

### NOTES

All efforts have been made in measuring existing site. However the contractor / builder is responsible, for checking & confirming all given dimensions on site prior to pricing & works.

Extent of boundary ownership confirmed by applicant.

#### Proposal -

Householder Application for Planning Permission:

Proposed Side Extension including Loft Conversion with Dormer Style Window(s) to the Rear Elevation to meet the applicants requirements and as illustrated on the application drawings.

#### Existing & Proposed Use Class -

Class C3 Dwellinghouse

#### 1) GENERAL BUILDING NOTES

- a) All works to be in accordance with Building Regulations, current editions and amendments and to the satisfaction of the Building Control Authority.
- b) All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
- c) All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc. and with the requirements of all relevant and current Statutory Authority regulations.
- d) All structural calculations if required to be submitted by client appointed Structural Engineers and upgraded as necessary as works proceed to suit any clients requirements.
- e) The contractor must ensure and will be held responsible for the stability of the building structure at all stages of the contract.

#### 2) APPROVED DOCUMENT A STRUCTURE

- a) All structural details and calculations if required to be submitted for approval to Building Control Authority by client appointed Structural Engineer.

### PLANNING ISSUE

Rev	Description	Date	By	App'd
A	Proposed plans updated.	27/03/26	AM	-



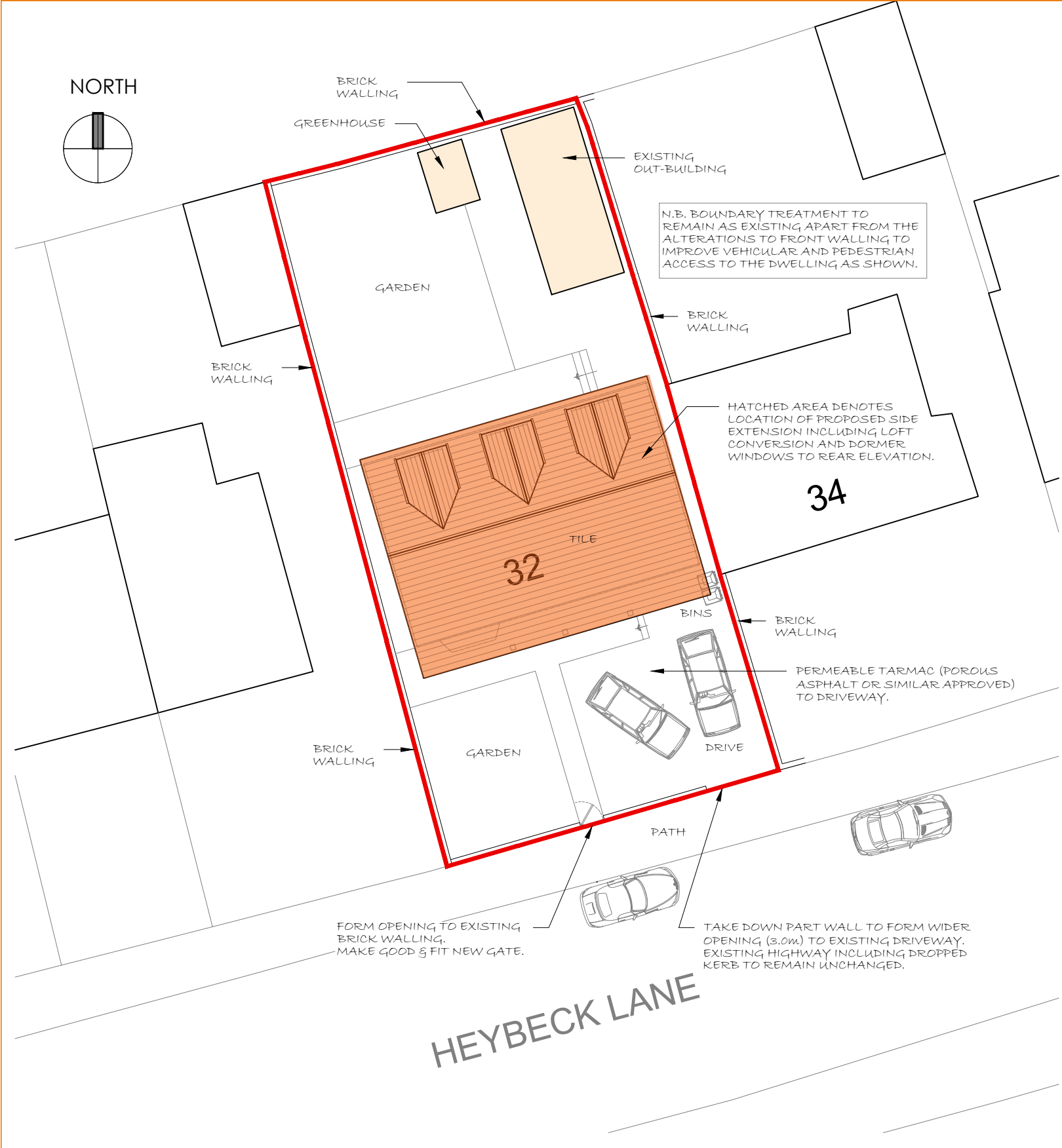
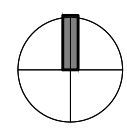
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Dewsbury, West Yorkshire, WF13 3SA  
t: 01924 462 550 m: 07791 717 404  
e: asif@tractusad.co.uk

Client  
**MR. DAVID EDWARDS**

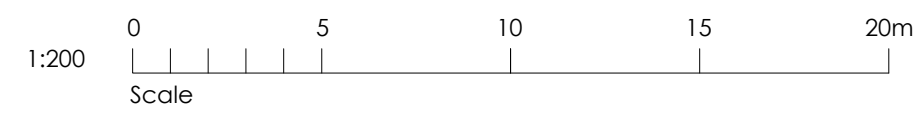
Project  
**32, HEYBECK LANE  
TINGLEY, WF12 7QY**

Drawn by	Date	App'd	
AM	03/26	-	
Drawing no	Project no	Scale @ A3	Rev
PL-01	26-002	A.S.	A

NORTH



PROPOSED BLOCK PLAN  
SCALE - 1:200



#### Materials As Proposed -

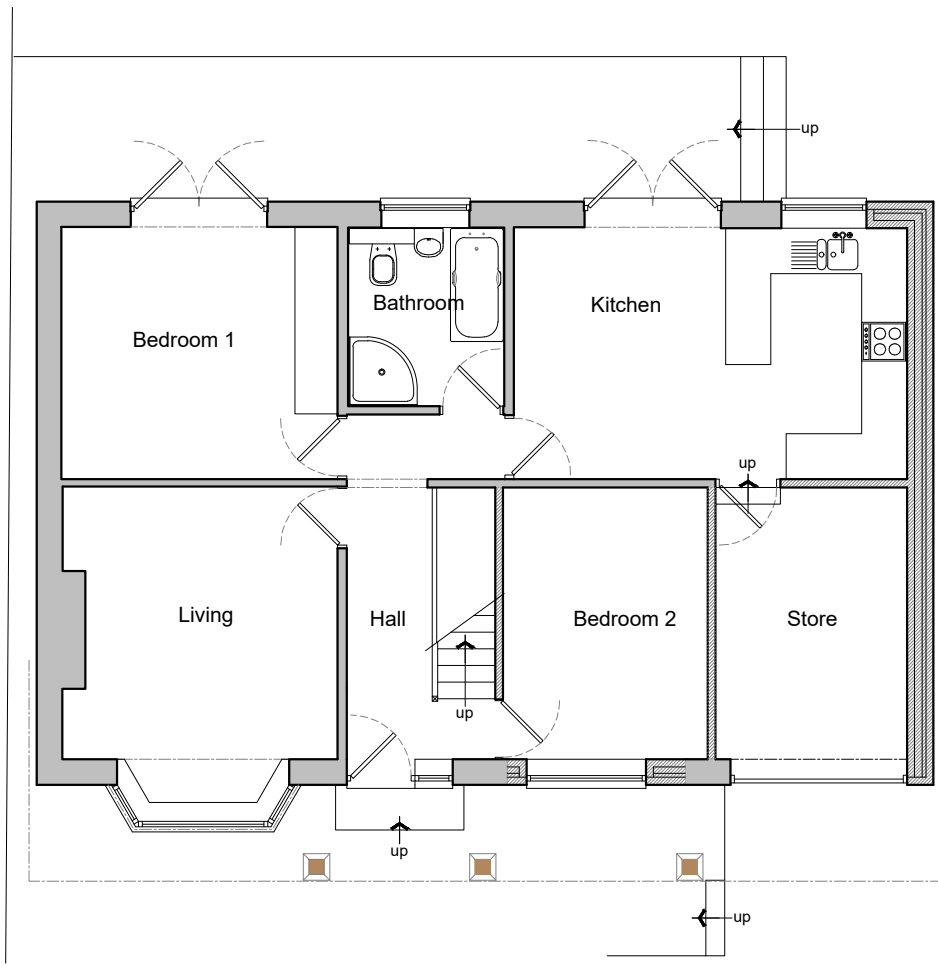
Walls - Render finish to outerleaf.

Doors - upvc framed doorsets.

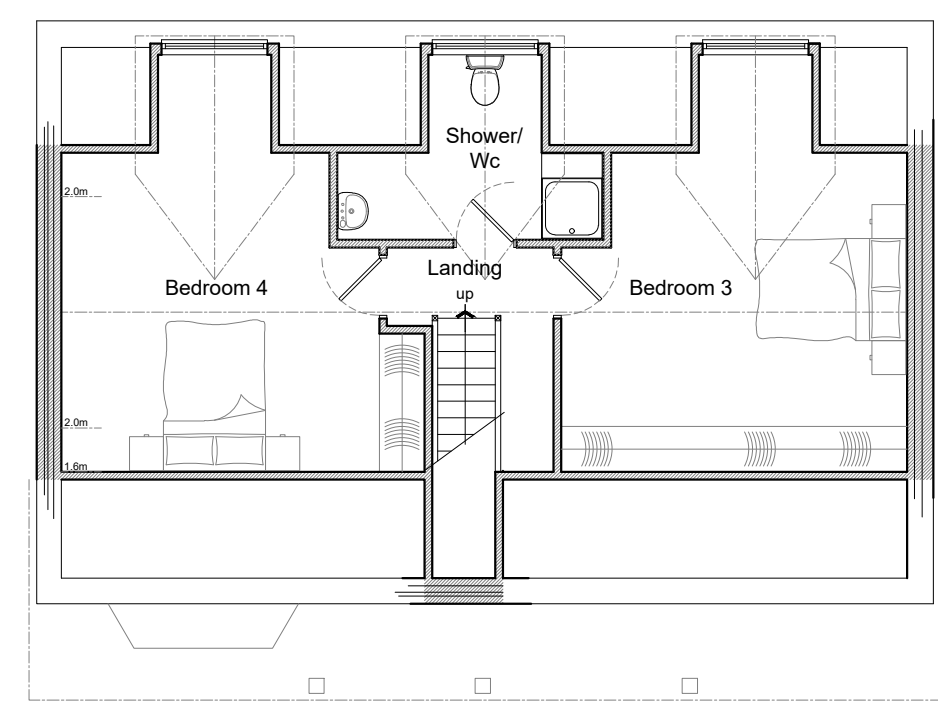
Windows - White upvc framed double-glazed units.

Roof - Concrete plain roof tile smooth grey to main roof including dormers.

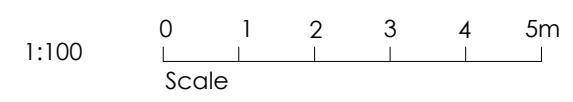
Fascia/Guttering - upvc fascia/soffit board with guttering & downpipes to suit.



PROPOSED GROUND FLOOR PLAN  
SCALE - 1:100



PROPOSED LOFT PLAN  
SCALE - 1:100



#### CDM 2015

#### RISKS

1. RESTRICTED ACCESS TO SITE
2. SITE WELFARE REQUIREMENTS
3. SITE CLEARANCE
4. INSTALLATION OF TEMPORARY AND RE-ROUTED SERVICES
5. NEW FOUNDATIONS
6. WORKING AT HEIGHT