

PLANNING OBJECTION

Harmful Massing and Overbearing Impact

Plot 23, Lingards Fold · Effect upon No. 92 Lingards Road

Application	2026/91657
Affected property	No. 92 Lingards Road
Date	29 July 2026

Central objection: The harm results from the cumulative effect of a wider frontage and garage wing, additional lower-ground construction, a four-level appearance, an estimated 1 m uplift, apparent eastward enlargement and the elevated relationship with a single-storey bungalow. The internal montages show the resulting enclosure across Bedroom 3, the lounge and Bedroom 2.

Executive summary

Plot 23 would not merely be visible from No. 92. It would occupy and command the principal outlook from three habitable rooms. The proposed/regularised form presents a broad and elevated building envelope, with extensive roof planes and a widened garage wing, directly opposite a single-storey bungalow.

The approved 2024 and present 2026 forms must be compared as complete buildings. Considered together, the height, width, lower-level development, roof mass and apparent eastward enlargement produce a materially more prominent and enclosing relationship than previously approved.

This is not a claim to preserve a private view. It concerns residential amenity: the amount of available outlook replaced by close, elevated built form; loss of sky and openness; and the resulting dominance and enclosure.

Outcome requested

The Council is asked to refuse the application insofar as it seeks to regularise the enlarged and elevated form. It must be assessed cumulatively against the narrower, lower and less extensively developed form previously approved.

If greater precision is required, determination should be deferred pending a verified as-built survey, consistent drawings, a cross-section through Plot 23 and No. 92, and verified internal-view visualisations.

1. The correct massing comparison

Massing is the perceived three-dimensional bulk of a building. In this case it is created by the interaction of width, height, depth, roof form, exposed lower levels, proximity and the building's position in the outlook from No. 92. No single measurement describes the whole effect.

The relevant baseline is the development previously approved under 2024/91236, particularly the October 2024 single-garage form. The present application reintroduces a materially wider garage wing and incorporates further lower-ground development. The comparison below shows that the change is not simply additional detail within an unchanged envelope.



Figure 1. Front-elevation comparison. The 2026 form has materially greater horizontal massing: the garage wing and its roof plane extend across a broader frontage, producing a longer and heavier silhouette. Source: submitted elevation drawings for 2024/91236 and 2026/91657.



Figure 2. Rear-elevation comparison. The 2026 form combines the wider side wing with additional lower-ground walling and accommodation, giving the building a clearer four-level appearance and increasing its vertical and horizontal envelope. Source: submitted elevation drawings for 2024/91236 and 2026/91657.

What has increased

Factor	Evidence	Massing effect upon No. 92
Horizontal extent	A widened double-garage wing and longer roof plane replace the subordinate single-garage composition.	More of the available outlook is occupied by a continuous frontage; the dwelling reads as broader and heavier.
Vertical position	Present evidence indicates the whole building is approximately 1 m above the approved elevation.	The full width, eaves, roofs and ridges sit higher, removing more sky and increasing prominence.
Lower-ground form	The rear elevation shows store/garden-room development and further walling beneath the principal dwelling.	The overall building reads as a multi-level/four-level structure rather than the approved three-storey composition.
Depth and roof mass	The oblique lounge view exposes the side elevation and the succession of roof planes.	The impact is visibly three-dimensional, not merely a wide line across the window.
Siting and context	The enlarged dwelling is experienced directly across from a single-storey bungalow. The western edge is believed to remain correctly positioned, while the eastern extent appears about 0.6 m farther east.	The apparent eastward enlargement reduces openness around the building and intensifies its scale and enclosing effect.

2. Effect of the estimated 1 m uplift

An upward displacement does not necessarily enlarge the internal volume of the principal house. It does, however, materially increase its apparent massing in the receiving environment. The entire building envelope—floors, windows, eaves, roof slopes and ridges—is presented approximately 1 m higher, and additional construction may be exposed beneath it.

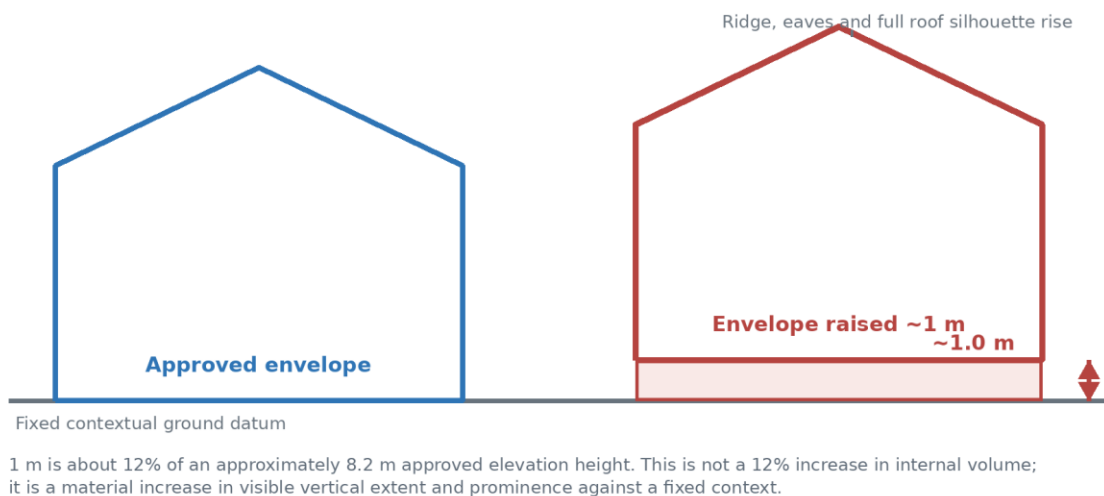


Figure 3. Schematic only. An approximately 1 m uplift is equivalent to about 12% of an approximately 8.2 m approved elevation height. The percentage expresses the scale of the vertical displacement, not a 12% increase in building volume.

If the surrounding ground remains unchanged, more of the building's vertical elevation is exposed. If garden or driveway levels are raised to meet the building, the ridge, eaves and complete roof silhouette still remain approximately 1 m higher and continue to obscure more sky than the approved scheme. The raised land, terraces or retaining works may also add further engineered bulk.

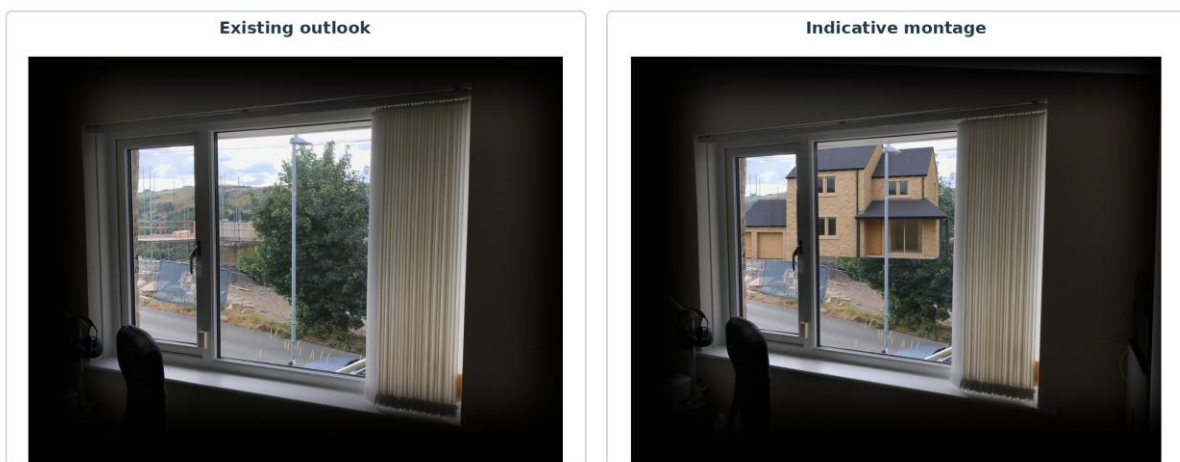
Why the uplift matters: The increase is not confined to a ridge point. The full breadth and depth of the dwelling are carried higher within the outlook from No. 92. This amplifies the visual effect of the wider garage wing, the roof planes and the building's already elevated relationship with the bungalow.

3. Internal-view evidence

The most relevant viewpoint is the outlook experienced from the affected habitable rooms. External wide-angle photographs include large areas of road, garden and sky and can make the building appear smaller within a wider panorama. The internal window opening defines the outlook actually available to an occupant.

The three room pairs below show the present outlook and an indicative montage of the completed form. Together they demonstrate that the effect is not confined to one unusually aligned window.

Bedroom 3

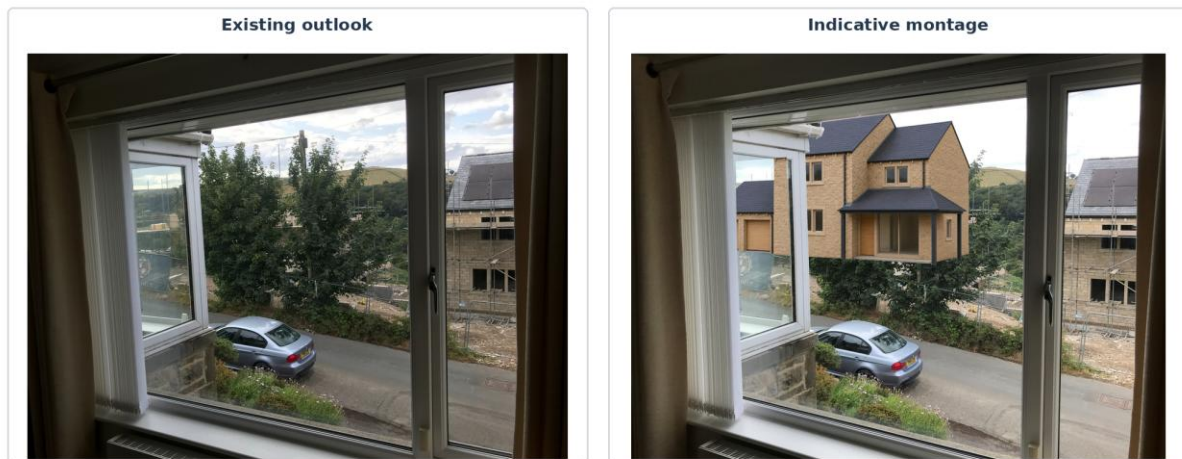


Bedroom 3: same receiving room; montage illustrates the completed form with the three trees removed.

Figure 4. Bedroom 3. The completed form occupies much of the usable window opening and presents a broad, elevated frontage. The double garage extends the development farther across the outlook.

This view demonstrates horizontal massing particularly clearly. The building is not a peripheral feature within a wider landscape; it becomes the principal object in the window, with only fragmented openness remaining around it.

Lounge

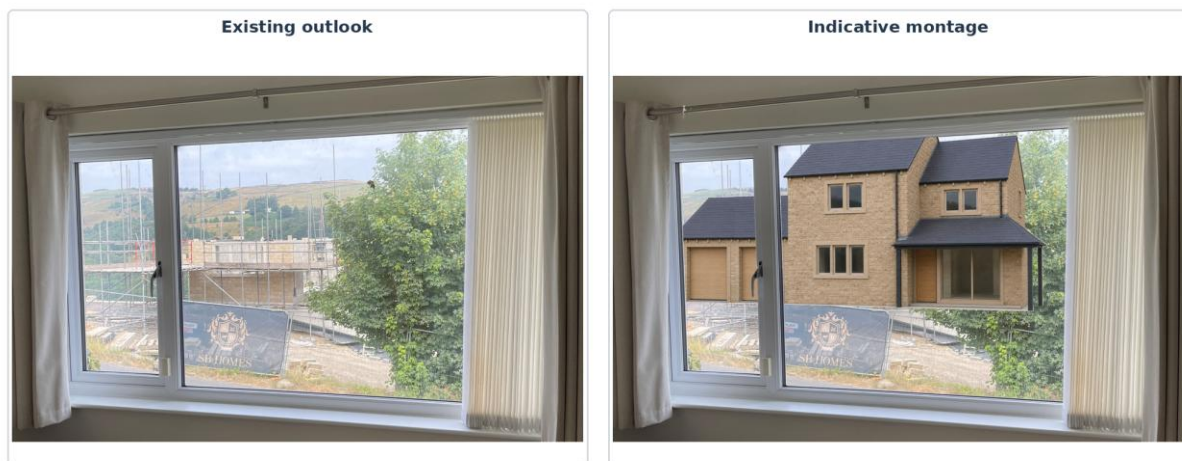


Lounge: same receiving room; montage illustrates the completed form with the three trees removed.

Figure 5. Lounge. The oblique viewpoint demonstrates depth, flank walling and the relationship between the principal roof forms. It confirms that the effect is a substantial three-dimensional volume, not simply a wide front elevation.

The lounge is the principal living space. The continuation of the effect into this room is important: visual dominance is experienced during ordinary daily use and is not limited to a secondary or infrequently used part of No. 92.

Bedroom 2



Bedroom 2: same receiving room; montage illustrates the completed form with the three trees removed.

Figure 6. Bedroom 2. The more direct relationship shows the broad frontage and roof silhouette occupying a substantial proportion of the window and replacing open sky and longer-distance outlook with close built form.

Bedroom 2 provides the clearest direct demonstration of enclosure. Considered with Bedroom 3 and the lounge, it shows a broad zone of visual influence across No. 92 rather than an isolated impact at one point.

External context below Bedroom 2



Figure 7. External photograph taken from immediately outside and below the Bedroom 2 window. The lower camera level and wider field of view include substantial foreground, road and sky, making Plot 23 appear smaller within the overall scene than it does through the room's window. The photograph nevertheless confirms the direct relationship; it should be read as site context alongside the internal Bedroom 2 evidence, not as a substitute for it.

This distinction matters when assessing massing. A person standing lower down outside the bungalow sees a broad streetscape around the development. An occupant of Bedroom 2 experiences the building through a restricted window opening and from a higher internal eye level, so the built form occupies a much greater proportion of the usable outlook.

Combined evidential effect: Bedroom 3 demonstrates breadth; the lounge demonstrates depth and three-dimensional bulk; Bedroom 2 demonstrates the most direct occupation of the outlook. Their consistency shows that the harmful massing is experienced across the bungalow as a whole.

4. Chronology and cumulative growth

The chronology is relevant because it shows how the present massing accumulated. The wider double-garage and lower-ground form existed before the approved-stage reduction and then returned in the current application. The Council should not assess each component as if it were independent of the others.



Figure 8. Full design lineage. The plate shows the progression from the original Plot 39 house, through the expanded double-garage/lower-level design, the reductions made during the planning route, and the present re-expansion. It is included to demonstrate sequence and design lineage, not as the source of precise dimensions. The corrected Rev B drawing frontage of approximately 16.35 m, and the conditional apparent as-built eastern extent of approximately 16.95 m, are set out in the focused comparison that follows.

Approved form versus current re-expansion

The complete design lineage explains how Plot 23 developed, but the decisive planning comparison is between Rev K, the approved-stage reduction, and Rev B, the form now proposed for regularisation. The Rev B frontage below reflects the approximately 16.35 m measurement taken from the grouped plans. The separate apparent as-built extent is stated on the expressly identified assumption that the western edge remains correctly positioned.

Measure	Approved Rev K	Current Rev B	Change / significance
Drawing frontage	13.44 m	About 16.35 m	+2.91 m (about +21.7%): a materially broader frontage and garage wing.
Apparent as-built eastern extent	13.44 m	About 16.95 m	+3.51 m (about +26.1%), if the western edge is fixed and the eastern edge is about 0.6 m farther east. This requires survey verification.
Overall depth	16.57 m	16.56 m	No material change: the increased width is carried through essentially the same depth.
Height above road-side datum	8.24 m	8.25 m	Broadly unchanged on the submitted elevations, before the separate estimated +1 m as-built level departure is applied.

The approximately 0.6 m is added once: to the 16.35 m drawing frontage, producing an apparent as-built eastern extent of about 16.95 m. It is not described as a lateral shift of the whole building because there is presently no evidence that the western edge moved. The 16.95 m figure is therefore a reasoned site-based estimate, not a surveyed width. These figures do not replace the visual assessment; they show why the current form cannot fairly be described as a minor adjustment to the approved composition, while the separate level evidence would place that enlarged form higher within the outlook from No. 92.

Photographic evidence of original setting-out

The three dated aerial photographs are significant because they record permanent site geometry before the principal superstructure was erected. Read in sequence, they show that the curved lower-ground footprint and its relationship with the main building were not introduced as a minor finishing alteration.

Permanent lower-ground geometry established during original substructure works

Figure 9. Dated construction sequence. On 30 June the initial concrete setting-out already defines the curved outer formation and internal foundation arrangement. By 30 July reinforcement follows the same curve and connects it into the wider layout. By 5 August permanent reinforced construction has progressed along that established footprint. The additional lower-ground geometry was therefore fixed during the original substructure works.

Independent contemporaneous corroboration: On 21 August 2025, the Council recorded that the purchaser wanted a double garage; that SB Homes had “laid out the provision for the double garage”; and that SB Homes accepted it had “jumped the gun” while intending to seek permission later. The same email chain recorded that the double-garage version had previously been reduced following officer discussions, apparently because of visual-amenity and overdevelopment concerns. SB Homes said contingencies remained for a single garage; subsequent construction and the present application show which enlarged arrangement was in fact carried forward.

The photographs, drawing history, Council correspondence and subsequent construction form a mutually reinforcing evidential chain. The present massing is not the product of one minor late alteration. Its essential lower-ground geometry and wider garage arrangement were being physically established while the narrower single-garage form remained the relevant approval baseline, and application 2026/91657 now seeks to regularise the enlarged result. Describing each component separately as minor does not make the combined building minor.

5. Method and evidential limitations

The montages are transparent visual aids, not survey-certified visualisations. They place the applicant-derived CGI within the real receiving environment to illustrate the likely completed form within each window.

- The original room photographs and window framing are retained; the CGI shows the double garage as two single doors and omits the three trees identified for removal.
- The lounge CGI was perspective-adjusted for the oblique view. This is disclosed and is not presented as a surveyed camera match.
- Drawings, measured levels and site references remain the dimensional evidence; the montages translate those matters into the experience inside No. 92.

Any dispute about precise scale, position or camera geometry is a reason to obtain verified visualisations from the same viewpoints—not to disregard the amenity issue identified.

Information required before determination

1. A verified as-built survey, including finished-floor, eaves and ridge levels, with corrected and internally consistent drawings.
2. A cross-section running from the affected windows of No. 92 through Plot 23, using the lawful footprint and window positions at No. 92.
3. Verified internal eye-level visualisations from Bedroom 3, the lounge and Bedroom 2.
4. A cumulative assessment of the garage width, lower-ground form, height, apparent eastward enlargement, veranda/entrance form and proposed changes to surrounding land levels.

6. Planning conclusion

The evidence forms a coherent chain. The elevation comparisons establish a broader and more extensively developed building; the estimated uplift places the complete envelope higher; the chronology shows cumulative growth; and the three montages show the resulting effect within the principal habitable rooms at No. 92.

The proposal would replace openness and visible sky with a broad, elevated and multi-level form across two bedrooms and the principal living room. This is materially more overbearing than the approved drawings conveyed. The application should be refused unless the enlarged and elevated form is materially reduced.

Final position: Plot 23 would not sit within the outlook from No. 92; it would substantially occupy and command it. The cumulative form would cause an unacceptable loss of openness and an overbearing sense of enclosure.

Document basis: submitted drawings for 2024/91236 and 2026/91657; construction photographs dated 30 June, 30 July and 5 August 2025; Council correspondence dated 21 August 2025; internal room photographs, the external photograph taken below Bedroom 2, disclosed CGI montages; and the estimated approximately 1 m as-built level departure. Dimensions remain subject to a verified as-built survey.