

20 ROWLEY HILL - FIRST FLOOR SIDE EXTENSION

MR & MRS A FIELD

HOUSEHOLDER APPLICATION TO KIRKLEES METROPOLITAN COUNCIL

APRIL 2026

Stephenson.
ARCHITECTS

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| Version | Date | Author | Comments |
|---------|------------|--------|----------|
| P01 | 10/04/2026 | MCS | Issued |
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1_ INTRODUCTION.

1.1_ INTRODUCTION.

This Design and Access Statement has been prepared by Stephenson Architects on behalf of the applicant to accompany the planning application for the proposed alterations at 20 Rowley Hill, Lepton.

This statement responds to the requirements of the Town and Country Planning Order 2006 for planning applications to be accompanied by a Design and Access Statement that explains the design principles and concepts that have been applied to the development and how issues relating to the access to the development have been dealt with.

This structure and content of this statement has been informed by DCLG Circular 01/2006 'Guidance on changes to the Development Control System' and 'Design and Access Statements; how to write, read and use them' (CABE 2006).

The planning application proposals that are considered within this Statement have been a collaboration between the design team, having worked together to consider the context of the site. Identifying the constraints and opportunities that this presents. The proposal is a consolidated response to this analysis.

2_ SITE ANALYSIS + CONTEXT.

1.2_ SITE ANALYSIS + CONTEXT.

Lepton is a village within the town of Huddersfield, in the Kirklees district of West Yorkshire, England. It is 4.25 miles (7 km) to the east of Huddersfield on the A642 (Penistone Road). The A642 is one of the main roads from the east into the Town Centre.

The application site and existing dwelling is located on the North side of Rowley Hill opposite The Rowley (formerly Rowley Hill Club), accessed from Rowley Lane.

The dwelling is surrounded by similar properties in terms of mass, scale & materiality and is part of a large residential suburb on the eastern edge of Huddersfield situated between Fenay Bridge, Kirkburton, Kirkheaton and Almondbury.

The nearest train station is at Honley, with buses leaving the village to the nearby town centre of Huddersfield or on to the other local villages of Kirkburton, Almondbury & Kirkheaton.

The architecture has an inconsistent grain. The buildings are set into varying sized plots and there is a variation of size and scale of properties.

The properties are generally of two-storeys, but variation in status of the properties means they often have very different scales. The piecemeal development of the area, together with the fact that there was never a nucleated or linear origin of the settlement, means that the orientation of the plots is also inconsistent, with some facing the roads/lanes and others not.



View looking West away from the site along Rowley Hill



View looking Northwest away from the site from Rowley Hill



View looking Northwest along Rowley Hill.



View looking East away from the site on Rowley Hill.

2.1_ EXISTING LAND USE.

Private Dwelling House - C3

The property's use historically is C3 - Dwelling House

2.1_ SITE DESCRIPTION + CONDITION.

20 Rowley Hill is a two storey property situated within the village of Lepton. The dwelling as existing, is a two bedroom semi-detached dwelling set back from the road with a significantly imbalanced ratio of living accommodation between ground and first floor living accommodation.

It is evident the single storey flat roof element of the property was historically two-storeys, due to the remaining historic stone staircase central to the plan that is capped off by the flat roof. It is understood there was a fire and the upper storey and pitched roof was significantly damaged and never rebuilt. The proposed redevelopment seeks to reintroduce the former first floor and pitched roof.

The proposal for redevelopment retains existing off street parking and seeks to provide high quality living spaces and secure garden amenity space.

The property as existing benefits from generous residential amenity space with a gardens to the front and rear.

2.1_ SITE DESCRIPTION + CONDITION.

The local authority planning website has no former applications listed for the property.



View looking North into the site from Rowley Hill.



View looking South into the site from Rowley Hill.

3.1_ DESIGN OBJECTIVES.

Proposals seek to sympathetically enlarge the existing property with high quality materials and carefully considered spatial planning, which facilitates modern open plan living, drawing natural light deep into the plan to enhance its functionality as a family home.

Ensure through good design, proposals have minimum impact on the residential amenity of neighbouring properties and the character of Rowley Hill, and that significant overshadowing of adjacent dwellings and their amenity is avoided.

Internal and external alterations proposed strive to thermally upgrade the existing building fabric to improve the existing cavity wall thermal performance and contribute to the 2050 carbon emissions target.

3.2_ USE.

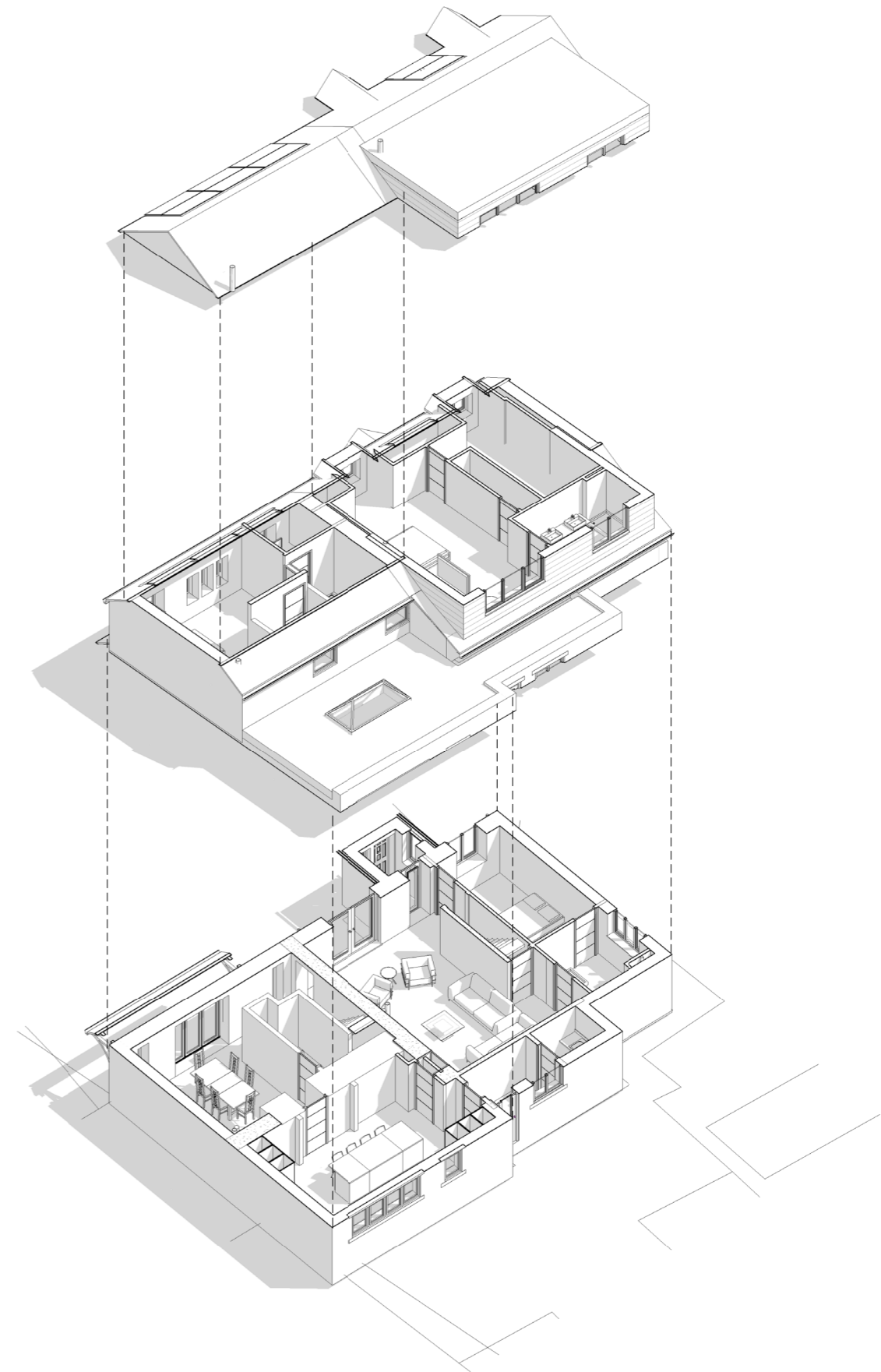
Proposed use is C3 - private dwelling house. The existing building is the original dwelling house built over two storeys with a large single story element to the west elevation and a smaller one to the north elevation.

The proposed reinstatement of the former first floor will provide additional a new master bedroom suite, configured to create a walk-in-wardrobe and ensuite bathroom.

3.3_ AMOUNT.

The total ground floor area as existing provides 127sqm with a predominantly open plan arrangement, with the first floor as existing providing 31sqm.

The proposed reinstatement of the first floor and pitched roof that forms the new master suite creates an additional 46.5sqm of accommodation.



Proposed Axonometric Floor Plans - NTS

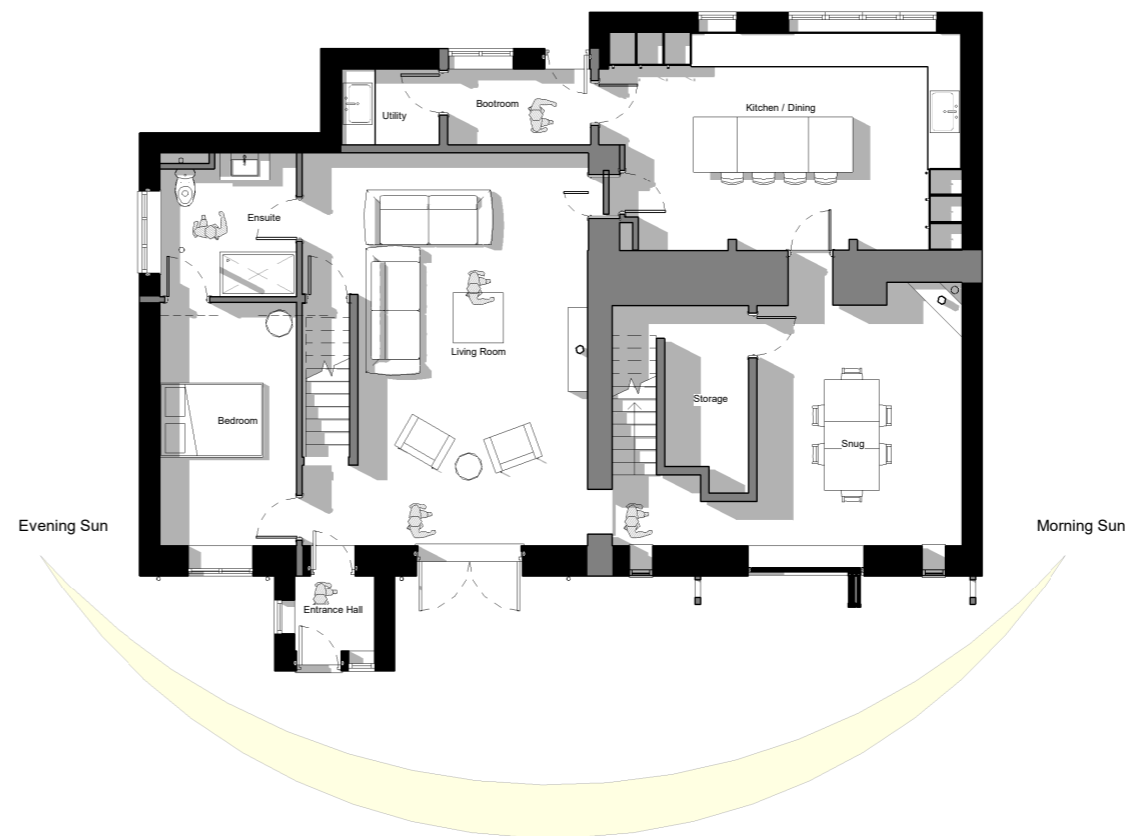
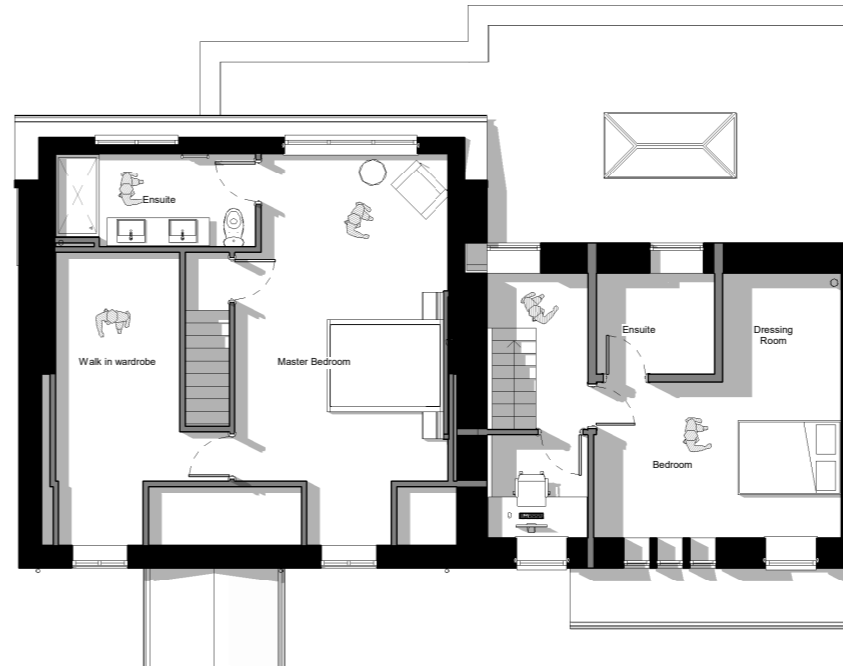
3.4_ LAYOUT.

The existing property is laid out as a spacious 2-bedroom family home, in-keeping with the wider vernacular. All additions and alterations are designed to be in a similar architectural style of the wider vernacular and existing dwelling in terms of materiality and scale, strengthening the property's relationship with its contextual setting.

The site is primarily accessed via Rowley Hill to the North, with refuse storage and off street parking provided. The property is accessed via a sympathetic, contemporary natural stone built replacement porch to the south elevation.

The proposal is to relocate the existing ensuite bathroom, by forming a new ensuite bathroom within a first floor side extension, which shall permit the formation of an additional bedroom for the applicants growing family.

The new first floor extension shall be a high quality structure that incorporates a dormer window to maximise usable space, flood the master suite with natural light, whilst respecting the privacy of neighbouring properties on Rowley Hill. Therefore it is considered here that proposals are in accordance with policy LP24 of the adopted Kirklees Local Plan.



3.5_ SCALE + APPEARANCE.

The proposed material changes to existing building have been carefully considered to be in-keeping with the scale and architectural style of the existing property and the wider contextual setting. The proposed extension will be constructed using high quality, timeless materials in a sympathetic contemporary architectural style, to harmoniously complement the existing dwelling.

The height of the proposed extension aligns with the existing eaves and ridge line, to replicate the historic roof-line of the former second storey. Two small dormer windows have been introduced to break up the massing on the principal, south elevation and provide architectural interest, thus complying with LP24 of the adopted Kirklees Local Plan.

3.6_ MATERIALITY

The proposal primarily utilises the existing building fabric, however new elements comprise of the following palette of materials and design styles to create a renovation that will sit harmoniously within the setting of Rowley Hill.

These include:

- Natural Stone and render External Walls.
- Indian Stone roof tiles
- uPVC rooflights
- uPVC windows - White
- uPVC Rainwater pipes & gutters to match existing – Black.

3.7_ ACCESS

The site is accessed via Rowley Hill to the North, with refuse storage and off street parking. The residents access the property via the rear entrance directly off the off-street parking on the North elevation. Visitors and guests access the dwelling via a sympathetic, contemporary natural stone replacement porch to the south elevation.

New pitched roof to match existing and reflect existing gutter and eaves detail.
The proposed ridge follows the line of the existing to replicate that of the former second storey lost in a fire.



View looking North into the site from Rowley Hill indicating the reinstatement of the former first floor and pitched roof.

4.0_ CONCLUSION.

In our opinion, we believe the proposals to be considered outlined in this document should be supported for the following reasons:

The proposals do not impact the setting and would make a positive contribution to the character of the existing area, providing variety to the local architecture.

Due to the location of the site, the works will have no detrimental impact on the neighbouring properties.

The proposed development is appropriate in scale and materiality with the neighbouring houses within the established context.

The size and scale of the proposed development respects the height and character of its surroundings.

The first floor side extension is subservient to the host dwelling.

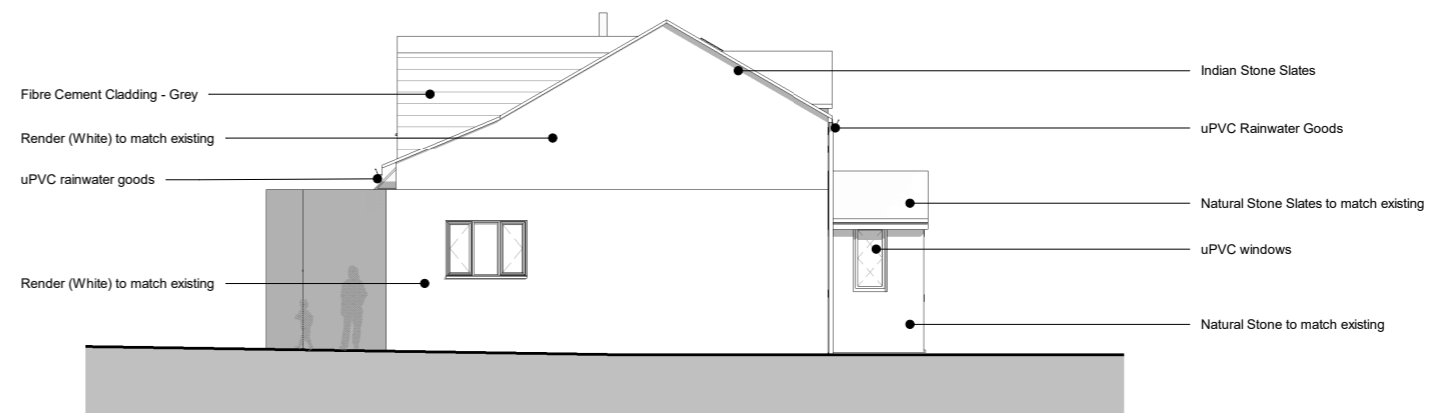
The proposals will provide a high-quality extension in a desirable area and will secure the building for long-term use.

The proposed accommodation has been designed to meet and exceed the requirements of the DCLG Technical Housing Standards and Approved Document M(2) Accessible & Adaptable Dwellings.

The proposal is well considered and will provide an appealing environment for the Client, tailored to their brief.

Overall, we believe proposed development respects and complies with all the key national and local policy. As such, we believe the proposed development would have a positive impact on the surrounding area.

We trust that the above provides sufficient detail to accompany this application, however, should you require any additional information please do not hesitate to contact **Stephenson Architects**.



Proposed Elevations NTS

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