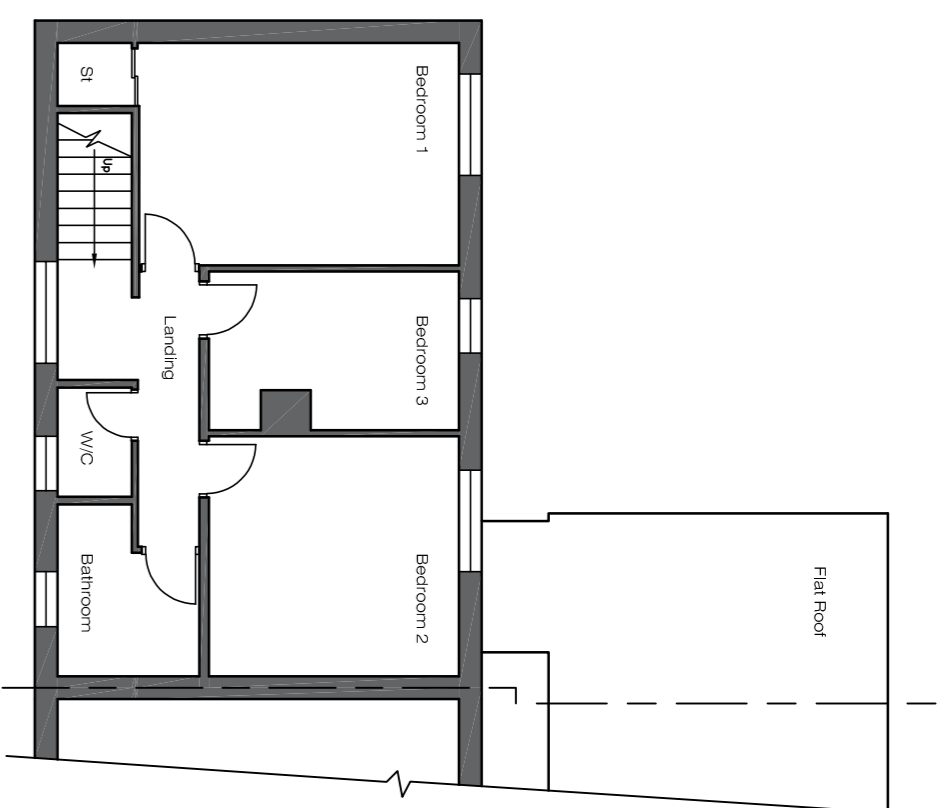
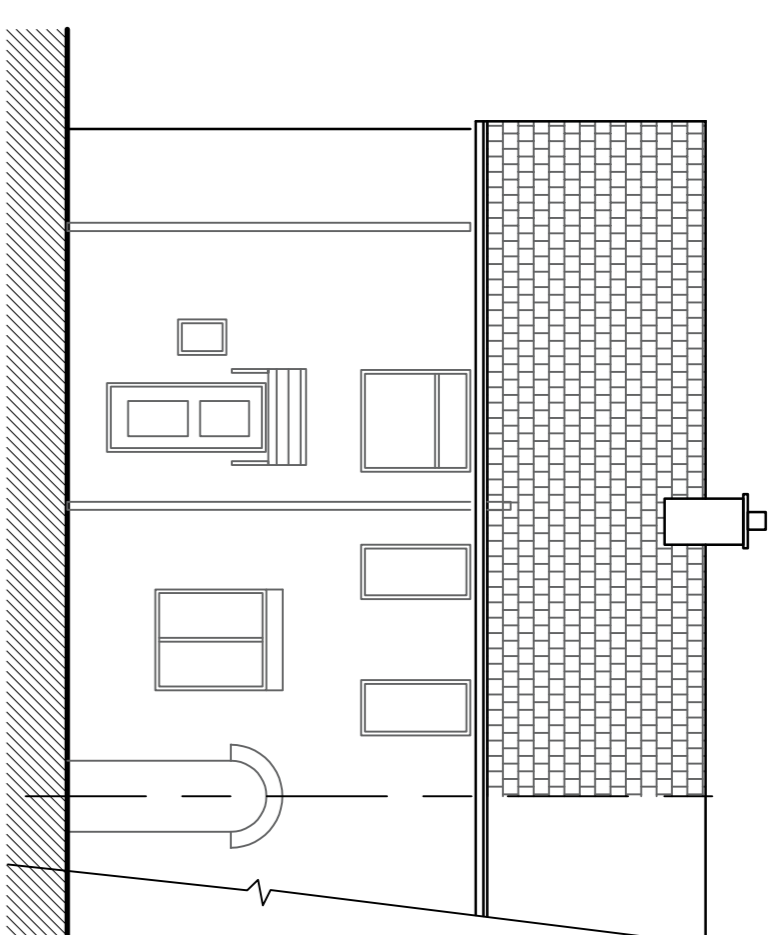


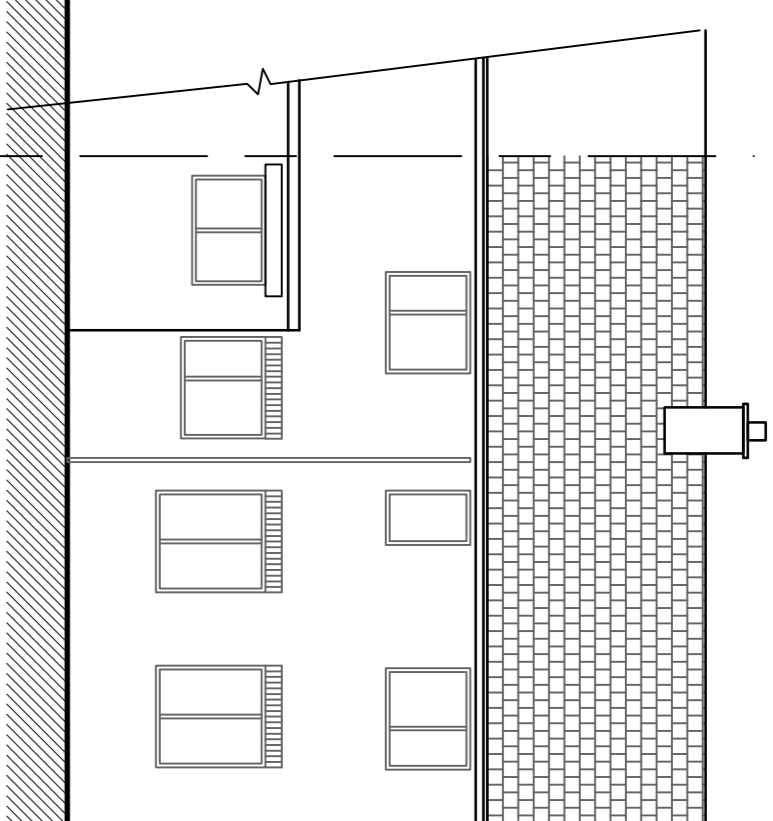
Ground Floor Layout  
as Existing  
1:100



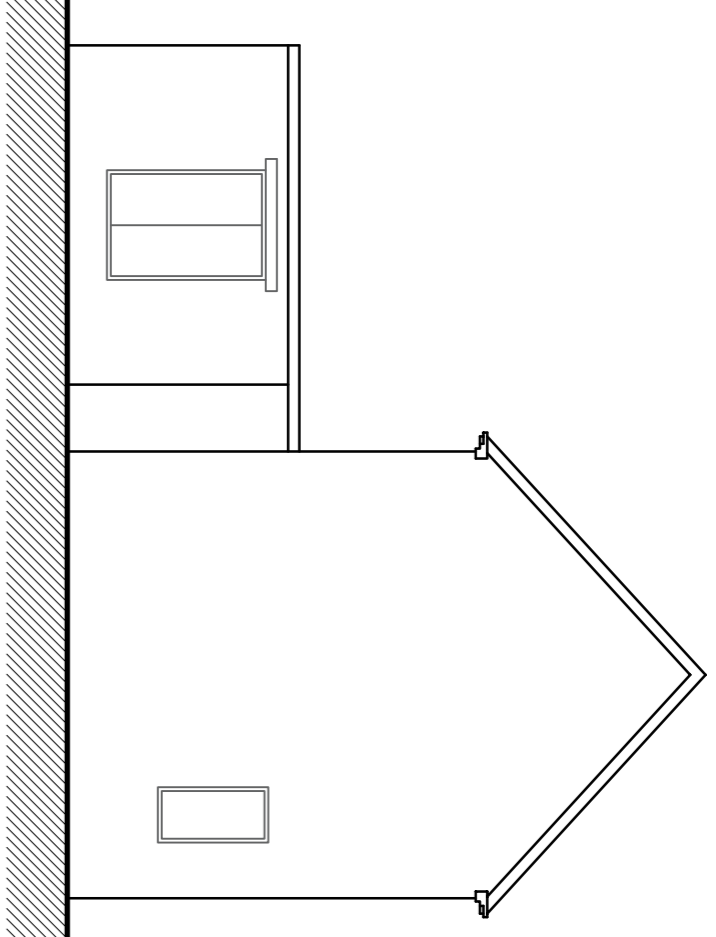
First Floor Layout  
as Existing  
1:100



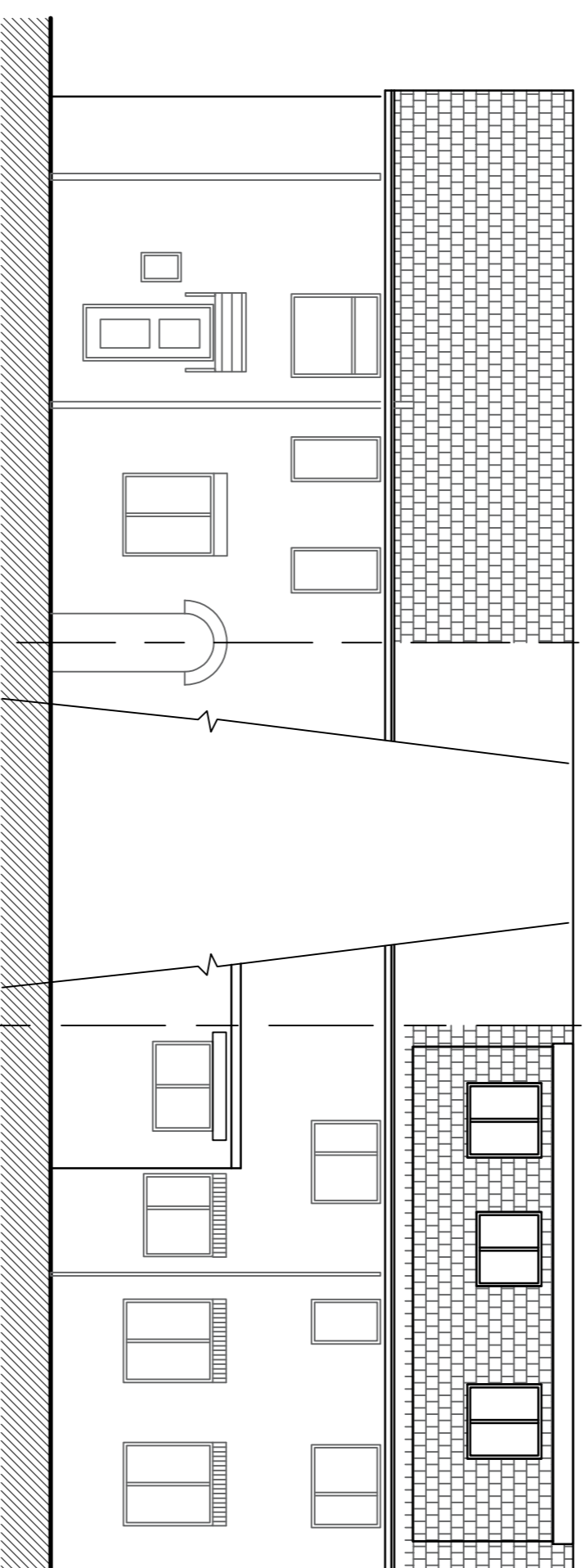
Front Elevation  
as Existing



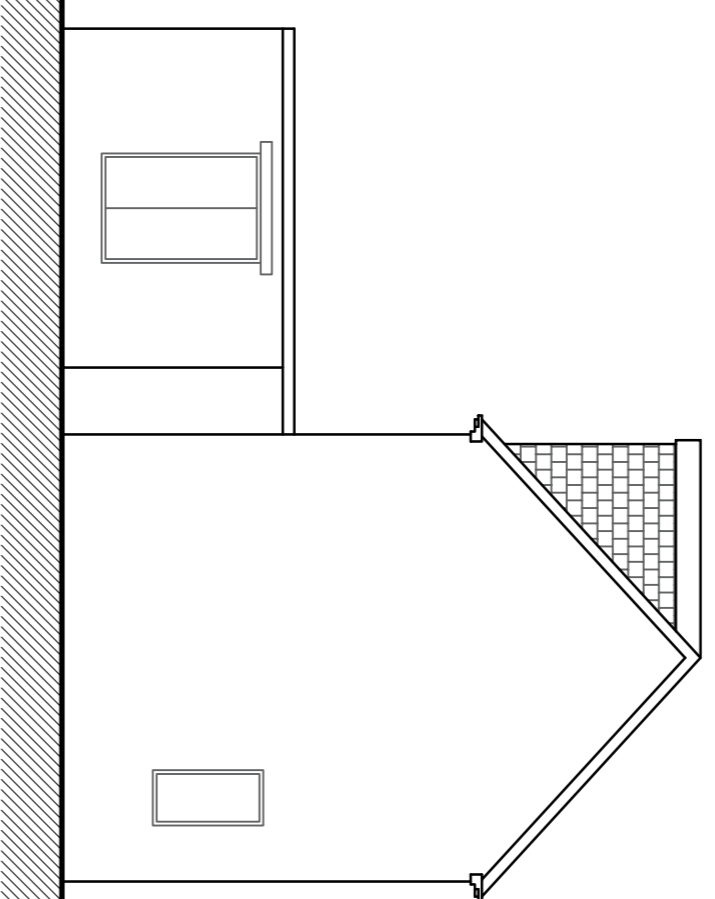
Rear Elevation  
as Existing



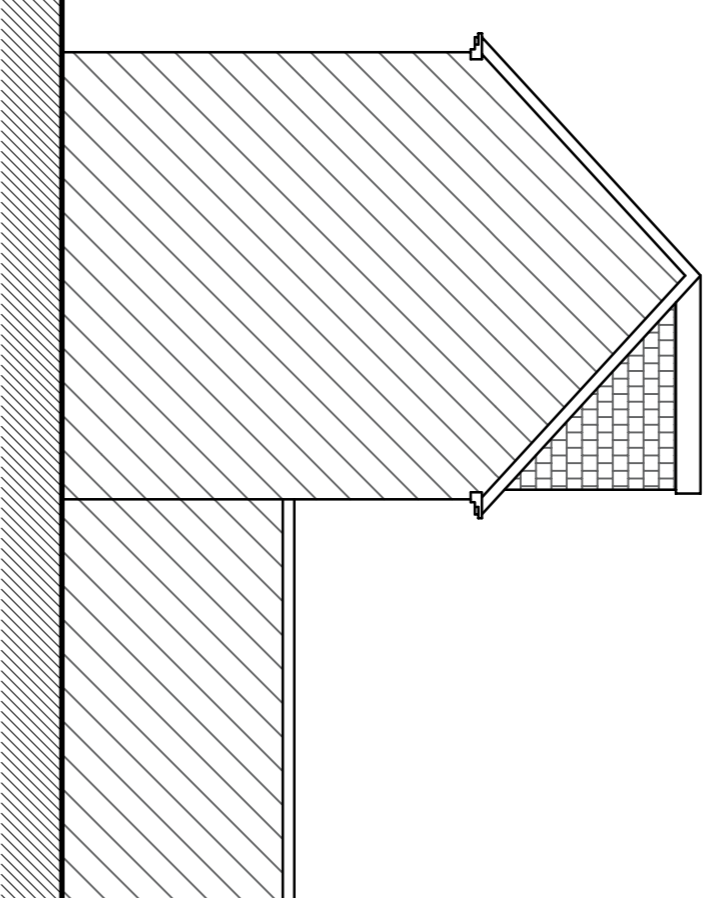
Side Elevation  
as Existing



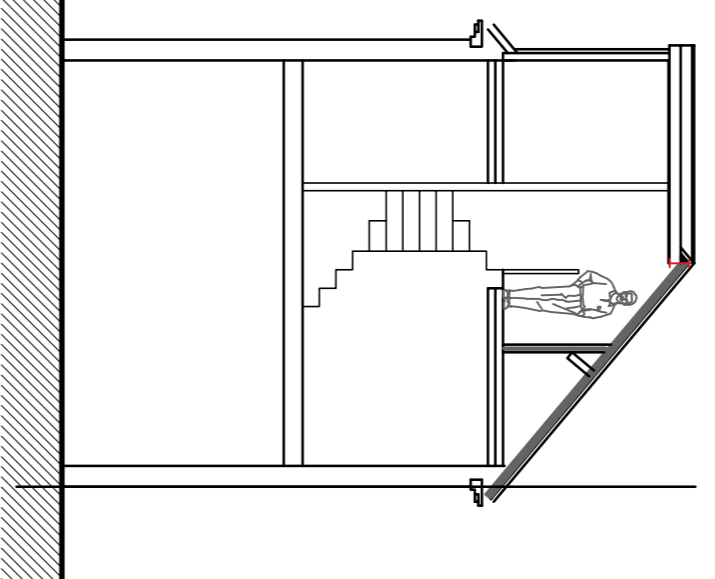
Front Elevation  
as Proposed  
1:100



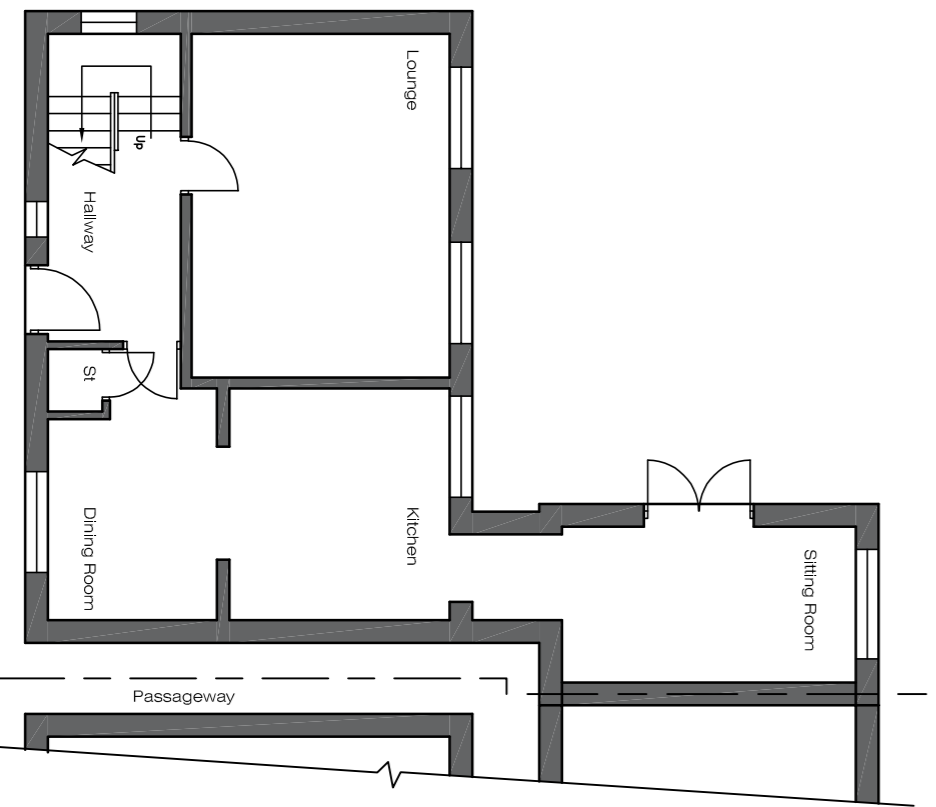
Rear Elevation  
as Proposed  
1:100



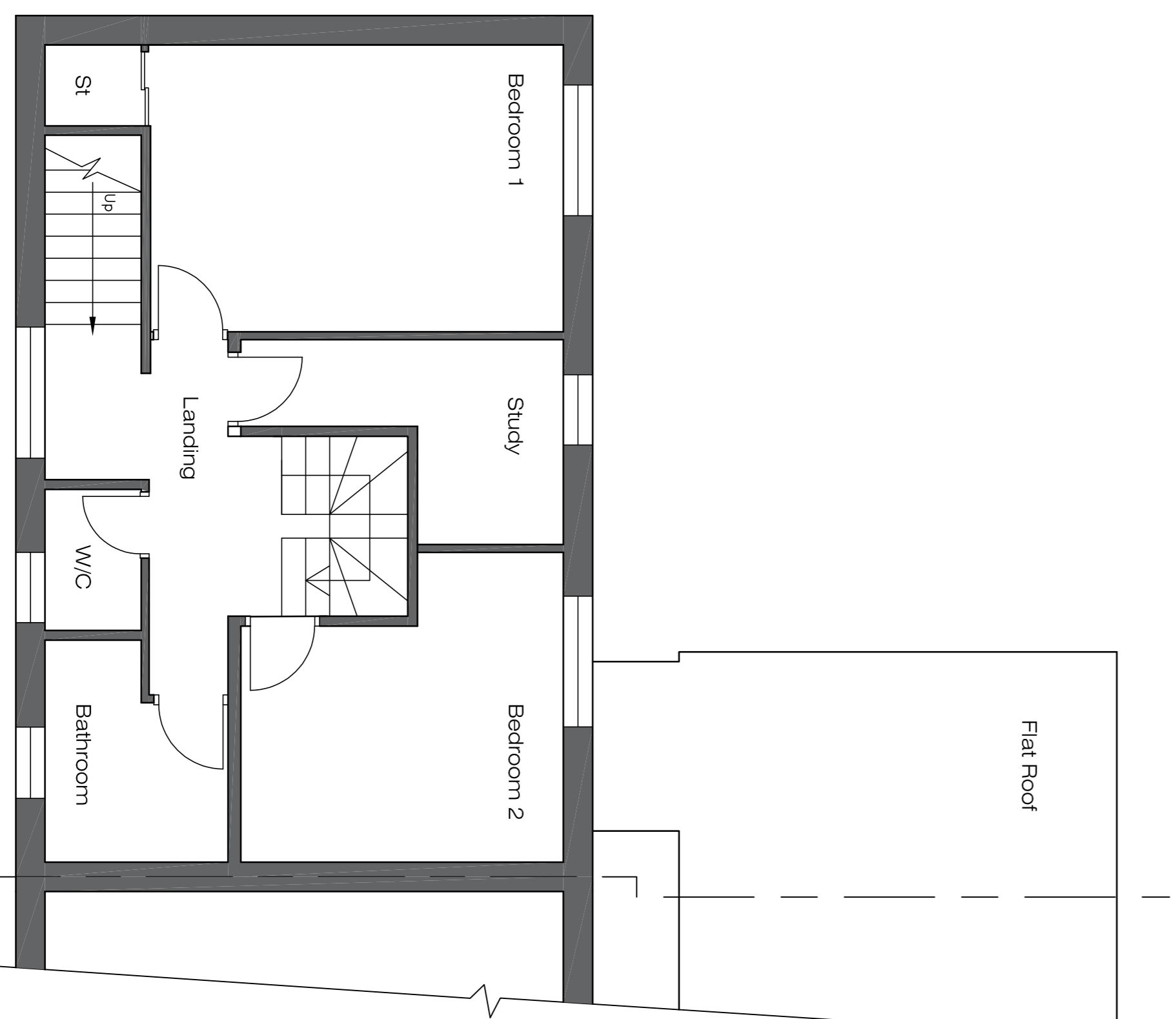
Side Elevation  
as Proposed  
1:100



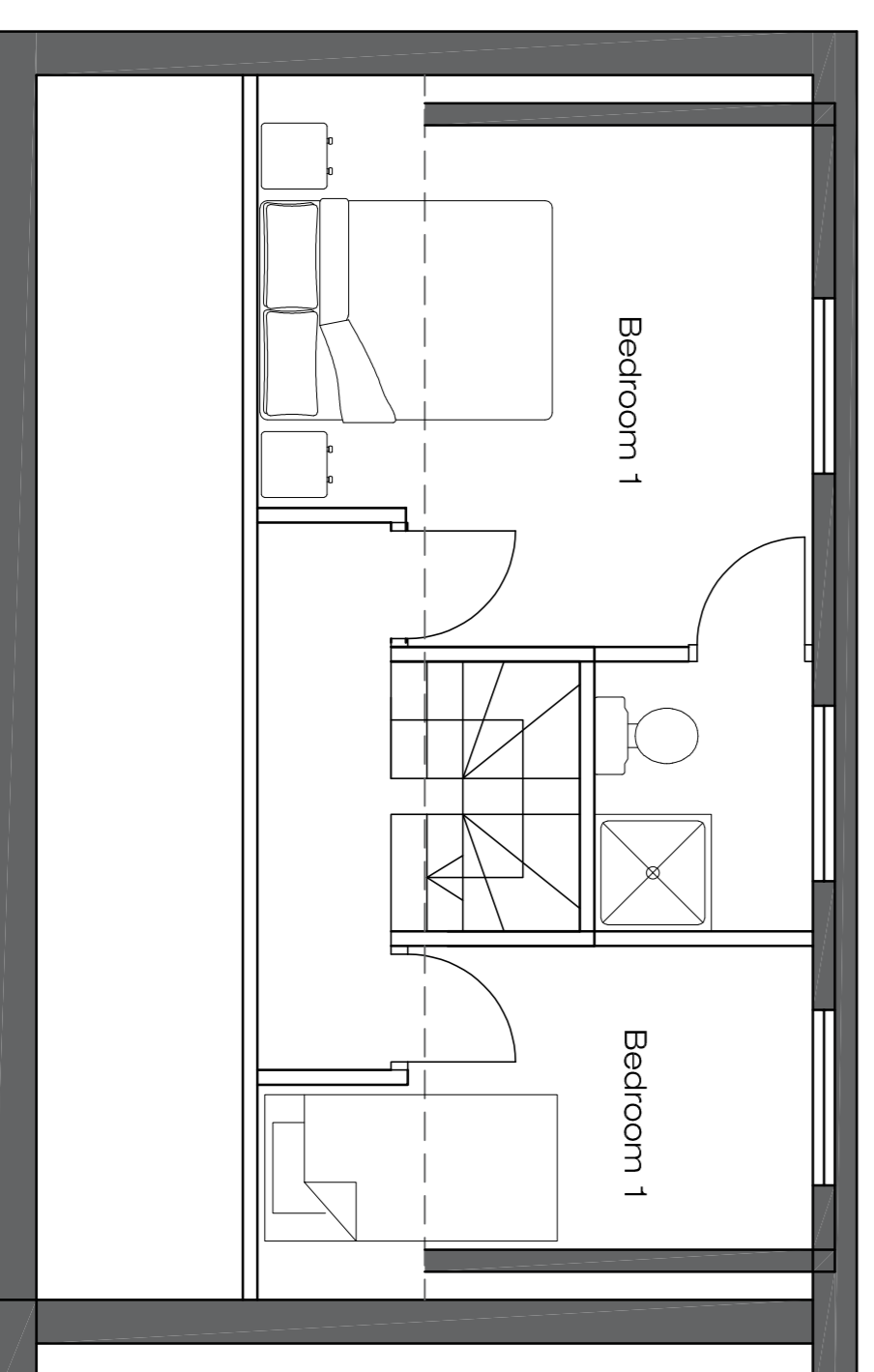
Section  
as Proposed  
1:100



Ground Floor Layout  
as Proposed  
1:100



First Floor Layout  
as Proposed  
1:30



Second Floor Layout  
as Proposed

**NOTE TO CONTRACTOR**

Check all dimensions prior to commencing works or ordering any materials. On no account are any works whatsoever including foundations to be undertaken outside the boundary of the site without the express permission of the adjoining owner.

**NOTE TO CLIENT**

It is your responsibility to check with the Statutory Authorities where all the services, particularly those outside the property are located, and to advise the Contractor accordingly, prior to accepting his quotation for the works.

**NOTE**

This may have both cost and safety issues.

**NOTE TO CLIENT / BUILDER**

These Works may be subject to CDW Legislation depending on the nature of the works & the contract period. It is your responsibility to check. You can ring the HSE to find out & what your responsibilities are.

**FOR PLANNING PURPOSES ONLY  
NOT TO BE USED FOR CONSTRUCTION**

REVISION	DATE	DESCRIPTION

**NEIL BOWEN ARCHITECTS**  
Office F7  
Flexspace  
Monkton Road  
Wokerfield, WF2 7AS  
Email : neil@neilbowenarchitects.co.uk  
Phone : 01924 380873

Project:  
Proposed loft conversion with dormer  
to 47 Kilsen Hill Rd Mirfield WF14 9EN

Date 03/05/2024	A1	2600	Scale
Drawing Existing & Proposed Plans, Elevations	R	1:30	
		1:100	
Drng No	1		