by a number of designated heritage assets, primarily comprising traditional farmsteads and associated buildings characteristic of the local vernacular. These include Thorpe House and Thorpe Farm Barn on Finthorpe Lane, alongside Thorpe Farmhouse, all of which display typical features such as stone construction, slate roofs, and historic window detailing.

A further cluster of assets, Finthorpe, Finthorpe Cottage, and their associated stables and coach house run along Fleming House Lane. Reflecting similar historic fabric and evolution, combining original masonry with later alterations and extensions.

To the wider area, the group at Fenay Lane, including the stables and coach house and the more substantial Fenay Hall, together with Fenay Grange Farmhouse on Birks Lane, represent a mix of agricultural and higher-status buildings, with a combination of stone and timber construction, traditional roof forms, and surviving historic detailing.

Designated heritage assets within the surrounding area of the site:

- 1) **Thorpe House:** Finthorpe Lane, HD5 8FB
- 2) **Thorpe Farm Barn:** Finthorpe Lane, HD5 8TU
- 3) **Thorpe Farmhouse:** 15-17, Finthorpe Lane, HD5 8TU
- 4) **Finthorpe:** 245, Fleming House Lane, HD5 8TY
- 5) **Finthorpe Cottage:** 243, Fleming House Lane, HD5 8TU
- 6) **Stables, Coach House:** 245, Fleming House Lane, HD5 8TY
- 7) **Stables, Coach House:** Fenay Lane, HD8 oLJ
- 8) **Fenay Hall:** Fenay Lane, HD8 oLJ
- 9) **Fenay Grange Farmhouse:** Birks Lane, HD8 oLH



Key

- Site
- Grade II
- Grade II*
- Approx Distance



Heritage Impact:

NO.	Significance	Setting	Impact	Overall
1	Median	Median	Minor	Minor Harm
2	High	Median	Negligible	Minor Harm
3	Median	Low	No change	Negligible
4	Median	Low	No change	Negligible
5	Median	Low	No change	Negligible
6	Median	Low	No change	Negligible
7	Median	High	No change	Negligible
8	High	High	No change	Negligible
9	Median	Median	No change	Negligible

The study identifies 9 nearby heritage assets and evaluates the degree to which the site may influence their significance, taking into account factors such as distance, setting, and existing landscape features including tree screening and topography. The majority of heritage assets experience no change or negligible impact as a result of the distance from the site and no lines of sight which would reveal the proposed development. Where minor impacts have been identified:

- 1) Thorpe House
- 2) Thorpe Farm Barn

Thorpe House and Thorpe Farm Barn have been identified as experiencing minor impact due to their relative proximity to the site; however, this is moderated by several key factors. Both assets are positioned at a notably higher elevation than the proposed development, meaning the scheme sits lower within the landscape when viewed from these locations, while the separation distance and direction of views limit the degree of interaction. This relationship is further softened by extensive, multi-layered tree screening across the intervening landscape, which acts as a natural visual buffer and filters views towards the site.



Key

- Site
- Negligible impact
- Tree screening
- Minor impact

Heritage Impact Assessment:

1) Thorpe House: Finthorpe Lane, HD5 8FB

Ashlar front with hammer-dressed stone to other elevations, pitched stone slate roof with coped gables. Two storeys, sash and French windows, stone-framed entrance, rear sash windows and later extensions.

9) Fenay Grange Farmhouse: Birks Lane, HD8 0LH

C18 long-house farmhouse in hammer-dressed stone with pitched slate roof, two storeys, tripartite mullioned and sash windows, rear lean-to, barn with stable doors and adjoining red-brick cottage with stone mullions.



Key



Site



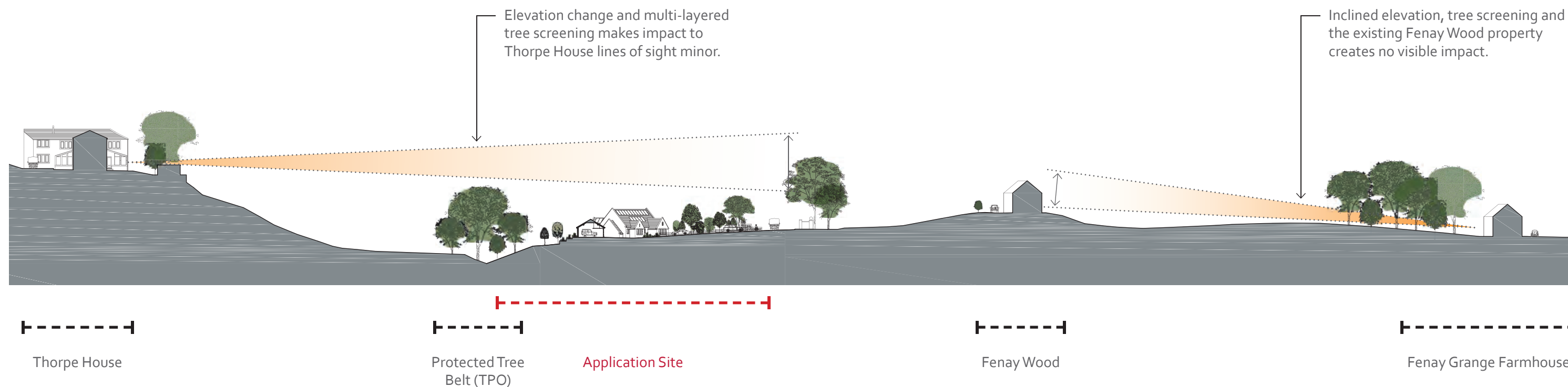
Site section cut



Negligible impact



Minor impact



Thorpe House Assessment:

The existing unauthorised structure (Gazebo?) immediately behind Thorpe House, for which there appears to be no planning history, detracts from the setting and key views of this Grade II listed building. Its timber cladding is incongruous with the historic materials of Thorpe House, weakening the character and significance of the listed asset, while the structure also acts as a visual screen to our site. In contrast, our site, with a finished floor level approximately 20m below Thorpe House, is likely to result in only a minor visual impact, preserving the key views and setting of the heritage asset.

On a previous planning application to the former Coach House (Thorpe House) Reference No: 2019/62/91193/W. The conservation officer made the following statement:

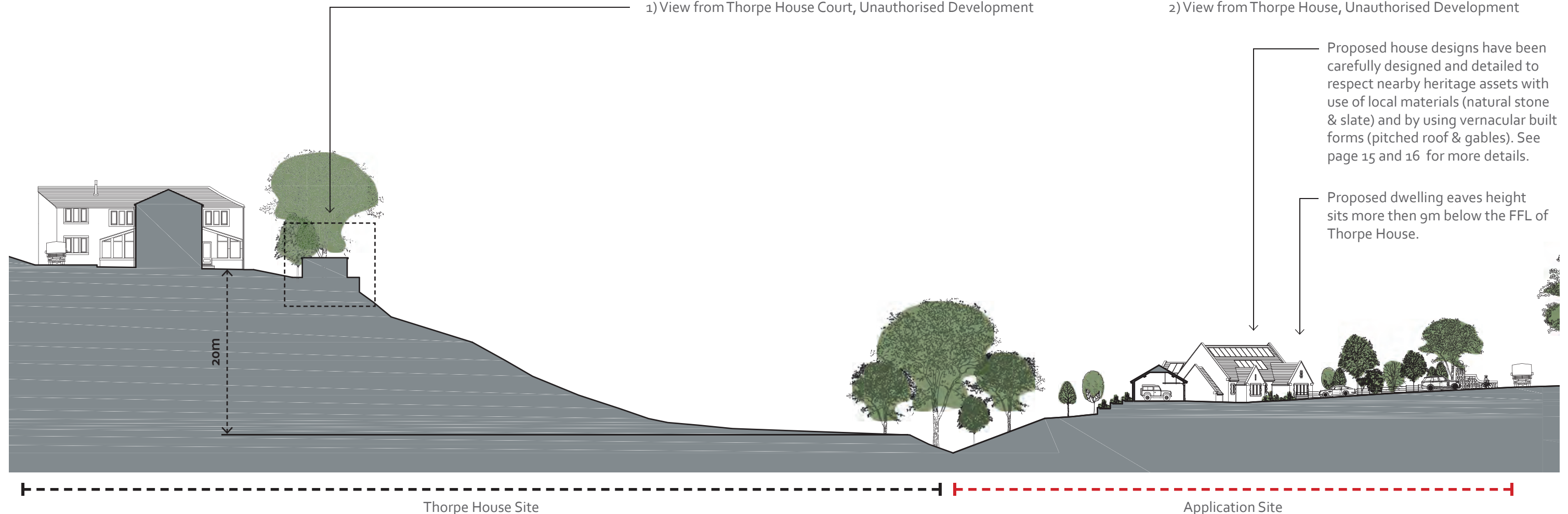
"The former Coach House has little historic or architectural interest internally, except for the roof trusses and externally the property has be altered considerably such that it is difficult to appreciate its original form and function."



1) View from Thorpe House Court, Unauthorised Development



2) View from Thorpe House, Unauthorised Development



Public Transport:

The site benefits from access to local bus services operating along Fenay Lane and nearby connecting routes. Bus stops are located within reasonable walking distance of the site, providing connections to nearby settlements and Huddersfield town centre. Huddersfield town centre provides access to Huddersfield Railway Station. These connections provide access to employment, education and services across the wider region, supporting the sustainability credentials of the site, which offers regular rail services to a range of regional and national destinations.

Local Settlements (Bus):	Wider Region (Bus/ Train):
- Almondbury	- Leeds
- Kirkburton	- Manchester
- Holmfirth	- Sheffield
- Huddersfield town centre	- York

Local Services and Facilities:

The site benefits from proximity to a range of day-to-day services and facilities within nearby settlements. The nearest concentration of services is located within Almondbury, which provides:

- Local convenience retail
- Primary and secondary education provision
- Healthcare facilities
- Community facilities
- Public houses and local services

Access to Open Space and Countryside:

The site benefits from proximity to open countryside and rural landscapes. The surrounding area transitions from built development to open countryside within a short distance of the site. Nearby recreational opportunities include:

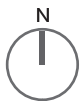
- Local agricultural land and countryside
- Access to Beaumont Park
- Wider access to the South Pennines landscape
- Access to wider open landscape setting including public rights of way

These opportunities provide recreational benefits for future residents and contribute to the overall attractiveness of the site.



Key

- | | | |
|--|---|---|
|  Site |  Footpath (Kirkles Council) |  Byway (Kirkles Council) |
|  South Kirkles Bus Routes |  Bridleway (Kirkles Council) | |



Use:

The application site is currently open pasture fields. The Provisional Agricultural Land Classification (ALC) (England) classifies the land as "urban"

Historic mapping suggest the land has been used for farming. The Groundsure report confirms the presence of dye works in the late 1800s to early 1900's to the south of the site.

The proposed use is residential (C3) open market dwellings.

Amount:

The proposed red line area for the development is **0.8982 Hectares** (Gross Developable Area – GDA). This includes non developable areas such as roads, biodiversity zones, landscape buffer zones and root protection areas of TPO tree belt. The Net Developable Area (NDA) for housing plots and private gardens is **0.4961 Hectares**.

Net to gross Developable area ratio: **55.2%**

Density of 12 dwellings per hectare. The proposed amount of development proposed is 6 detached 2 storey dwellings plus garages. Each plot has a private front garden and a private rear garden of 12m minimum length. Gross internal floor areas for each plot is:

Plot A: 3,603ft² (4/5 Beds)

Plot B: 3,418ft² (4/5 Beds)

Plot C: 2,682ft² (4 Beds)

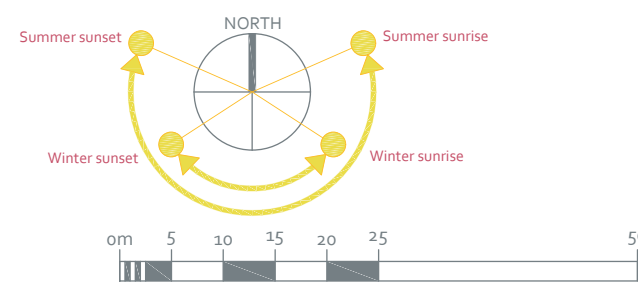
Plot D: 3,605ft² (4/5 Beds)

Plot E: 2,806ft² (4 Beds)

Plot F: 4,973ft² (5/6 Beds)

() Excludes garages and floor area with less than 1.5m head height*

Nationally Described Space Standard (NDSS) the standard deals with internal space within new dwellings and is suitable for application across all tenures. It sets out requirements for the Gross Internal (floor) Area of new dwellings at a defined level of occupancy as well as floor areas and dimensions for key parts of the home, notably bedrooms, storage and floor to ceiling height. The six houses subject to this application will far exceed the minimum requirements of the NDSS.

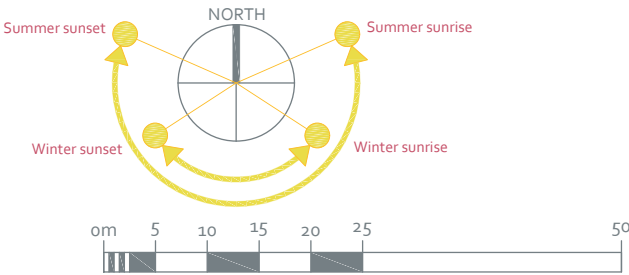
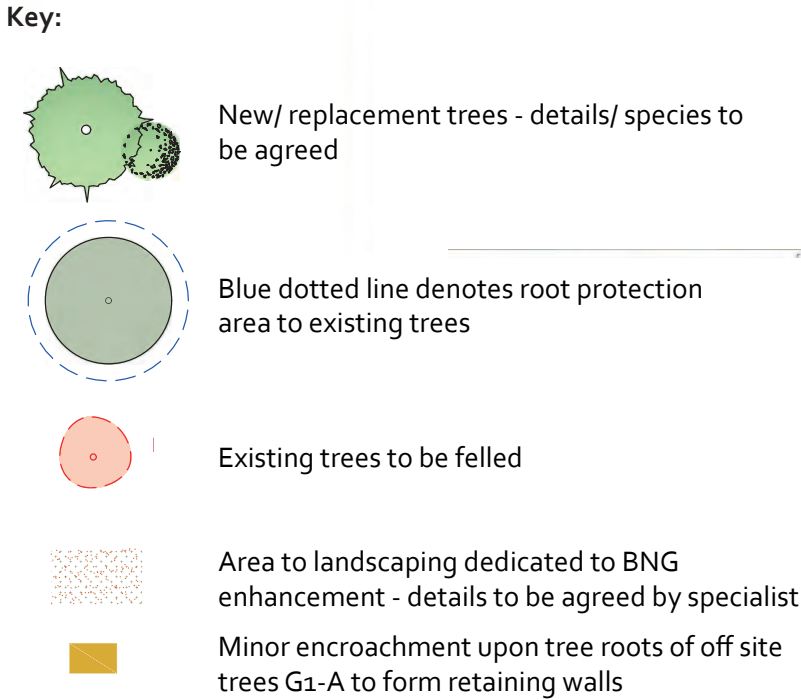


Landscaping:

This application includes landscape design and analysis from consultant Studio 413. Arboricultural matters have been covered by consultant Tree Care Consultancy.

The design of the development has carefully included areas of high quality soft landscaping to act as a buffer and visual screen when viewed from Fenay Lane. The design of the dwellings carefully mitigates harm to the roots of all off site and protected trees. Minimal tree felling is proposed with the development.

NARRATIVE TO ADD BY STUDIO 413



Scale and Massing:

The scale of the dwellings reflects the local character; namely 2 storey homes. The dwellings have been deliberately set down in height from Fenay Lane, in part due to the natural topography of the site and partially to minimise visual impact from the street scene.

The dwellings have been designed to reflect the proportions of traditional stone-built houses within the locality. The steeply pitched roof, vertically proportioned windows and pronounced gables reflect local vernacular characteristics. The building form is articulated through:

- Projecting front gables
- Variation in ridge heights
- Subordinate garage wings
- Central entrance feature

These elements collectively reduce the perceived mass of the building and create a visually balanced composition appropriate to its setting. The proposed layout has been influenced principally by various factors:

- Topography of the site
- Protected and off site trees
- Access
- Privacy and amenity
- Local built grain and density



Plot A Front Elevation



Plot A Rear Elevation

Appearance:

The proposed dwellings have been designed as a high quality, traditionally inspired family homes that respond positively to the character of the surrounding built form and rural edge context of Fenay Lane. The design approach applies careful consideration given to scale, proportions, materials, and architectural detailing. Adopting a traditional architectural language, drawing influence from large stone built properties typical of the local area. The building form is composed of a 2 storey main house with projecting gables, together with a subordinate single storey garage wing. This approach breaks down the overall massing and reflects the incremental form typically found in traditional rural dwellings and farmhouses. The principal elevation is arranged symmetrically around a central entrance, creating a strong and legible hierarchy. Projecting gables add visual interest and articulation, reducing the apparent scale of the building and providing a balanced composition. Garages are designed as a subservient element, with a lower ridge height and simpler form, ensuring the main dwelling remains the dominant architectural feature.

The proposed materials are intended to reflect the traditional palette found within the surrounding area and to ensure the dwelling integrates appropriately within its context. The proposed materials include:

- Natural stone external walling
- Natural slate roof covering
- Stone window heads and cills
- Aluminium windows in a muted colour palette
- Feature entrance door with timber detailing

The design incorporates a number of traditional architectural details to enhance visual quality, including:

- Stone window surrounds
- Projecting gables with stone copings and kneeler stones
- Chimney feature
- Recessed entrance porch
- Deep window reveals
- Vertical window proportions

Whilst the dwelling adopts a traditional architectural appearance, modern elements have been sensitively incorporated. Solar photovoltaic panels are proposed on the principal roof slope. These are positioned flush with the roof plane to minimise visual impact and are integrated within the roof design. This approach allows the development to incorporate sustainable technologies whilst maintaining a traditional architectural character.



Proposed Plot D Front View



Neighbouring Local Vernacular



Access:

Vehicular and pedestrian access into the application site will be via a newly created opening along Fenay Lane. The location has been optimised to minimise level differences between the public footpath and the road into the site, taking account of the topography. The shared surface access private road serves each house with a minimum of 4 off street parking spaces and space for cycle storage. The road layout has been designed to allow access for fire fighting vehicles and refuse collection. See further design material provided by Holdgate Consulting as part of this application.

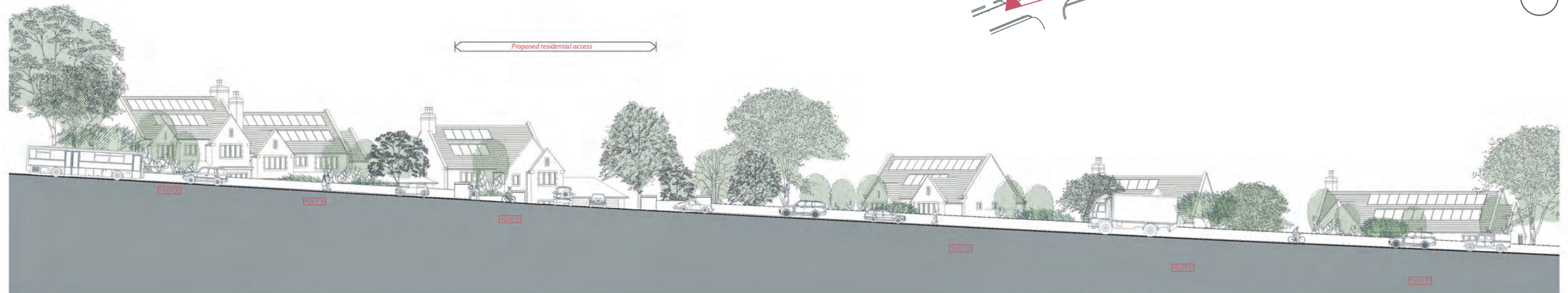
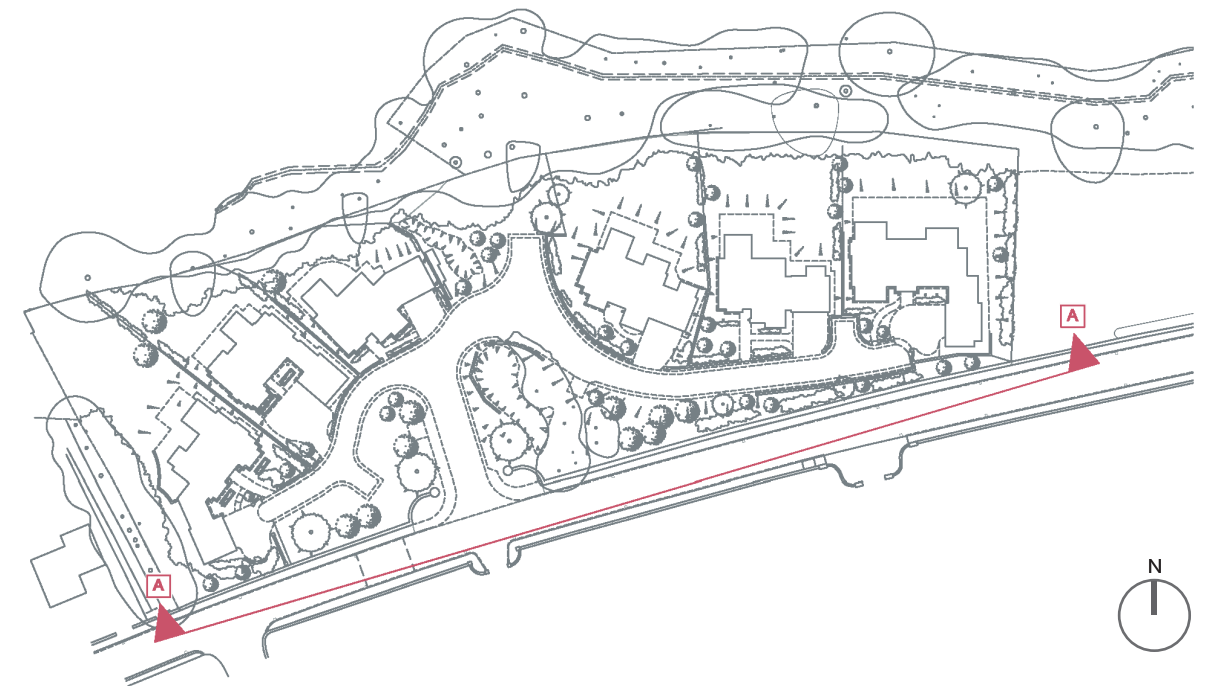
In respect of accessibility and reference to Building Regulations approved document M and M4(2) Accessible and adaptable dwellings: The design of all dwellings allows for reasonable provision for most people, including wheelchair users to approach and enter the dwelling.

- All dwellings can be accessed and approached by private car. The private driveway will be no steeper than 1/12.
- The entrance door to all dwellings will be wide enough to accommodate a standard wheelchair (Clear minimum opening width of 775mm) and will include an accessible threshold.
- Dwellings will have access to sanitary facilities on the entrance storey
- Wherever possible the approach from the car parking areas to the entrance door will be gently sloping and steps will be avoided as far as possible.

Wider Site Accessibility:

The application site is located on Fenay Lane on the south-eastern edge of Huddersfield. The site benefits from a sustainable location with access to public transport, local services, employment opportunities and areas of open countryside.

The surrounding area is characterised by a mix of residential development, rural edge landscapes and established settlements, providing a balance between accessibility to services and access to open countryside. The site's location enables future occupants to access day-to-day services by a range of transport modes including walking, cycling, public transport and private vehicle.



SECTION A A