



Existing Front Elevation
1 : 50



Existing Rear Elevation
1 : 50



Proposed Front Elevation
1 : 50

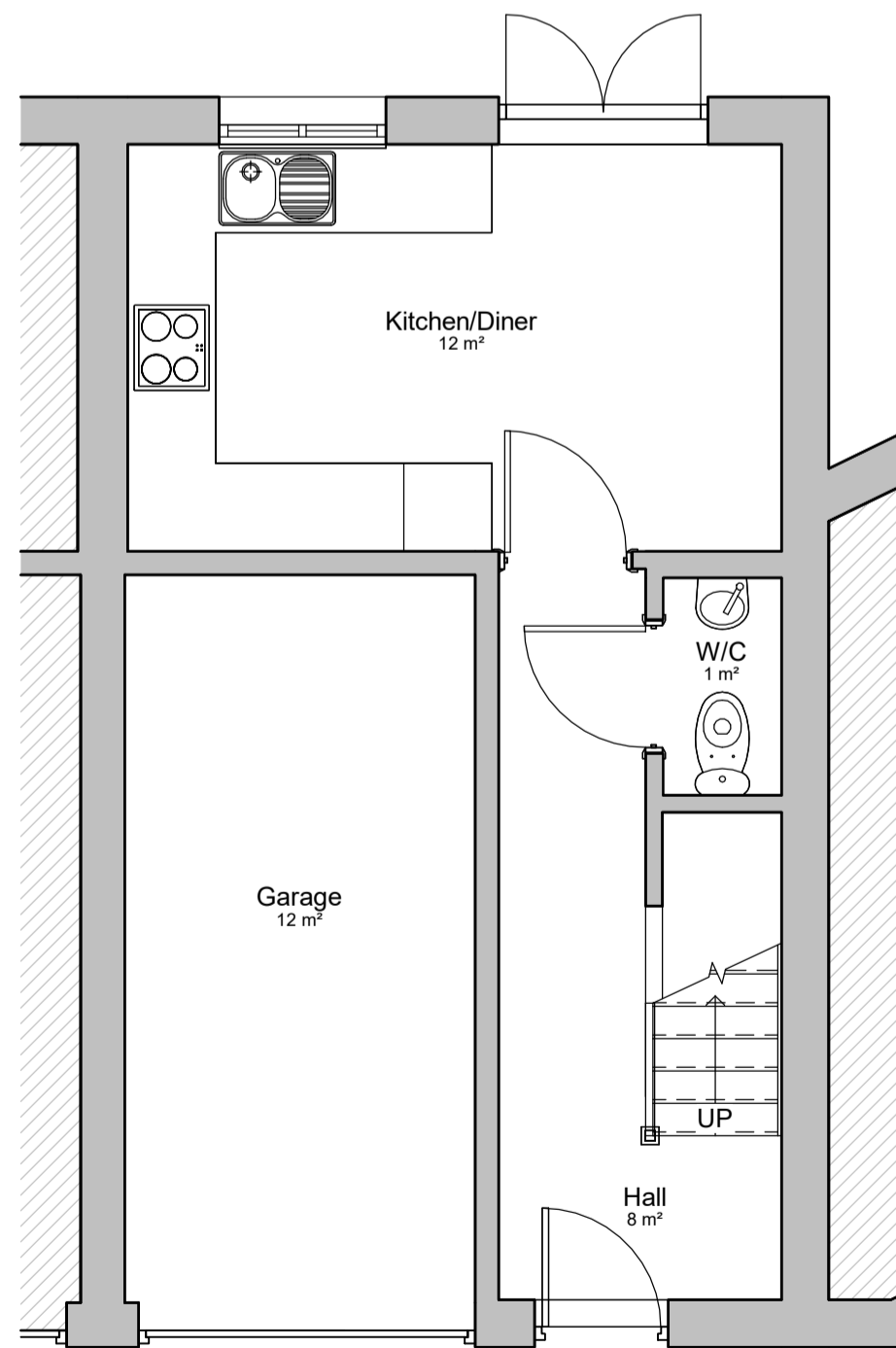


Proposed Rear Elevation
1 : 50

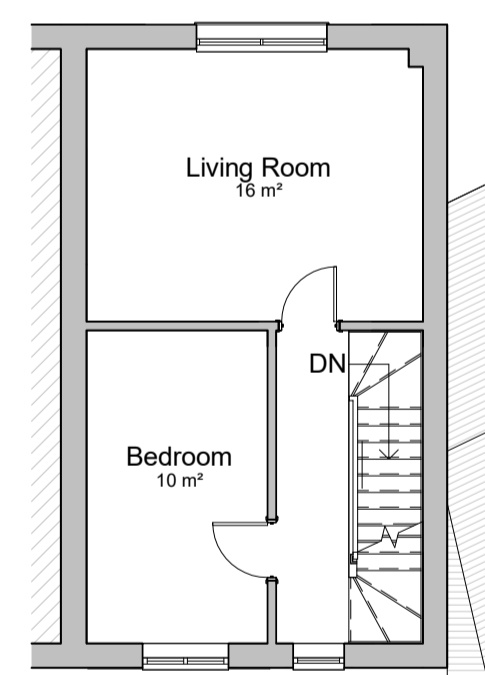
General Notes:
 - Do not scale from this drawing
 - All dimensions are to be checked and confirmed on site prior to any ordering of materials or structural elements.
 - Unless stated otherwise, this drawing has been produced for planning and building regulations only and should not be used for construction.
 - If applicable, property owners to ensure that all party wall act agreements are in place prior to commencement of works if in doubt, ask.
 - Client and Contractor to be aware of the relevant and current CDM 2015 Regulations. Domestic Client duties to be delegated to the contractor (Single contractor schemes) or "Principle Contractor" for projects with more than one contractor.
 - Drawings are to be read in conjunction with all pre-construction information, planning approval documentation and relevant structural drawings/calculations.
 - Any structural information indicated on these architectural drawings is for indicative purposes only.

Material Schedule	
1.	New double glazed windows, colour to match existing.
2.	New Brickwork to match existing

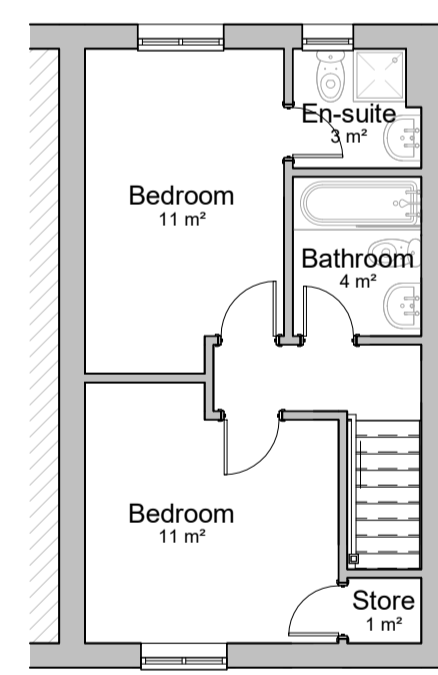
Plan Key	
- - -	Dashed lines denote walls and doors to be removed.
■	Grey hatch denotes existing walls



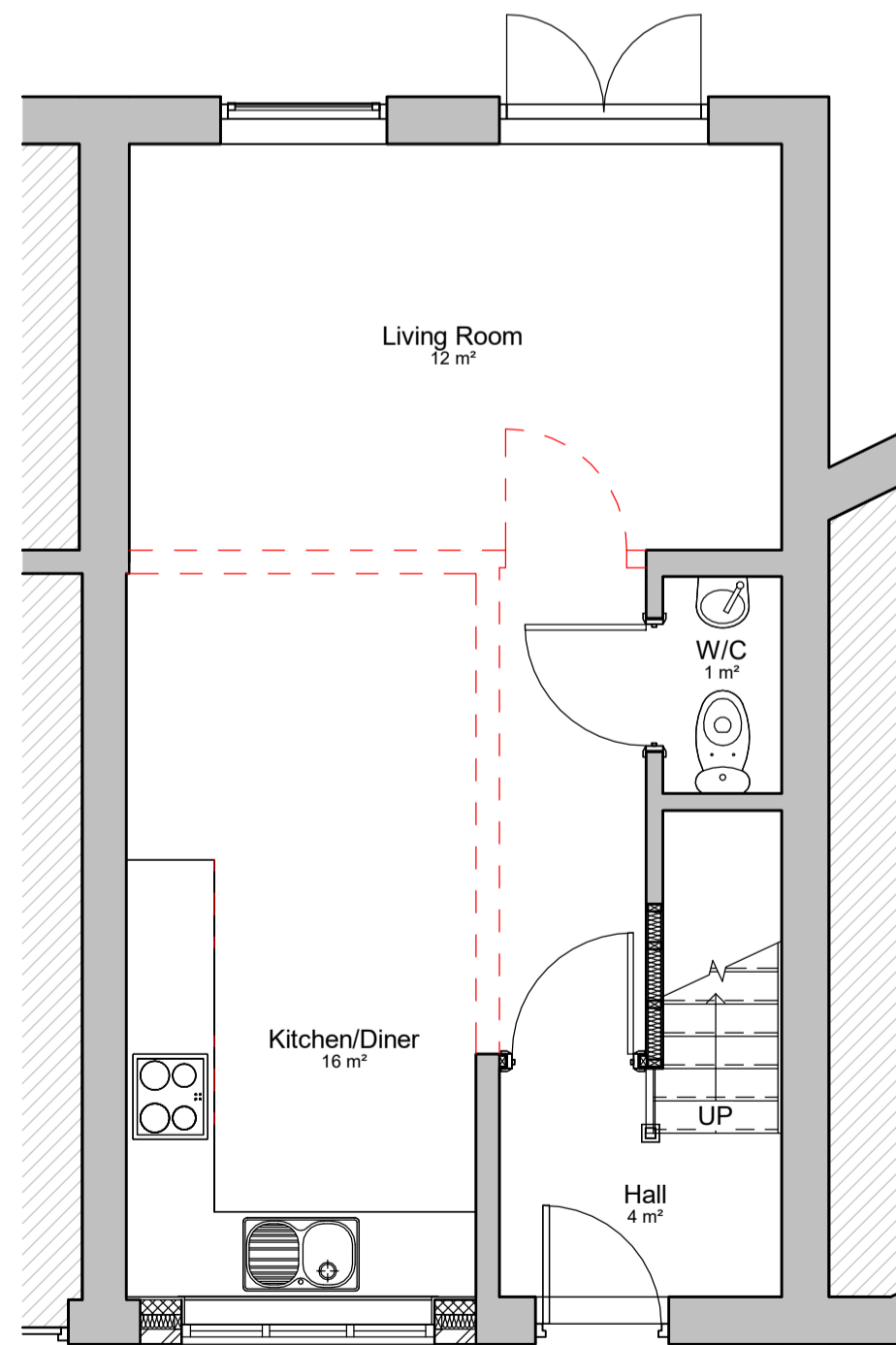
Existing Ground Floor
1 : 50



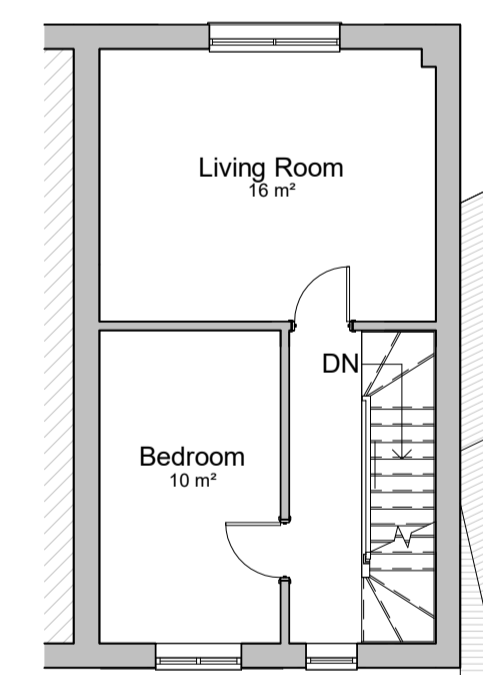
Existing First Floor
1 : 100



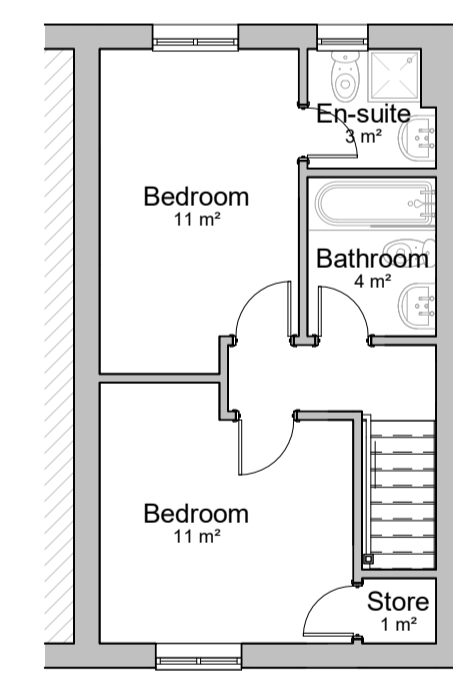
Existing Second Floor
1 : 100



Proposed Ground Floor
1 : 50



Proposed First Floor
1 : 100



Proposed Second Floor
1 : 100

Rev.	Description	Date
Client: Vivienne Sedman 6 Manor Park Road, Clockingdon, BD19 5BN		
Project: Proposed Garage Conversion with Internal Alterations		
Title: Existing & Proposed Floor Plans & Elevations		
Status: Planning		
Scale: As indicated @A1	Date: May 2025	
Dwg No: 26013_P_003_01	Revision: JTS	Checked by: JTS