

Heritage Statement

Planning Application for :

Extension and refurbishment of existing detached dwelling.

80, Causeway Side, Linthwaite, Huddersfield, HD7 5NW

This document has been prepared to support a planning application for the extension of 80 Causeway Side, a detached property in Linthwaite, Huddersfield. The application seeks permission for a two-storey rear extension and a single storey side extension.



Figure 1 – Existing South Elevation



Figure 2 – Existing North Elevation



Figure 3 – Extensive existing grounds

The application site lies within the Linthwaite conservation area, a village settlement on the southern valley side of the River Colne. It is a large geographical area which contains a diverse range of buildings based around 19th century and later textile buildings.. A mix of traditional weaver's cottages, terraced houses and a large Victorian mill (Titanic Mills) combine to form a rich variety of buildings stretching down to the valley floor.

An extract of the Linthwaite Conservation Area Map is seen below. The application site is located towards the south east of the conservation area, and is surrounded by a much more recent mix of residential developments.

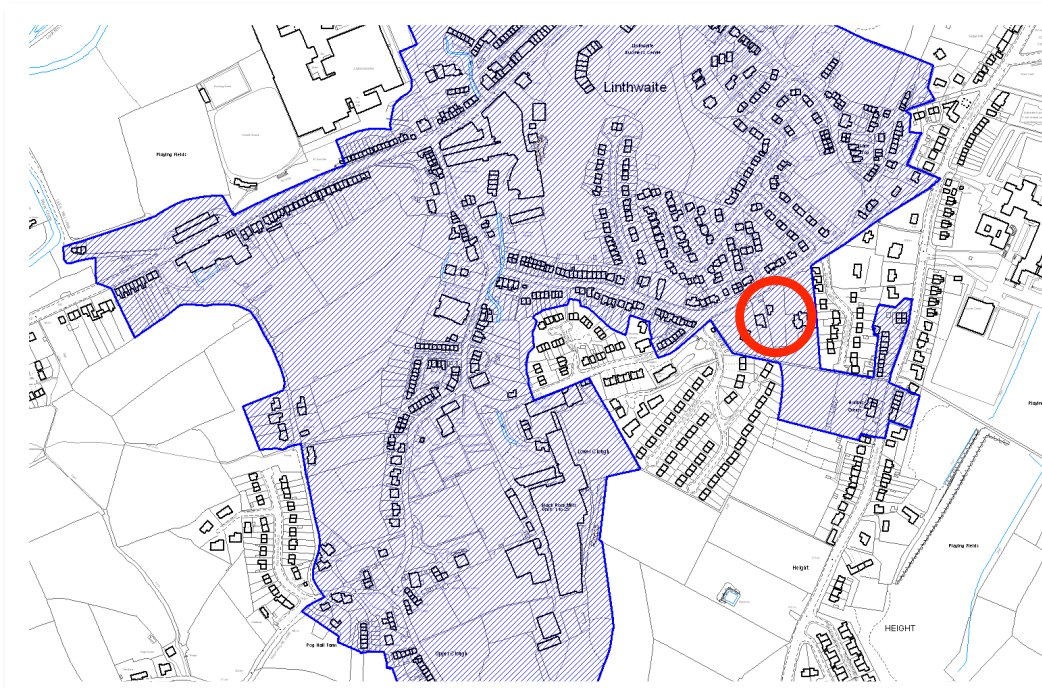


Figure 4 – Extract of Linthwaite Conservation Area Map

Due to the pattern of development in the area, there is now a mix of old and new buildings, with some buildings within the Conservation Area (CA) that would not normally be associated with a Conservation Area and which make no contribution to it. The application site is such an example, and is at odds with the traditional local vernacular.



Figure 5 – Examples of the housing mix opposite the application site (within the CA)

80 Causeway side, is a modest 3-bedroom property on a substantial plot. External walls are sneck and jump in local sandstone, under a natural blue slate roof. To the rear there is an existing uPVC conservatory. The property is dated, and requires a full overhaul to bring it up to modern standards.

The scheme seeks permission to extend the property, making it more suitable to modern day family life. An open plan kitchen, dining, living space is incorporated into the ground floor plan, and a fourth bedroom is added to the first floor. To achieve this, a single storey side extension is proposed, along with a two-storey rear extension. The existing unsightly uPVC conservatory is to be demolished, and replaced with a far more in keeping oak framed garden room with a natural blue slate roof. The 2-storey extension is designed to ensure subservience to the host dwelling, the ridge / eaves are set down from the existing and the external walls set in from the existing external wall face. Furthermore, stone mullions are proposed to be added to the large horizontal window openings to the south. This results in a much more in keeping principal elevation.



Figure 6 – Existing and proposed drawings

The proposals significantly improve the appearance of the property and the wider streetscape. Overall, it is considered that this is an appropriate development and will not have any detrimental effect on the Conservation Area, it will indeed improve it.