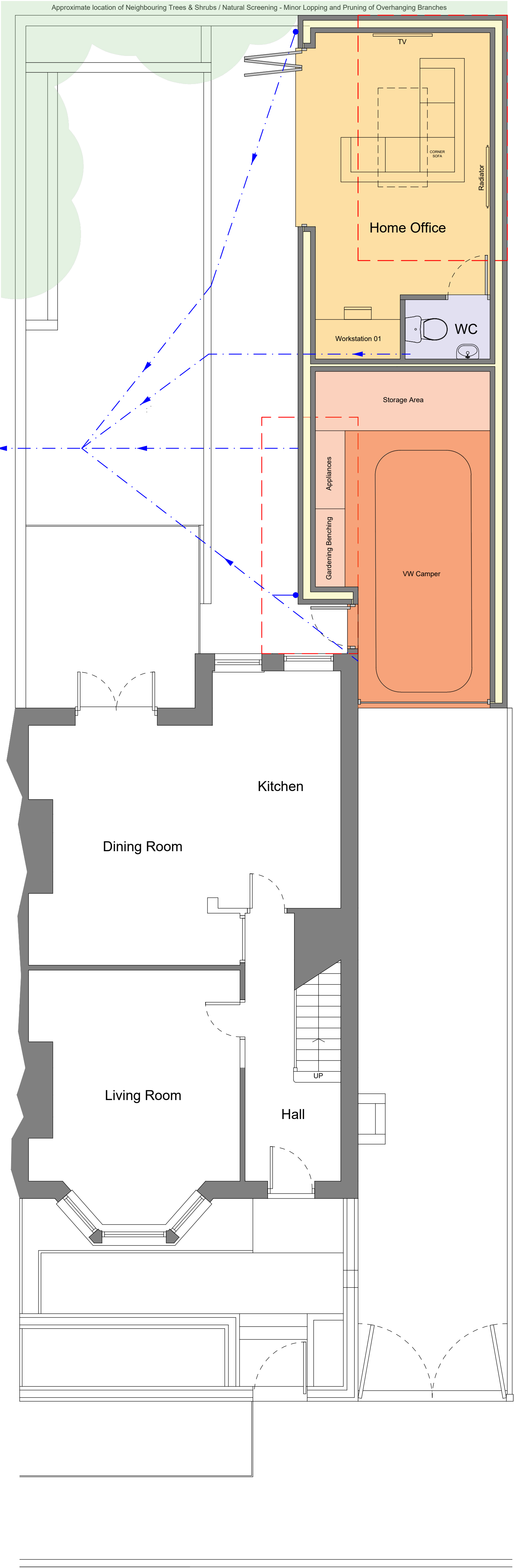
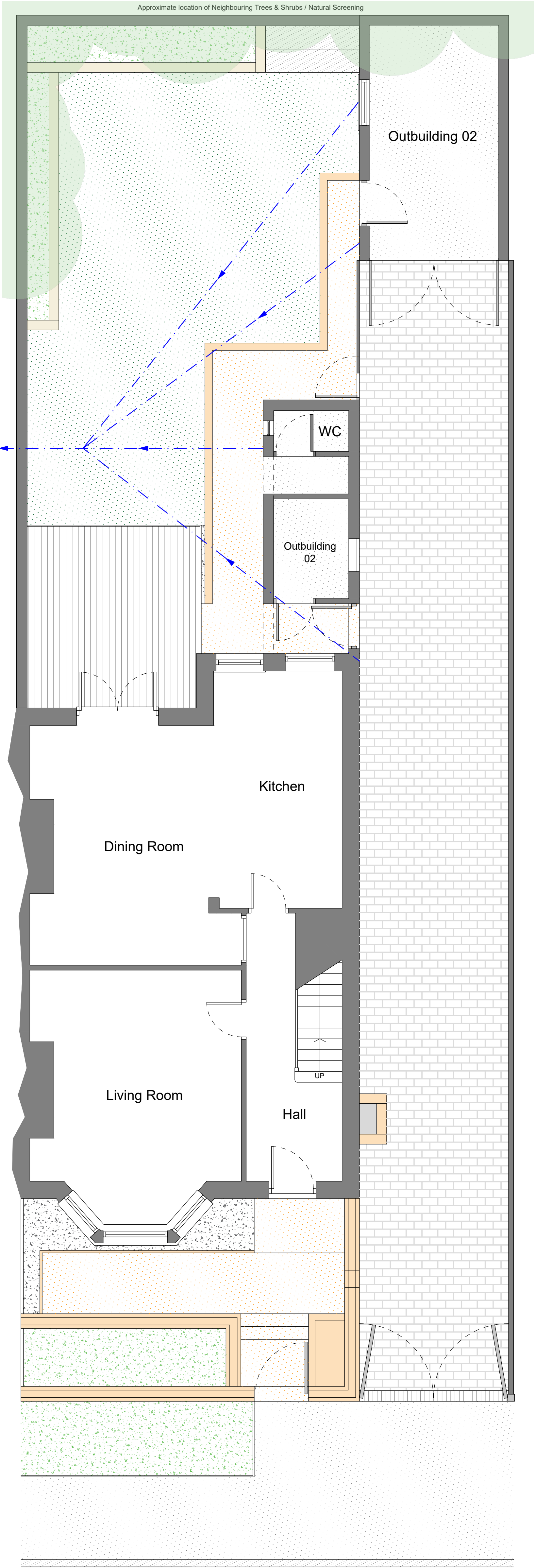




NOTES

Drawing may not be copied without prior written permission. This drawing is copyright.

All works are to be carried out in accordance with all latest and relevant CDM Regulations, the Health and Safety Guidelines, Legionella Guidelines, Water Authority Regulations and the Building Regulations.

All dimensions shown are in millimeters, unless otherwise stated. Drawing author to be notified of any discrepancies. Verify relevant drawings on site before commencing work or preparing shop drawings. Contractor to check all dimensions and report all errors and omissions to the designer. Do NOT scale from this drawing.

When removing or disturbing any existing material, check all items that are to be disturbed for any trace of asbestos. Do not mechanically fix into asbestos based materials. Remove all asbestos in accordance with government guidelines. Check the 'Demolition & Refurbishment' Asbestos Survey prior to commencement of all works. All removals to be carried out by an accredited contractor. Not Architectural Designers responsibility to obtain Asbestos R&D Survey.

Legend - Proposed Out-Building

Extents of Proposed Home Office

Extents of Proposed WC

Extents of Proposed Garage

Dashed Red Line denotes the extent of the DEMOLITION

Permitted Development Rights - Domestic Outbuildings

Outbuildings are considered to be permitted development, not needing planning permission, subject to the following limits and conditions:

- No outbuilding on land forward of a wall forming the principal elevation.
- Outbuildings and garages to be single storey with maximum eaves height of 2.5 metres and maximum overall height of four metres with a dual pitched roof or three metres for any other roof.
- Maximum height of 2.5 metres in the case of a building, enclosure or container within two metres of a boundary of the curtilage of the dwellinghouse.
- No verandas, balconies or raised platforms (a platform must not exceed 0.3 metres in height)
- No more than half the area of land around the "original house" would be covered by additions or other buildings.
- In National Parks, the Broads, Areas of Outstanding Natural Beauty and World Heritage Sites the maximum area to be covered by buildings, enclosures, containers and pools more than 20 metres from the house to be limited to 10 square metres.
- On designated land* buildings, enclosures, containers and pools at the side of properties will require planning permission.
- Within the curtilage of listed buildings, any outbuilding will require planning permission.

Summary

Whilst the proposed outbuilding is considered to broadly comply with the requirements associated with domestic permitted development rights for outbuildings, there remains a degree of ambiguity regarding the interpretation and application of Permitted Development legislation in relation to the proposal and wider site circumstances.

As such, a formal Planning Application has been submitted in order to provide certainty and formal determination from the Local Planning Authority.

In addition, the Client's funding provider has requested the benefit of an approved Planning Permission as part of their lending and due diligence requirements. The application should therefore be viewed as a proactive and precautionary approach to regularise and formalise the development position moving forward.

Design & Access Statement

1. Introduction

This statement has been prepared in support of a proposed redevelopment comprising the demolition of existing outbuildings and the construction of a new dual-purpose garage and home office building within the existing residential curtilage.

2. Existing Site and Need for Development

The site currently contains a series of outdated and underutilised structures, including a washhouse/garage, external toilet and coal storage. These buildings are of limited visual and functional value and occupy the existing garage footprint accessed via the driveway.

The existing dwelling has become increasingly constrained in terms of internal space. In particular, the current home working arrangements within the house are contributing to a cramped internal layout. The proposal seeks to relocate the home office into a purpose-built garden building, thereby freeing up internal accommodation, including enabling the attic bedroom to be used more appropriately as a bedroom for the applicant's daughter.

In addition, there is a requirement for a secure and purpose-built garage to accommodate a classic car. The existing structures do not provide suitable, secure or practical storage for this purpose.

3. Proposal

The proposal seeks to:

- Demolish the existing washhouse / garage, toilet and coal store.
- Construct a new building on the existing garage footprint, utilising the current driveway access.
- Provide a dual-use building, comprising:
 - A garage to the front, insulated, designed to provide secure vehicle storage.
 - A home office to the rear, including a toilet facility using existing drainage connections.
 - Install power to both elements.

4. Design

The proposed outbuilding has been carefully designed to remain sympathetic to the character of the existing property and surrounding area.

The front elevation reflects the proportions, stone detailing, and roof pitch of the existing structures being removed. Existing roof tiles and bricks are to be reclaimed and reused where possible, particularly to the front and garden-facing elevations.

The side and rear elevations, which are largely screened from view, will utilise practical low-maintenance materials suitable for long-term domestic use.

5. Access

The proposal utilises the existing driveway and access arrangements, which are considered to function well and safely.

The redevelopment of the existing garage footprint will improve vehicle access, usability, privacy, and security, whilst providing more practical and secure storage accommodation associated with the dwelling.

6. Conclusion

The proposal represents a practical and well-considered response to the evolving needs of the household, addressing both space constraints within the existing dwelling and the requirement for secure vehicle storage. By replacing outdated structures with a functional and appropriately designed building, the development will enhance the usability of the site while remaining sympathetic to its surroundings.

Rev	Description	Date
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Existing Ground Floor / Site Plan
Scale 1:50@A1

Proposed Ground Floor / Site Plan
Scale 1:50@A1

Householder Planning Consent

planning and design studio

REGISTERED PRACTICE

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Client: Ms Jax Connor

Project: Planning Permission: Rationalisation and Construction of Proposed Rear Out-Building

Dwg Title: Existing & Proposed Ground Floor / Site Plans

Location: 59 Westcliffe Road, Cleckheaton, West Yorkshire, BD19 3EP

Project No: 26011 **Scale@A1:** 1:50

Dwg No: 01 **Date:** March 2026

Revision: 1st **Drawn:** CR