

RECEPTION & BAR				
Heritage Significance	A mixture of Low & Moderate			
Description of Significance	While the significance statement in listing goes into some detail around plasterwork in the ground floor entrance area, subsequent investigations have demonstrated much of this '1930s' fabric is replication as demonstrated by the exposure of 1960s steel columns and the discovery of some of the limited elements of 1930s ceiling above what appears to be a 1970s ceiling install (timber and hardboard).			
	Plan and form however remains a significant important factor in particular the remaining entrance flanking walls, main stair location and downstand beams still evidencing in part the former entrance suite in typical coach inn style.			
	Historical value: As per evidential, some areas of the earlier ceiling remain but are severely damaged (above 1970s ceiling) and recording but not full retention would be a justified position in awareness of the amount of historic loss. Plan form and entrance/ staircase arrangement the primary elements of historic value.			
Demolition	Strip out Floor	Strip out Ceiling	Strip out Wall	Strip out FF&E
	No	Yes	Yes	Yes
	Refer to demolition plans for more information. Openings formed within existing wall to create connection between bar and reception.			
	Existing lighting & radiators to be removed and replaced with new.			
Works to Floor	Enhancement to existing floor structure to provide fire & acoustic compliance. Refer to Details on AHR Drawing 20300.			
	New floor finishes installed throughout the reception / foyer space Refer to interior design proposal			
	Reception Floor Finish 1 = LVT or Wood Flooring			
	Reception Floor Finish 2 (Central Walkway) = Porcelain Tile Flooring			
	Office Floor Finish = Carpet Flooring			
	Bar Floor Finish 1 (Infront of Bar) = Encaustic Style Tile Flooring Bar Floor Finish 2 = LVT Flooring			
Works to Ceiling	Enhancement to existing floor structure above to provide fire & acoustic compliance. Refer to Details on AHR Drawing 20300.			
	Secondary plasterboard ceiling to be installed to create a service void. New fibrous gypsum cornice to be installed. Profile to match existing			
Works to Walls	New Partition with Skirting		New Door opening in existing Wall	
	Yes		No	
	Make good of all existing plaster to all walls with traditional lime plaster.			
	Feature walls to be located within the reception area. Final locations are to be confirmed.			
Works to Windows	Window panelling to reveals to be reinstated (Where required) & redecorated			
Works to Doors (External)	New external doors within the existing openings. New PPC Aluminium external doors to main entrance & bar. Existing bar door to be carefully removed and re-used elsewhere.			
Works to Doors (Internal)	Refer to proposed plan for location of proposed internal doors. New internal fire doors required inline with project fire strategy			
Miscellaneous	Existing fire place to be restored & redecorated Radisson Red sculpture to be located within the reception space (Design & Location TBC) Existing listed display cabinet to be retained Decorative plasterwork and column encasements to be reinstated. Existing column / beam encasements to be demolished, existing steelwork to be suitably fire protected in-line with the project fire strategy and new column / beam encasements to match the existing installed to all steelwork.			
M&E Works	Services to be concealed in proposed ceiling void. Refer to MEP drawings for further details. Centralised ventilation system to provide heating & cooling			
	New feature suspended lighting to be installed within existing lighting locations. New feature suspended lighting below arch ceilings, above reception desk & over seating areas. New feature wall lights			
	Refer to MEP drawings for further details			

Drawings to be read in conjunction with the following drawing packages.

Demolition Plans

L054-AHR-20-ZZ-ZZ-D-A-20010 - Ground & Mezzanine Floor Demolition Plan
L054-AHR-20-01-ZZ-D-A-20012 - First Floor Demolition Plan
L054-AHR-20-ZZ-02-D-A-20013 - Second Floor Demolition Plan
L054-AHR-20-ZZ-03-D-A-20014 - Third Floor Demolition Plan
L054-AHR-20-ZZ-04-D-A-20015 - Fourth Floor Demolition Plan
L054-AHR-20-ZZ-B1-D-A-20016 - Basement Level Demolition Plan
L054-AHR-20-ZZ-RF-D-A-20017 - Roof Level Demolition Plan

Proposed Plans

L054-AHR-ZZ-ZZ-00-D-A-20700 - Proposed Ground Floor Plan (Planning)
L054-AHR-ZZ-ZZ-MZ-D-A-20701 - Proposed Mezzanine Floor Plan (Planning)
L054-AHR-ZZ-ZZ-01-D-A-20702 - Proposed First Floor Plan (Planning)
L054-AHR-ZZ-ZZ-02-D-A-20703 - Proposed Second Floor Plan (Planning)
L054-AHR-ZZ-ZZ-03-D-A-20704 - Proposed Third Floor Plan (Planning)
L054-AHR-ZZ-ZZ-04-D-A-20705 - Proposed Fourth Floor Plan (Planning)
L054-AHR-ZZ-ZZ-D-A-20706 - Proposed Basement Floor Plan (Planning)
L054-AHR-ZZ-ZZ-D-A-20707 - Proposed Roof Plan (Planning)

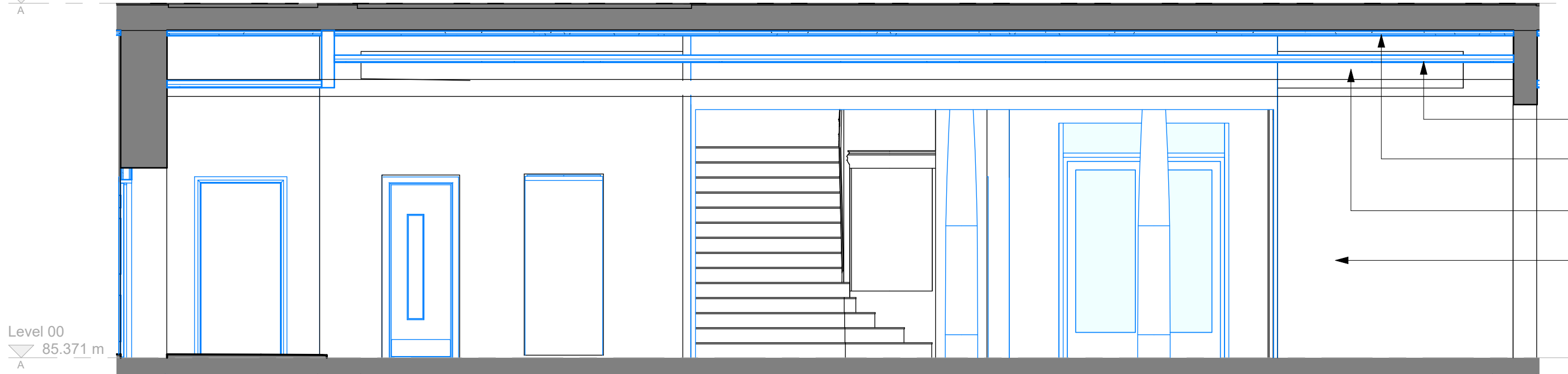
Heritage Scoping Plans

L054-AHR-20-BA-00-D-A-20040 - Ground Floor Heritage Scoping Plan
L054-AHR-20-BA-01-D-A-20042 - First Floor Heritage Scoping Plan
L054-AHR-20-BA-02-D-A-20043 - Second Floor Heritage Scoping Plan
L054-AHR-20-BA-03-D-A-20044 - Third Floor Heritage Scoping Plan
L054-AHR-20-BA-04-D-A-20045 - Fourth Floor Heritage Scoping Plan
L054-AHR-20-BA-B1-D-A-20046 - Basement Level Heritage Scoping Plan

Interior Design Strategy

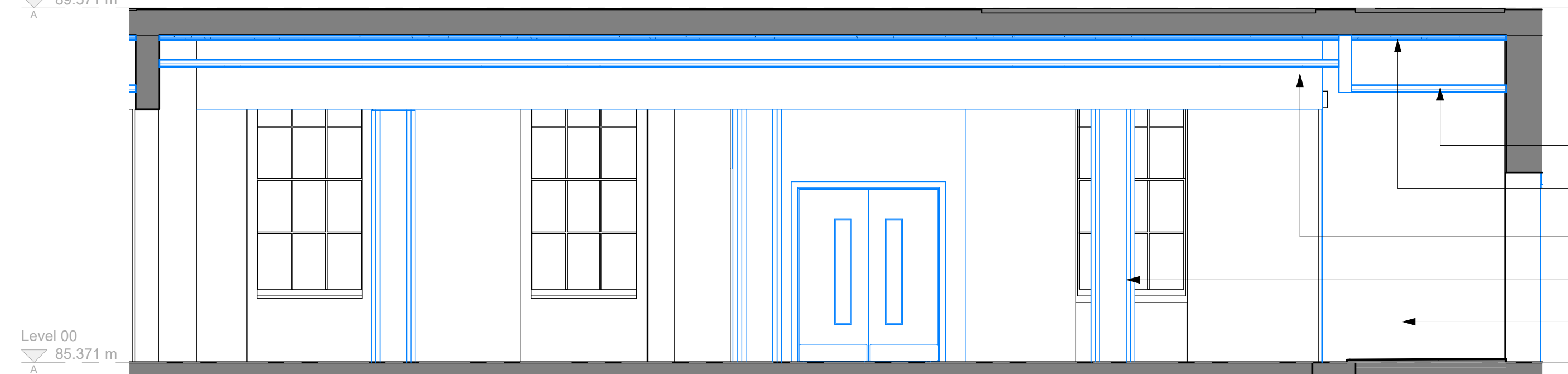
L054-AHR-ZZ-ZZ-T-I-08901 - Interior Design Strategy

Level 01 (Lower)
A 89.571 m



E1 Reception - Elevation 1
1 : 50

Level 01 (Lower)
A 89.571 m

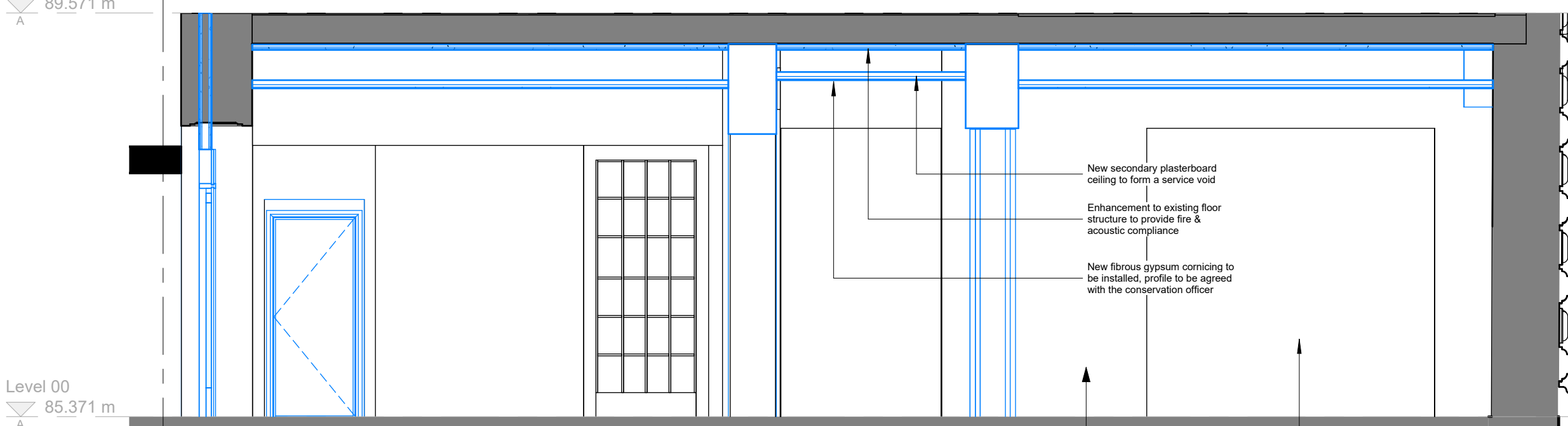


E2 Reception - Elevation 2
1 : 50

Level 00
A 85.371 m

E3 Reception - Elevation 3
1 : 50

Level 01 (Lower)
A 89.571 m

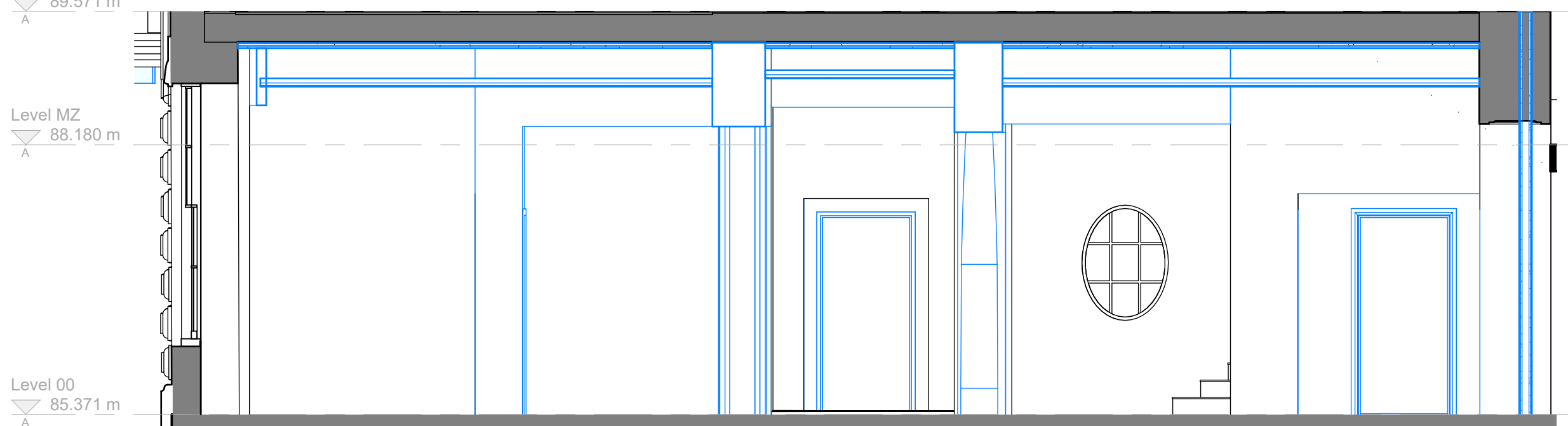


3 Reception - Elevation 4
1 : 50

Level 00
A 85.371 m

5 Reception - Elevation 5
1 : 50

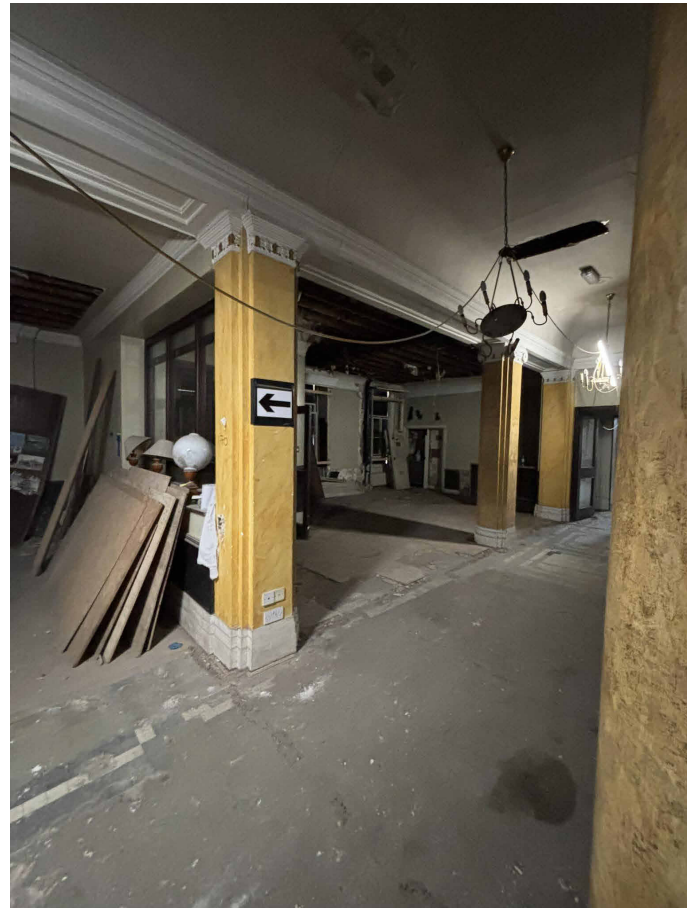
Level 01 (Lower)
A 89.571 m



Level MZ
A 88.180 m

4 Reception - Elevation 6
1 : 50

Level 00
A 85.371 m



P5	Drawing updated and issued for planning	25.06.2026	DR	MS
P4	Issued for Stage 4	01.09.2025	DR	MCS
P3	Issued for Stage 3	16.05.2025	DR	MCS
P2	Issued for Planning	22.04.2025	DR	MCS
P1	Issued for Client Approval	16.04.2025	DR	MCS
Rev	Description	Date	Dr by	App by
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client name	GMI Construction Group		
project	George Hotel Refurbishment		
drawing	Ground Floor Reception Elevations - Refurbishment Strategy		
computer file	110.32.1110EM_Profile_Folder_redactor/daniel.ahon/Documents/Revit_Files/Local/Revit/2024/L054-AHR-ZZ-ZZ-BA-00001_daniel.ahon.rvt	plot date	
project number	2024.00373.000	scale	As indicated@A1
drawing number	L054-AHR-20-BA-00-D-A-20202	rev	P5
		issue status	S2

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