

Strata Homes

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Ref: PP-14726926

Date: 22/05/2026

Dear Sir or Madam

**APPLICATION TO PARTIALLY DISCHARGE CONDITION 10 OF PLANNING PERMISSION REF:
2021/62/93567/E (DEMOLITION OF EXISTING COMMERCIAL BUILDINGS AND ERECTION OF 180
DWELLINGS WITH ASSOCIATED WORKS) FOR THE DEVELOPMENT OF LAND OFF WESTGATE,
CLECKHEATON, BD19 5DR.**

We hereby submit an application to partially discharge condition 10 in respect of planning permission reference 2021/62/93567/E for the development of Land at Westgate, Cleckheaton, BD19 5DR.

The application has been submitted via the planning portal (ref: PP-14726926). The application fee of £298.00 will now have been cleared via the Planning Portal upon the Local Planning Authority's receipt of this application. In addition to this cover letter and the application form, the application is accompanied by the information as detailed below under the relevant condition headings.

Condition 10 - Validation Report

Condition 10 reads as follows:

"Prior to the occupation of any phase, a Validation Report in respect to the approved Remediation Strategy for the phase shall be submitted to, and approved in writing by, the Local Planning Authority.

The final phase's Validation Report shall include a Final Validation Summary Report that summarises and concludes site wide validation."

Gas Verification Strategy

Application Context

In line with the requirements of condition 10, a validation report is to be submitted to and approved by the Local Planning Authority which demonstrates that the remediation required has been completed and that the measures to deal with gas protection have been installed.

The document titled '*Gas Risk Assessment, Land at Westgate, Cleckheaton (Ref: 3034/5) (Date: April 2021)*', approved via the Full Planning Application 2021/62/93567/E, outlines within Section 6.3 of the report that basic gas protection measures are to be installed and are then to be verified.

This discharge of condition application provides a verification strategy to detail the specific frequency of verification and the scope of measures that are to be verified in order to ensure that expectations in relation to gas verification procedures for the development are aligned between the Local Planning Authority and Strata.

This application therefore proposes to partially discharge condition 10 by providing a specific verification strategy in relation to gas protection measures, prior to validation reports being submitted to the Local Planning Authority to subsequently enable the phased discharge of condition 10 for each batch of plots.

Submitted Documents

- Gas Protection Strategy & Verification Plan for Land at Westgate, Cleckheaton for Strata Homes (Ref: 3043/9) (Date: February 2026).

This document identifies:

The proposed verification strategy for the development; in particular that verification is to take place as follows:

- The following gas protection measures are to be verified:
 - Subfloor void;
 - Gas membrane;
 - Sealing of water duct annulus.
- Verification is to take place in line with the following strategy:
 - 1) Verifier will conduct independent inspections of the gas protection measures on the first batch of plots (minimum of 5).

- 2) Verifier will conduct inspection of gas protection measures of Plots located within CS2 zone only at a frequency of 1 in 20. This is in relation to Plots 1-86, 111-119 & 135-180.
- 3) Verifier will conduct inspection of gas protection measures of Plots located within the combined CS2 and hydrocarbon resistant zone at a frequency of 1 in 5. This is in relation to Plots 87-110 & 120-134.

Appendix A - Gas Protection Validation Report

Within the proposed 'Gas Protection Strategy & Verification Plan for Land at Westgate, Cleckheaton for Strata Homes (Ref: 3043/9)', Appendix A identifies the plots located within the CS2 zone only and those within the combined CS2 and hydrocarbon resistant zone.

- All plots located within 1A, 2A, 3A, 4A, 5A, 6A, 7A & 8A are within the combined CS2 and hydrocarbon resistant zone.
- All plots located within 1B, 2B, 3B, 4B, 5B, 6B & 7B are within zone CS2.

The below screenshot has been taken from Appendix A and identifies the different zones.

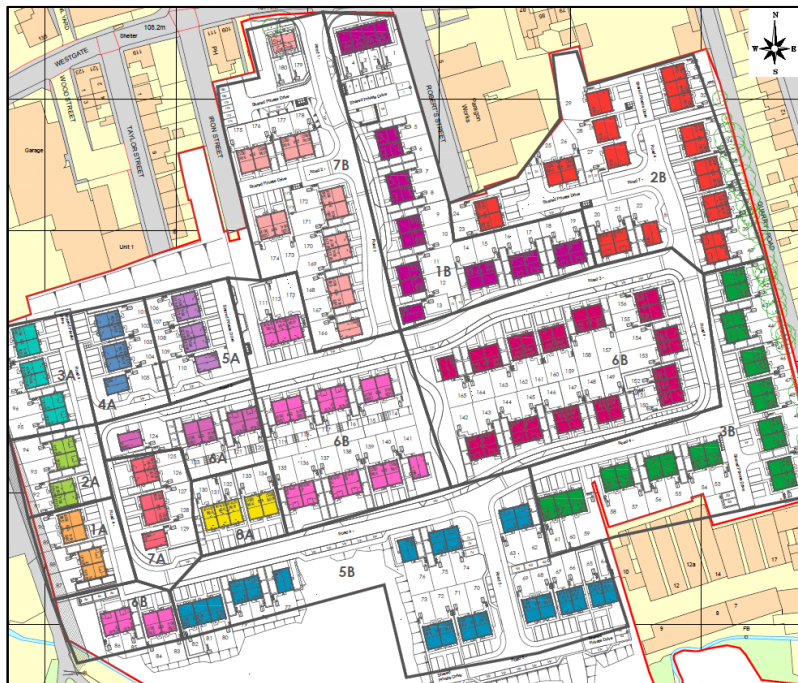


Figure 1 – Appendix A as per the proposed Gas Protection Strategy & Verification Plan for Land at Westgate, Cleckheaton (Ref: 3043/9)

Verification Report for Remediation Works

As part of the discharge of condition 8 application 2023/93077, a Remediation Strategy was approved titled: 'Remediation Strategy, Lithos, dated August 2023 (ref: 3043/4D)'. This report outlined the remediation and ground preparatory works that are to be undertaken upon the development.

Upon completion of the required remediation works on site a verification is to be submitted to and approved by the Local Planning Authority; such verification report is to demonstrate compliance with the approved Remediation Strategy (Ref: 3043/4D).

Such remedial works have now been completed upon the site and a specific verification report in relation to remediation works has been completed.

Submitted Documents

- Enabling Works Verification Report for Land at Westgate, Cleckheaton for Strata Homes (Ref: 3043/8) (Date: April 2026).

This document identifies:

All ground preparatory works within phases 1-3 of the development have been completed and verified in line with the approved remediation strategy & have been completed to a satisfactory standard.

Please note that further remedial works are to take place upon the development. This is to take place within phases 4-9 and comprises of the following:

- Upfilling of low areas within phases 6-9; this was previously not undertaken due to a lack of suitable fill material.
- Installation of top 400 layer within phases 4-9.

It is therefore proposed that a separate verification report will be submitted to Kirklees Council once all remediation and ground preparatory works have been completed within phases 4-9 in support of condition 10.

Summary

We trust that the information provided will be sufficient to partially discharge the above condition.

In the meantime, we look forward to receiving confirmation that this application has been received and validated. If there is any further information required or any issues with any of the above, please do not hesitate to contact myself.

Yours faithfully,

Claire Linley

Planning Director

Strata

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