

**GENERAL NOTES**  
 These notes do not comprise a full specification. The drawings are for Building Regulations purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the Local Authority Inspector to determine compliance in line with Building Regulations standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used. Sept 2022.

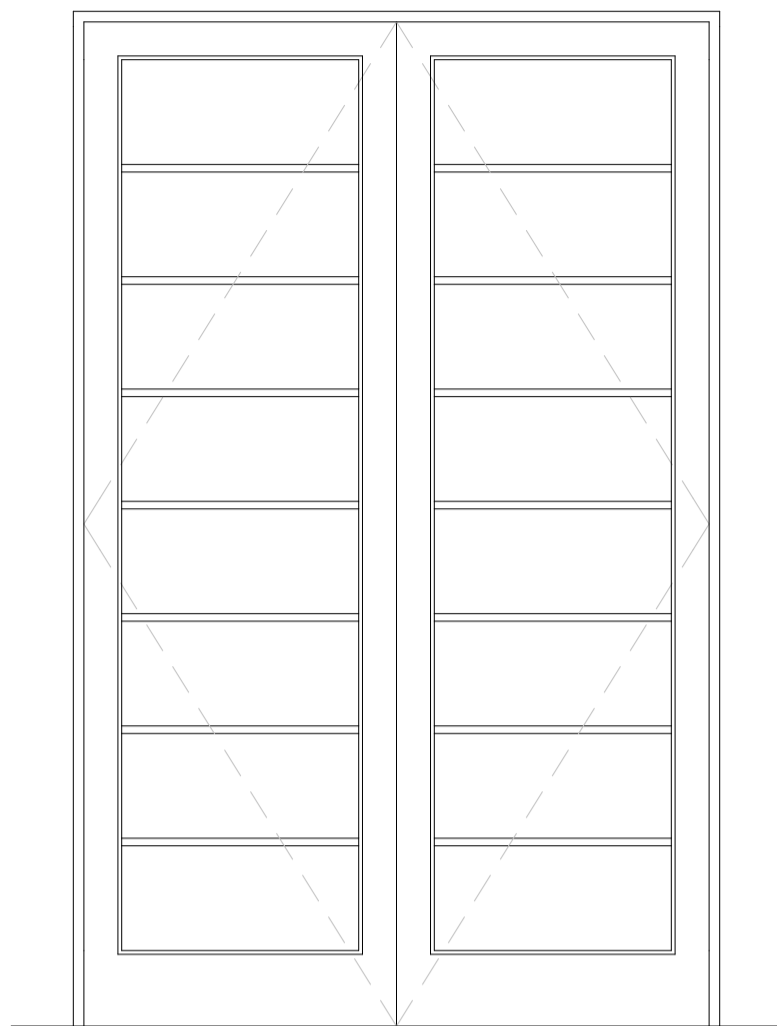
**Party Wall Act**  
 Notices under the Party Wall Act are to be served by the building owner. For further clarification on the Party Wall Act 1996 contact:  
 Cairn Wharf Consultancy Ltd.  
 M: 07739 576 181 E: cw@cairnwharf.com  
 For further information on the Party Wall etc. Act 1996:  
[https://www.gov.uk/government/uploads/system/uploads/attachment\\_data/file/523010/Party\\_Wall\\_etc\\_Act\\_1996\\_-\\_Explanatory\\_Booklet.pdf](https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/523010/Party_Wall_etc_Act_1996_-_Explanatory_Booklet.pdf)

**Building Contract**  
 It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the ICT. For further information on Building contracts speak to MAS Design Consultants Ltd.

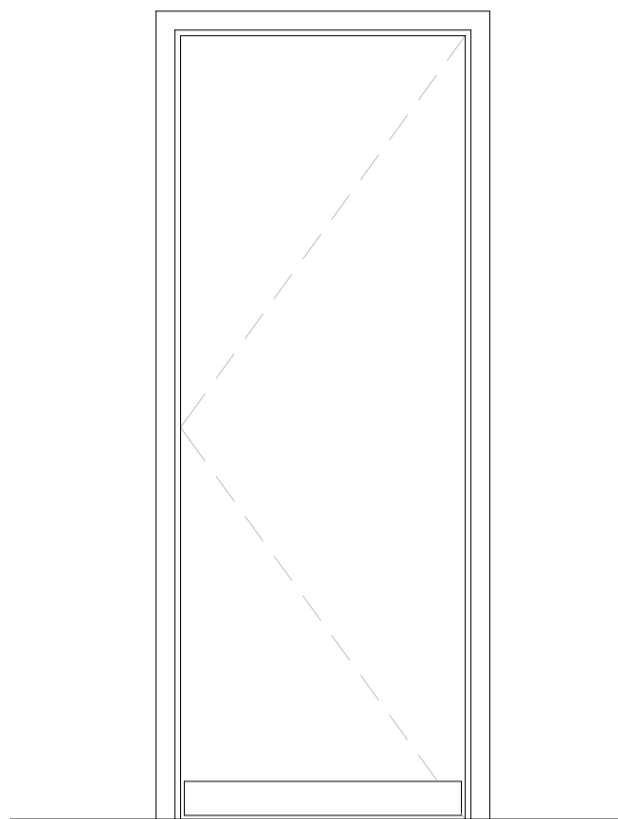
**CDM 2015 Regulations**  
 The Construction Design and Management (CDM) Regulations 2015 apply in full to all construction works and the client must now appoint a Principle Designer and a Principle Contractor. MAS Design Consultants Ltd. will act as Principle Designer. The Contractor must produce a written Construction Phase Plan. For further information on the CDM 2015 Regulations can be seen at <http://www.hse.gov.uk/pubns/indg411.pdf> or contact MAS Design Consultants Ltd.

All door head details are to remain as existing. For all new doors, heads and sills will be installed to match the existing doors present on the same elevations and constructed using matching materials.

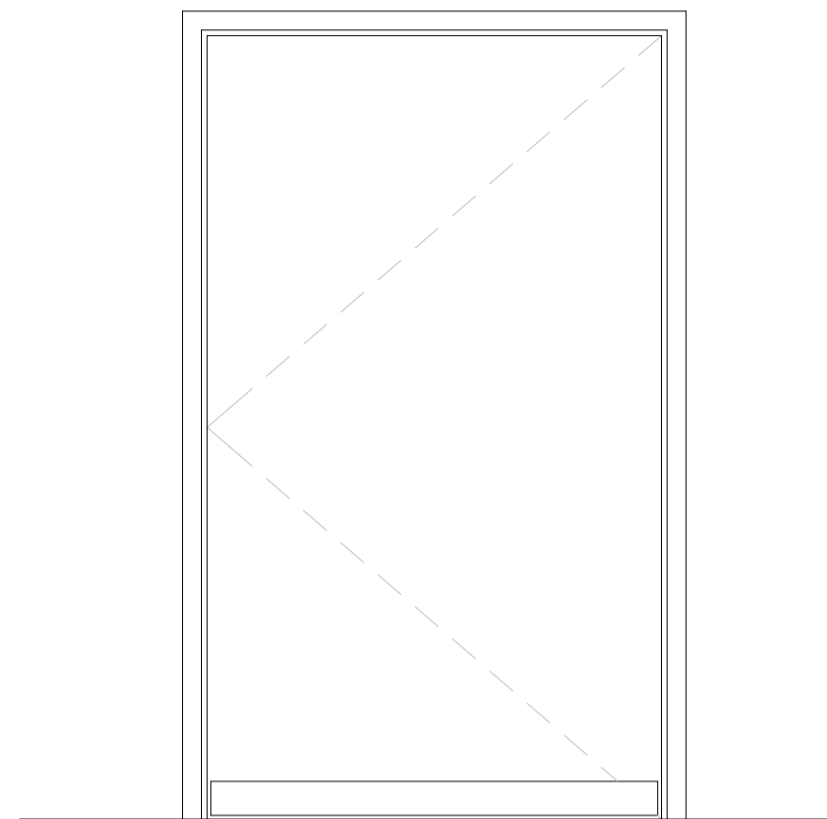
Existing doors are to be replaced with exact matches in line with current Building Regulations. Precise opening sizes and door details for existing doors are to be measured on site before replacements are ordered.



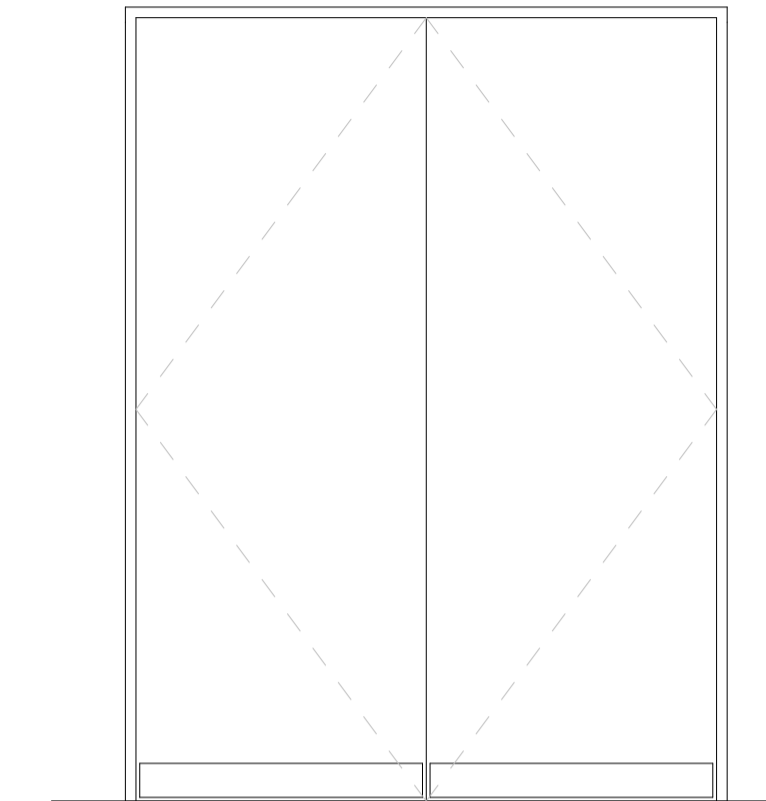
**D01** Main Entrance - French Doors  
 East Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Double Glazed Panels w/ White Painted Astragal Bars  
 Doors to precisely match existing in size and style



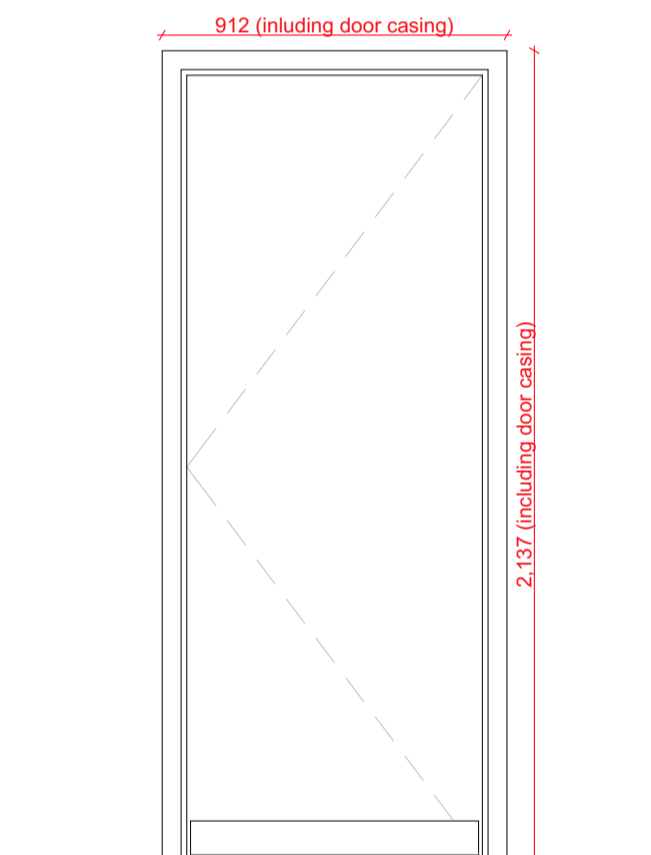
**D02** Apartments Entrance - Single Door  
 North Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Galvanised Aluminium Kick Board  
 Doors to precisely match existing in size



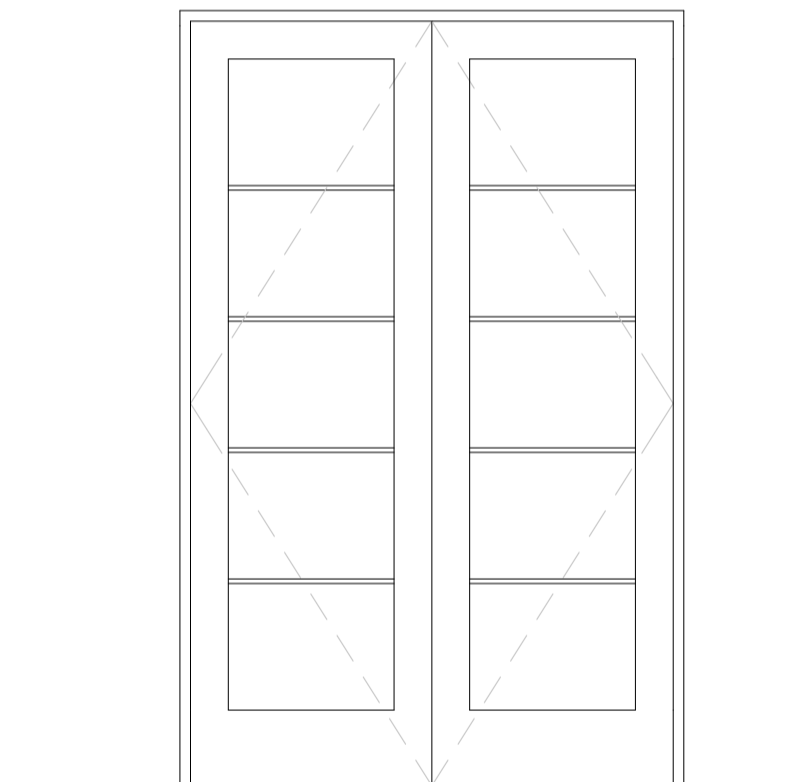
**D03** Maintenance Entrance - Single Door  
 North Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Galvanised Aluminium Kick Board  
 Doors to precisely match pre-existing opening in size



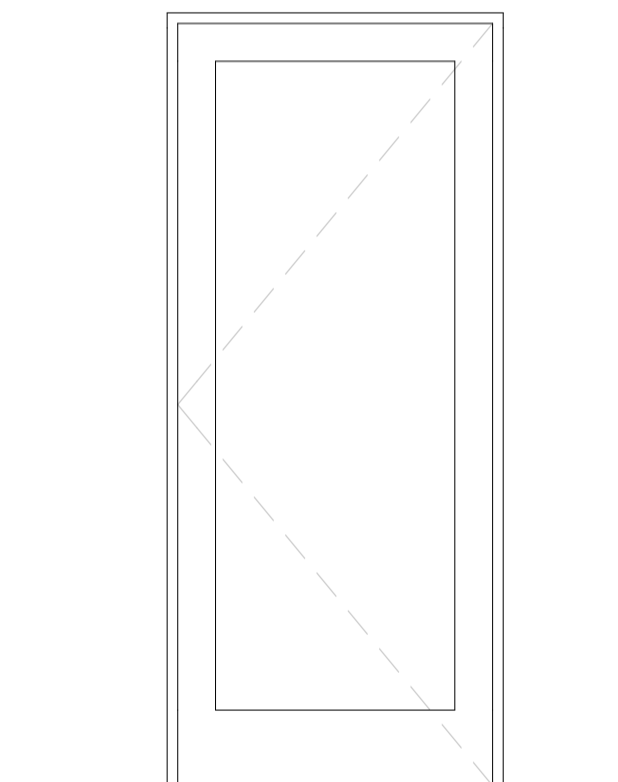
**D04** Bin Store Entrance - Double Door  
 North Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Doors to precisely match pre-existing opening in size



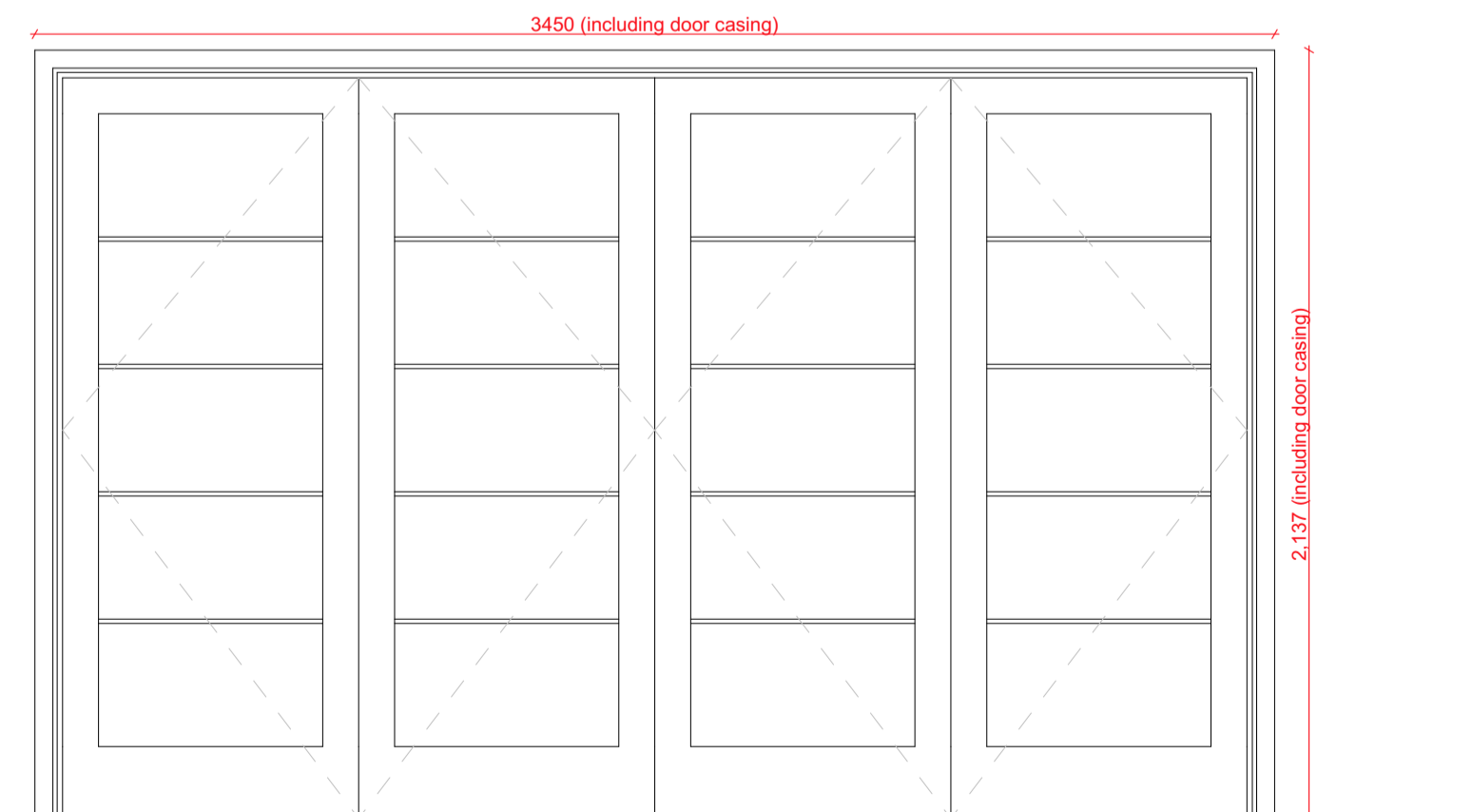
**D05** Rear Entrance - Single Door  
 West Elevation  
 Timber Frame & Panel - Waterproof Anthracite Paint Finish  
 Galvanised Aluminium Kick Board  
 Doors to be matching in appearance to pre-existing  
 Size: 2100mm x 838mm



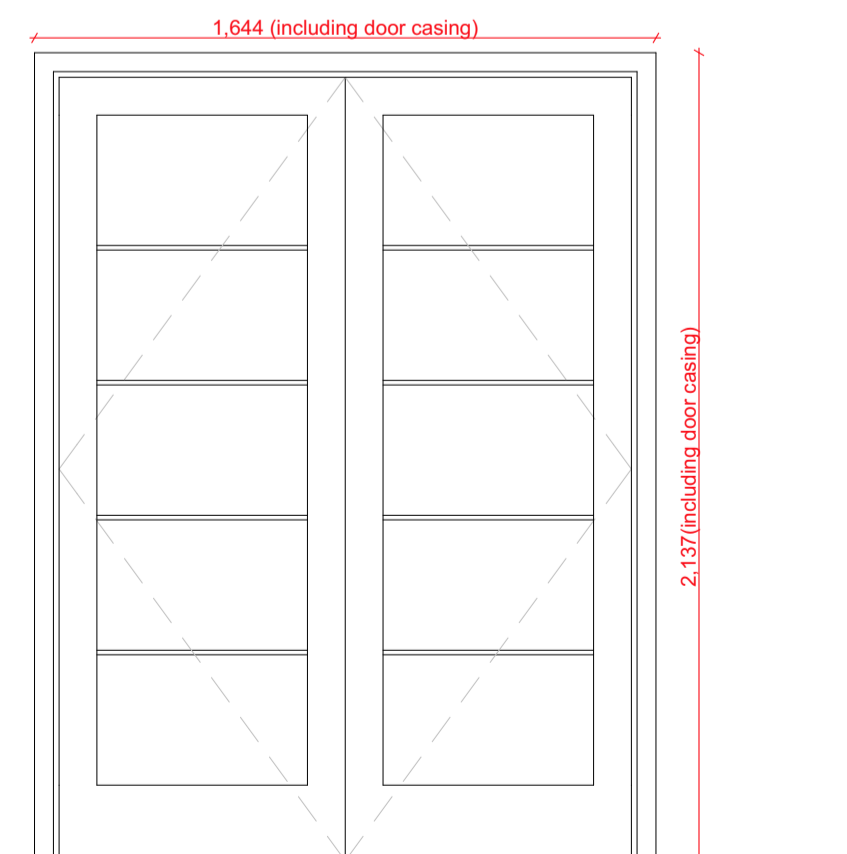
**D06** Balcony Openings - French Doors  
 East Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Double Glazed Panels w/ White Painted Astragal Bars  
 Doors to precisely match existing in size and style



**D07** Communal Entrance - Glazed Door  
 West Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Double Glazed Panel  
 Doors to precisely match existing in size but alter appearance to allow outlook onto communal terrace



**D08** Flat 03 Terrace Entrance - Glazed Bi-Folding Doors  
 West Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Double Glazed Panels w/ White Painted Astragal Bars  
 Doors to match appearance of doors existing on site  
 Size: 2100mm x 3375mm



**D09** Flat 05 Terrace Opening - French Doors  
 West Elevation  
 Timber Frame & Panel - Waterproof White Paint Finish  
 Double Glazed Panels w/ White Painted Astragal Bars  
 Doors to match appearance of doors existing on site  
 Size: 2100mm x 1570mm

RevID	Description	Date
01 - WIP	Amendments made to provide 1:5 Window and Door Details	Work in Progress



1 Oxford Street, Guiseley, Leeds, LS20 9AX  
 www.masdesignconsultants.com  
 info@masdesignconsultants.com

**BUILDING REGULATIONS**

**PROPOSED:**  
 PROPOSED REFURBISHMENT TO GROUND FLOOR RESTAURANT / BAR. PROPOSED CHANGE OF USE TO 2NO ONE BEDROOM APARTMENTS AND 3NO TWO BEDROOM APARTMENTS AT FIRST AND SECOND FLOOR. PROPOSED SECOND FLOOR REAR EXTENSION. PROPOSED CONSTRUCTION OF NEW ROOF TO MATCH EXISTING PRIOR TO FIRE DAMAGE.

THE TIME PIECE PUB, DEWSBURY, KIRKLEES, WF13 1DS

**Client Details:**  
 MR M ELSTON  
 THE TIME PIECE PUB, DEWSBURY, KIRKLEES, WF13 1DS

**Proposed Door Schedule**

PAPER	SCALE	DATE	DRAWING NUMBER	REV
A1	1:20	25/03/2026	4477.04.203	01 - WIP