

GENERAL NOTES
 These notes do not comprise a full specification. The drawings are for Building regulations purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the Local Authority Inspector to determine compliance in line with Building regulations standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used. Sept 2022.

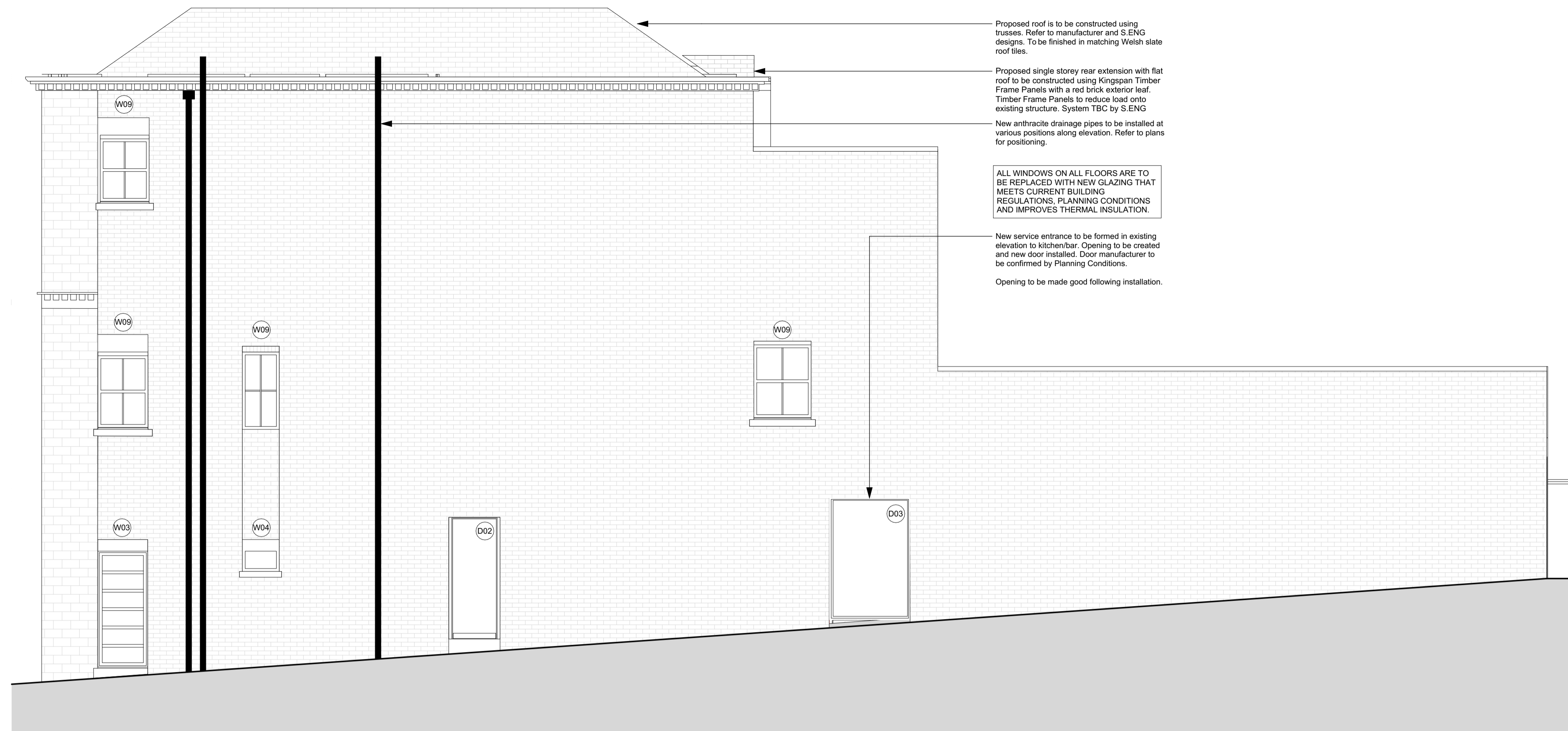
Party Wall Act
 Notices under the Party Wall Act are to be served by the building owner. For further clarification on the Party Wall Act 1996 contact: Cairn Wharf Consultancy Ltd. M: 07739 576 181 E: cw@cairnwharf.com For further information on the Party Wall etc. Act 1996: https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/523010/Party_Wall_etc_Act_1996_-_Explanatory_Booklet.pdf

Building Contract
 It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the ICT. For further information on Building contracts speak to MAS Design Consultants Ltd.

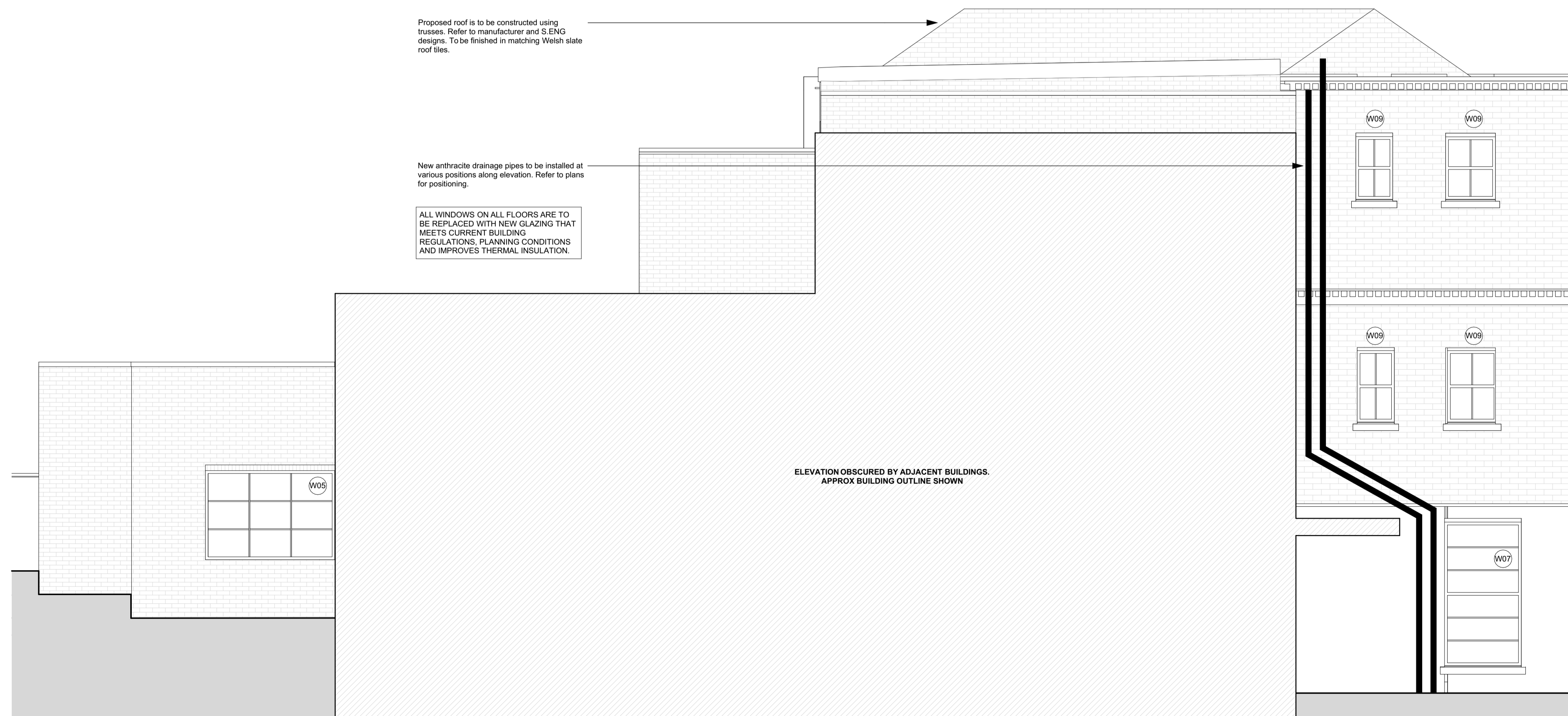
CDM 2015 Regulations
 The Construction Design and Management (CDM) Regulations 2015 apply in full to all construction works and the client must now appoint a Principle Designer and a Principle Contractor. MAS Design Consultants Ltd. will act as Principle Designer. The Contractor must produce a written Construction Phase Plan. For further information on the CDM 2015 Regulations can be seen at <http://www.hse.gov.uk/pubns/indg411.pdf> or contact MAS Design Consultants Ltd.

PROPOSED MATERIALS

WALLS - BRICKWORK TO MATCH EXISTING
 ROOF - GRP FLAT ROOF AND WELSH SLATE
 WINDOWS - ALL WINDOWS TO BE REPLACED, STYLE AND SIZES TO MATCH PLANNING CONDITION DISCHARGE
 DOORS - TO MATCH EXISTING
 STONE PARAPET DETAILING TO BE RETAINED



Proposed North Elevation
 1:50



Proposed South Elevation
 1:50

RevID	Description	Date
A	Amendments made to Second Floor and Window/Door details added	26/02/2026
B	Brick and Bat Boxes added as per Ecology comments	25/03/2026



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BUILDING REGULATIONS

PROPOSED:
 PROPOSED REFURBISHMENT TO GROUND FLOOR RESTAURANT / BAR. PROPOSED CHANGE OF USE TO 2NO ONE BEDROOM APARTMENTS AND 3NO TWO BEDROOM APARTMENTS AT FIRST AND SECOND FLOOR. PROPOSED SECOND FLOOR REAR EXTENSION. PROPOSED CONSTRUCTION OF NEW ROOF TO MATCH EXISTING PRIOR TO FIRE DAMAGE.

THE TIME PIECE PUB, DEWSBURY, KIRKLEES, WF13 1DS

Client Details:
 MR M ELSTON
 THE TIME PIECE PUB, DEWSBURY, KIRKLEES, WF13 1DS

Proposed North and South Elevations

PAPER	SCALE	DATE	DRAWING NUMBER	REV
A1	1:50	26/03/2026	4477.04.201	B