



United Church

Planning Consultation Response - Design Amendment

June 2026

United Church

1.0 Introduction

Following receipt of consultation responses from Kirklees Council and statutory consultees, the proposed conversion of United Church, Marsden has been reviewed and a number of amendments have been made to the scheme.

The revisions have been undertaken to address comments received from the Conservation Officer and Highways Authority whilst maintaining the viability of the proposed development and respecting the character of the existing church building.

The following document summarises the amendments incorporated into the updated drawing package and demonstrates how the design has evolved in response to the consultation process.

2.0 Conservation Officer Response

2.1 Side Entrance Door – Elevation D

The Conservation Officer raised concerns regarding the relationship between the proposed new entrance door and the adjacent historic arched window on Elevation D.

To improve the visual separation between the existing architectural features and the proposed intervention, the new door opening has been repositioned by approximately 150mm. This amendment increases the amount of retained masonry between the new and existing openings and reduces the visual impact of the proposal on the historic elevation.

The revised arrangement better respects the existing composition of the elevation whilst maintaining the required access arrangements.

2.2 Rooflight Revisions

The Conservation Officer expressed concerns regarding the scale and prominence of the proposed rooflights.

In response, the rooflights on Elevations B and D have been reduced in width from 2.5m to 2.0m. The rooflights have also been repositioned and centralised with the gable feature and principal arched window below to improve the overall symmetry and composition of the elevation.

The second floor layout has been amended accordingly to accommodate the revised rooflight arrangement.

These amendments reduce the visual impact of the roof alterations and provide a more balanced relationship with the existing architectural features of the church.

2.3 Balcony Revision

Balcony width reduced from the original proposal to 5.0m.

The balcony has been repositioned and centred between the principal arched windows below to create a more symmetrical composition.

In addition, the balcony has been set within the roof pitch and the glass balustrade recessed within the roof opening to reduce visual prominence and address comments raised by the Conservation Officer.

These amendments significantly reduce the impact of the balcony on the historic roofscape whilst retaining high-quality amenity space for the dwelling.



3.0 Highways Response

3.1 Accessible Parking Provision

The proposed accessible parking bay has been reviewed and amended in response to comments received from the Local Highway Authority.

The parking space has been enlarged to provide the required 1.2m side access aisle and 1.2m rear access aisle, improving accessibility and ensuring the parking arrangement better accommodates wheelchair users and those with reduced mobility.

Minor amendments have been made to the adjacent landscaping to accommodate the revised bay layout. These changes have no material impact on the overall appearance or functionality of the development.

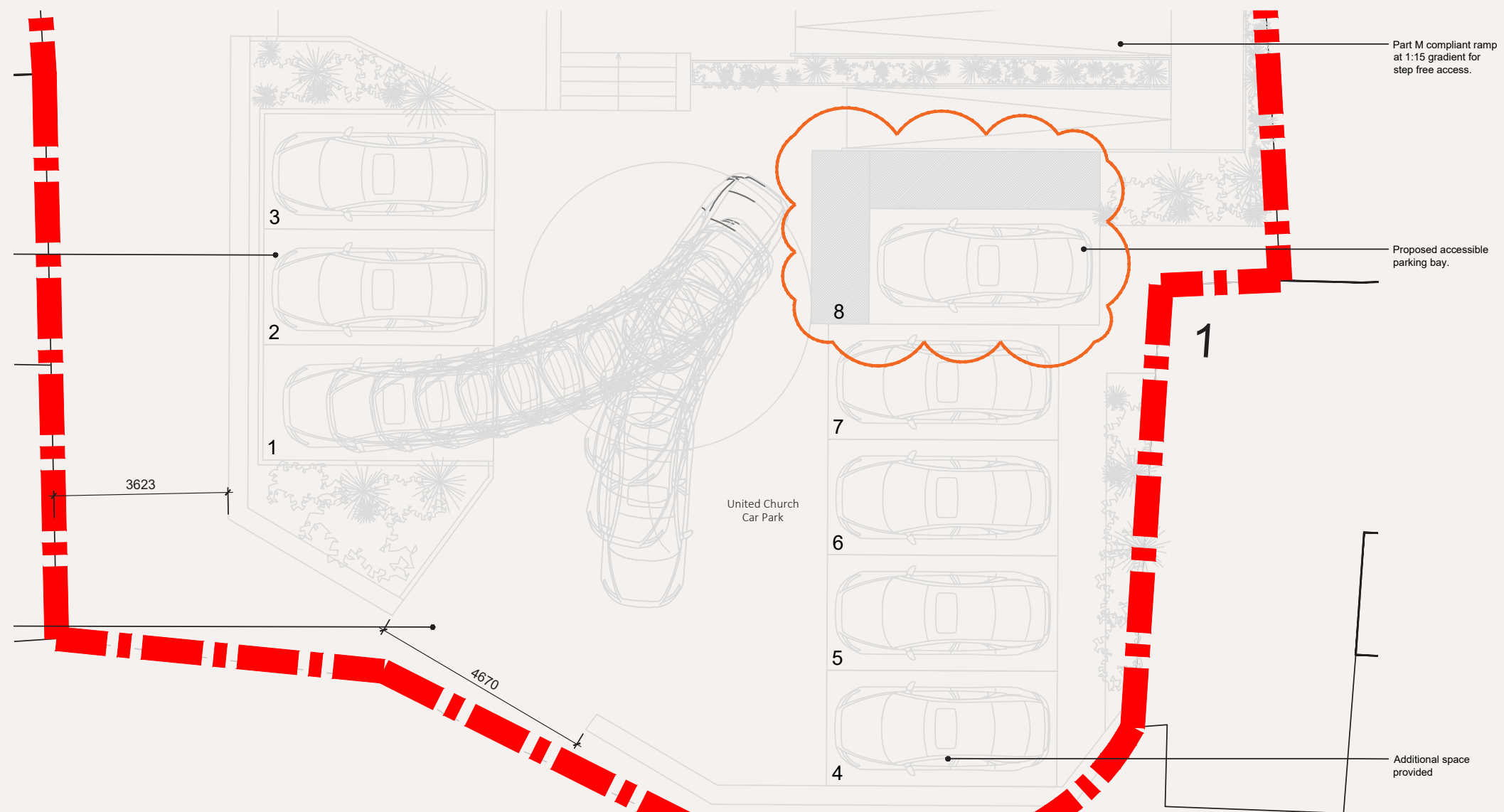
.2 Site Access Dimensions

Additional dimensions have been added to the site plan to clearly demonstrate the width of the vehicular and pedestrian access routes throughout the development.

This provides clarification in response to comments received from the Local Highway Authority and assists in demonstrating the functionality of the proposed layout.

3.3 Electric Vehicle Charging

In response to comments from Highways and Environmental Health, the applicant is reviewing the provision of electric vehicle charging infrastructure across the site. Given the relatively small scale of the development, consideration is being given to providing EV charging capability to all nine parking spaces.



3.0 Highways Response

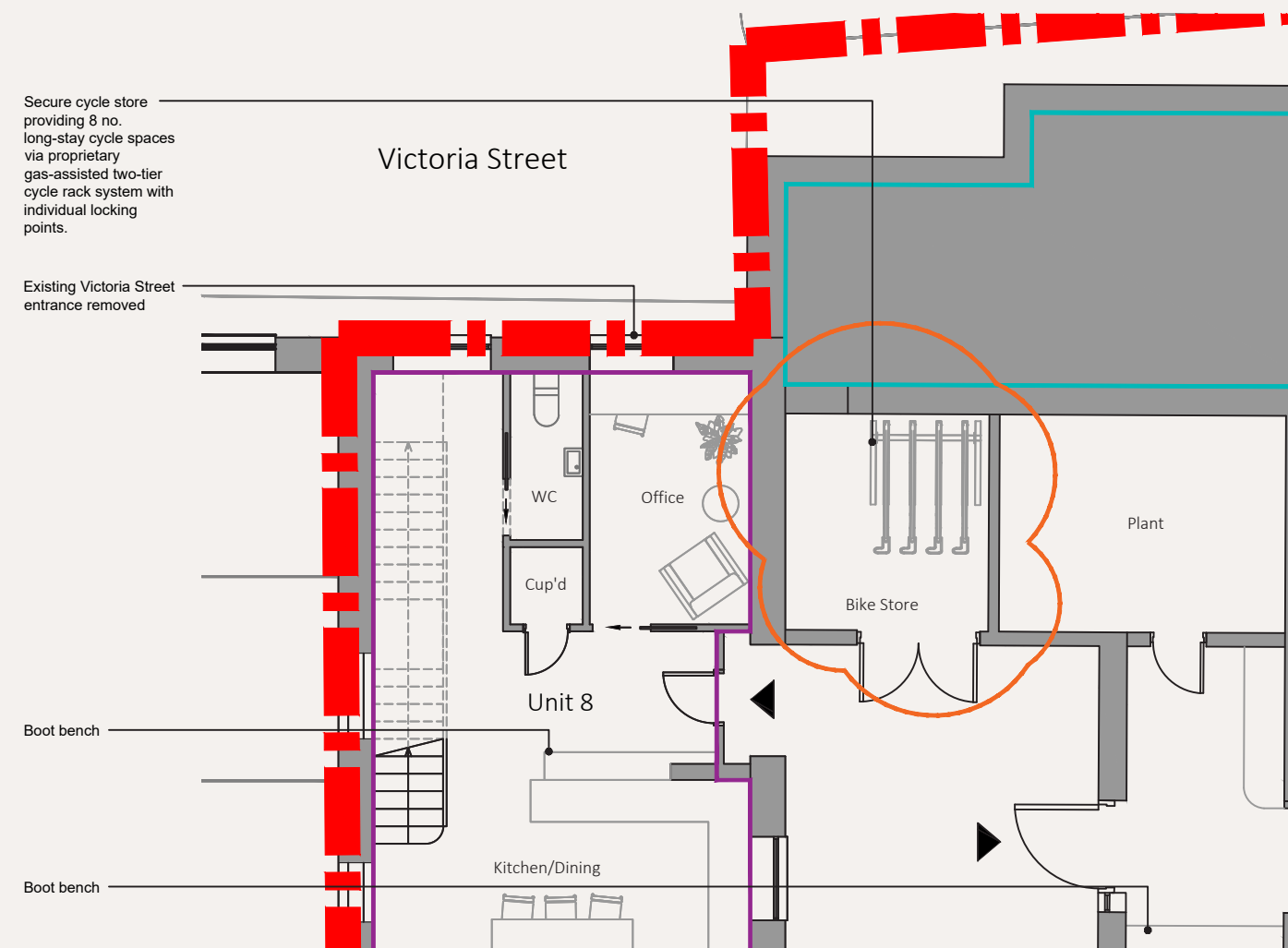
3.4 Cycle Storage Provision

The original cycle store has been reviewed and updated to provide secure long-stay cycle storage for 8 bicycles, in accordance with the requirements of the Local Highway Authority.

The revised proposal incorporates a proprietary gas-assisted two-tier cycle rack system with individual locking points, an example shown below.

The arrangement provides secure, independently accessible cycle parking whilst making efficient use of the available floor area within the existing building.

The revised facility increases provision from 6 to 8 cycle spaces and addresses the requirements of the consultation response



3.0 Highways Response

3.5 Refuse & Recycling Provision

The refuse storage arrangements have been reviewed against the Kirklees Waste Management Design Guide.

The revised proposal provides:

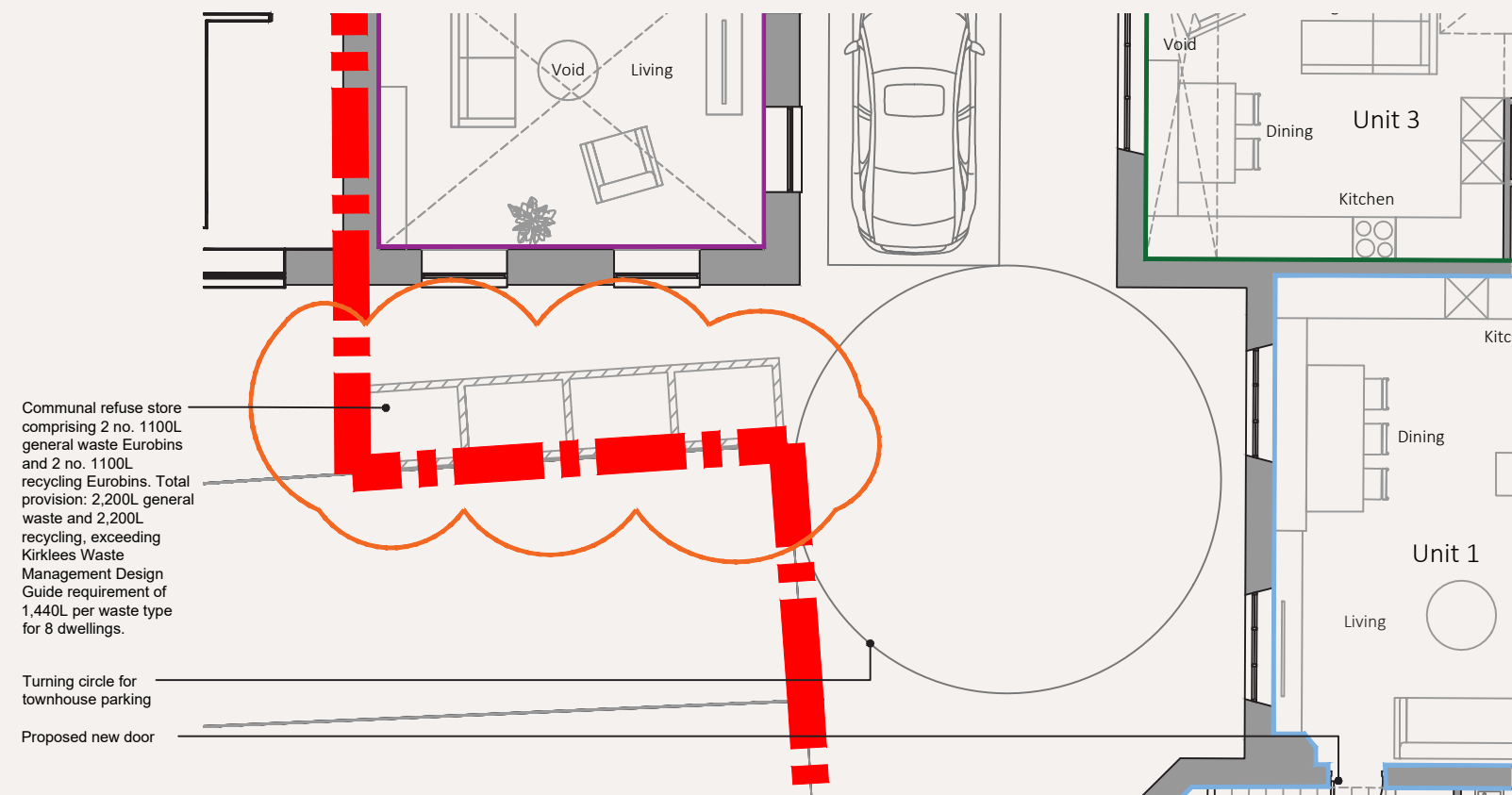
2 no. 1100L General Waste Eurobins
2 no. 1100L Recycling Eurobins

This provides:

2,200L general waste capacity
2,200L recycling capacity

Kirklees guidance requires 180L of storage capacity per dwelling per waste stream. For 8 dwellings this equates to a requirement of 1,440L for general waste and 1,440L for recycling.

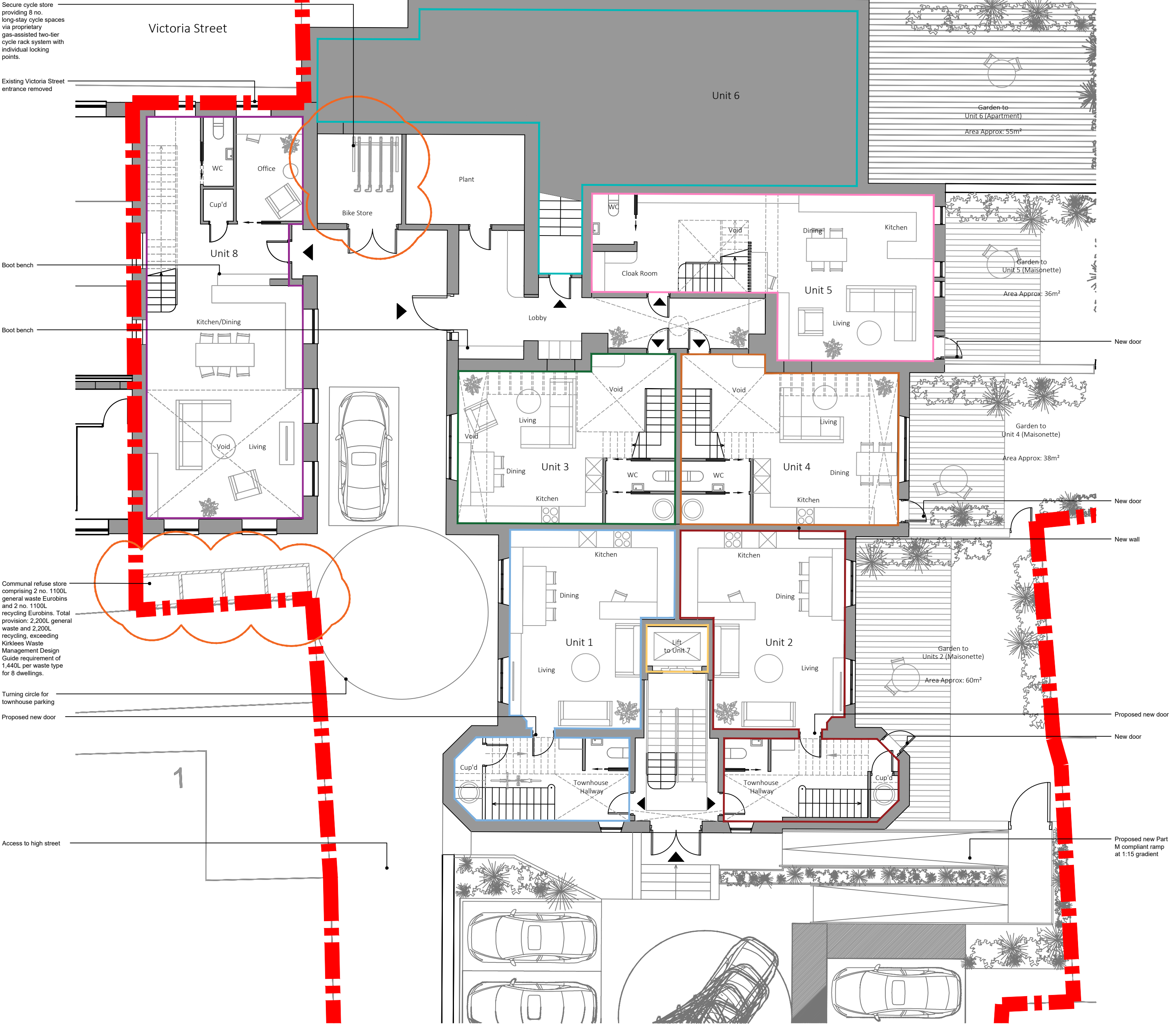
The proposed arrangement therefore exceeds the required storage capacity whilst remaining appropriate for the constraints of the site and the conversion of an existing heritage building.





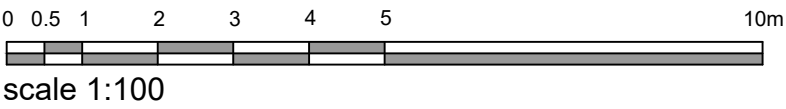
Accommodation Schedule

Unit No.	Type	Bedrooms	GIA(m2)
Unit 1	Masionette	2	104
Unit 2	Masionette	2	104
Unit 3	Masionette	1	67
Unit 4	Masionette	1	67
Unit 5	Masionette	2	104
Unit 6	Apartment	2	94
Unit 7	Apartment	1	79
Unit 8 (Townhouse)	Townhouse	2	182



Proposed Ground Floor Plan

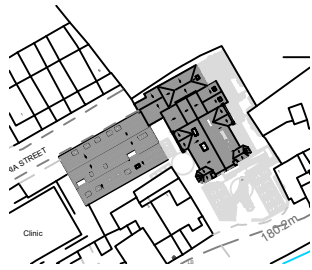
Scale 1:100



Key: - - - - - Site Boundary

1. Do not scale this drawing
2. Drawing to be used for the status indicated only
3. All dimensions and setting out shall be checked and confirmed and any discrepancies to be reported to the Architect prior to commencement of any work
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5. Drawing to be read in accordance with relevant consultants and sub-contractors drawings and specifications
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key plan:



revision:	description:	drawn by:	checked by:	date:
A	Updated for planning issue	RC	JD	28/01/26
revision:	description:	drawn by:	checked by:	date:
B	Planning Submission	RC	JD	02/03/26
revision:	description:	drawn by:	checked by:	date:
C	Updated to suit planning consultation responses	RC	JD	24/06/26

project:
United Church

client:
SB Homes

scale: 1:100 sheet: A2 date: Nov 2025

title:
Proposed Ground Floor Plan

drawing status: Planning drawn by: RC checked by: JD

drawing no.: 25-10-03-GA-100

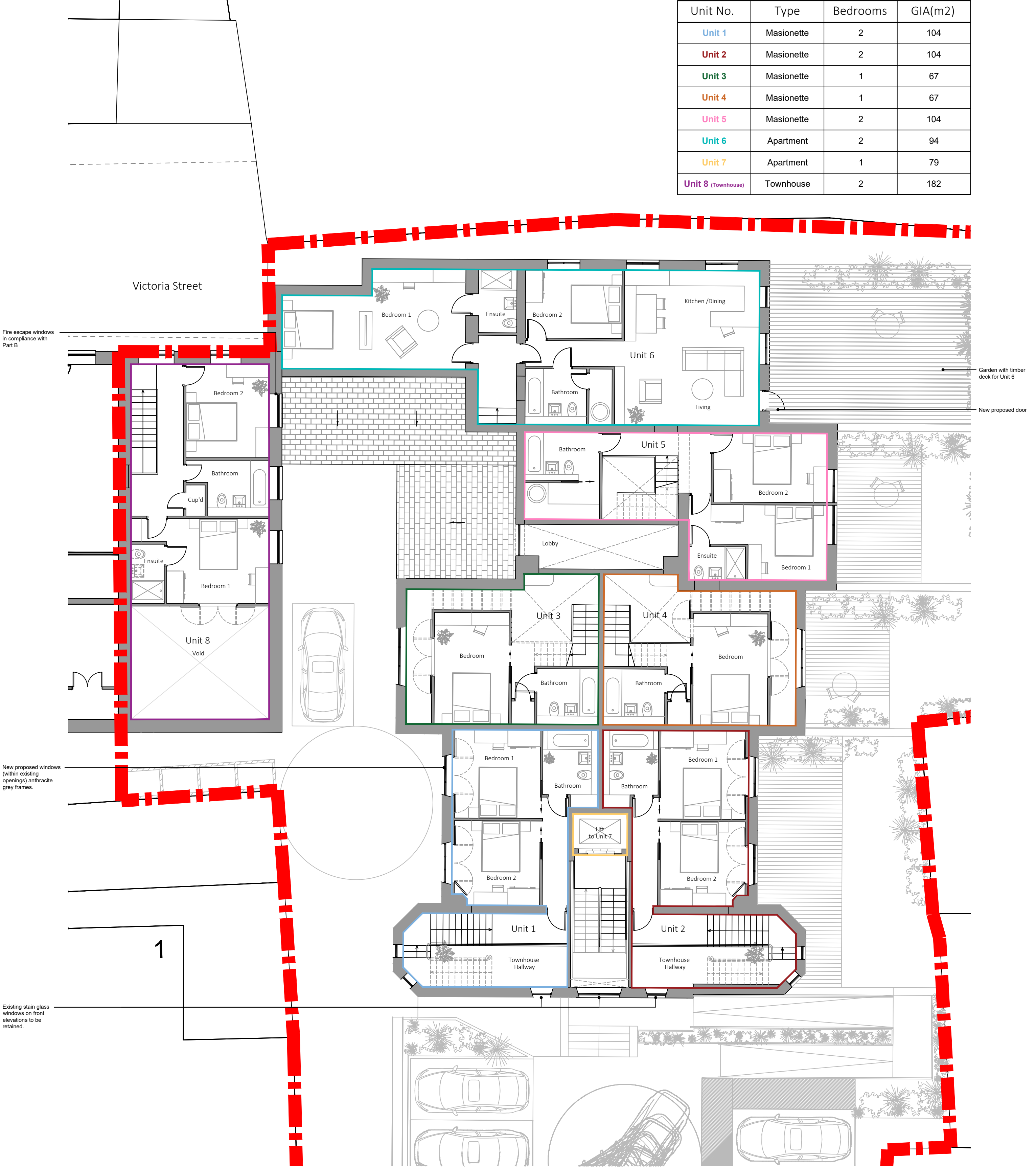
rev: C

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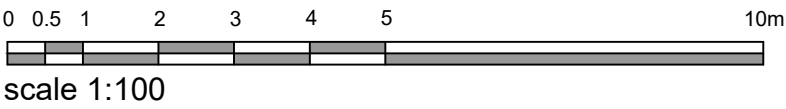
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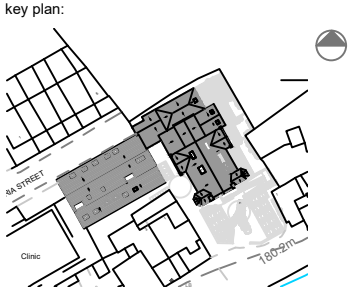
Proposed First Floor Plan

Scale 1:100



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project:
United Church

client:
SB Homes

scale: 1:100 sheet: A2 date: Nov 2025

title:
Proposed First Floor Plan

drawing status: Planning drawing no.: 25-10-03-GA-101

drawn by: RC checked by: JD

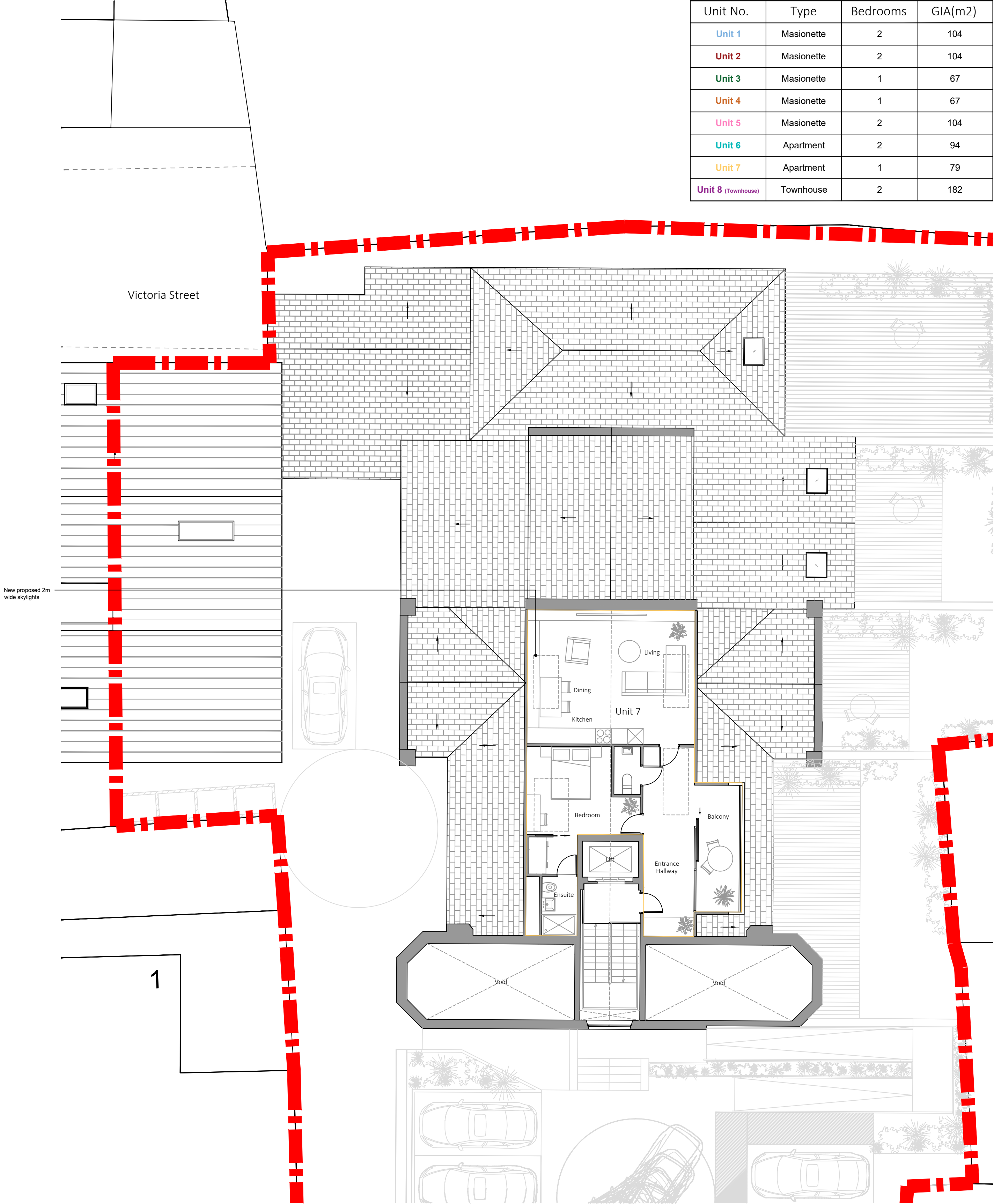
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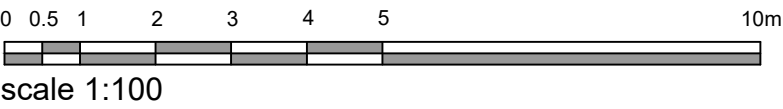


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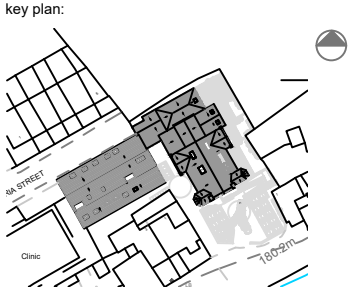


Proposed Second Floor Plan
Scale 1:100



Key:
Site Boundary

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United Church

client:
SB Homes

scale: 1:100
sheet: A2
date: Nov 2025

title:
Proposed Second Floor Plan

drawing status: Planning
drawn by: RC
checked by: JD

drawing no.: 25-10-03-GA-102
rev: C

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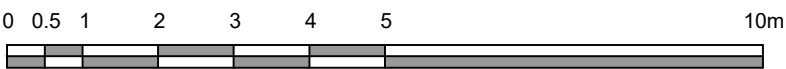


Victoria Street

1

Proposed Site & Roof Plan

Scale 1:100



scale 1:100

Key:
--- Site Boundary

Proposed Sunday School
Townhouse parking

Communal refuse store
comprising 2 no. 1100L
general waste Eurobins
and 2 no. 1100L
recycling Eurobins. Total
provision: 2,200L general
waste and 2,200L
recycling, exceeding
Kirklees Waste
Management Design
Guide requirement of
1,440L per waste type
for 8 dwellings.

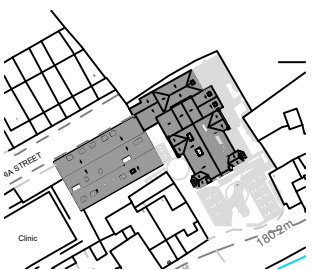
Turning circle for
townhouse parking

United church parking
spaces

Existing access point
to church car park
retained

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scale: 1:100
sheet: A2
date: Nov 2025

title:
Proposed Site & Roof Plan

drawing status: Planning
drawn by: RC
checked by: JD

drawing no.: 25-10-03-GA-120

rev: C

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Garden to
Unit 6 (Apartment)
Area Approx: 55m²

Garden with timber
deck for Apartment 6

Garden to
Unit 5 (Maisonette)
Area Approx: 36m²

Garden to
Unit 4 (Maisonette)
Area Approx: 38m²

Garden to
Units 2 (Maisonette)
Area Approx: 60m²

Proposed balcony for
Unit 7 second floor
apartment.

Part M compliant ramp
at 1:15 gradient for
step free access.

Proposed accessible
parking bay.

Additional space
provided

3

2

1

3623

4670

8

7

6

5

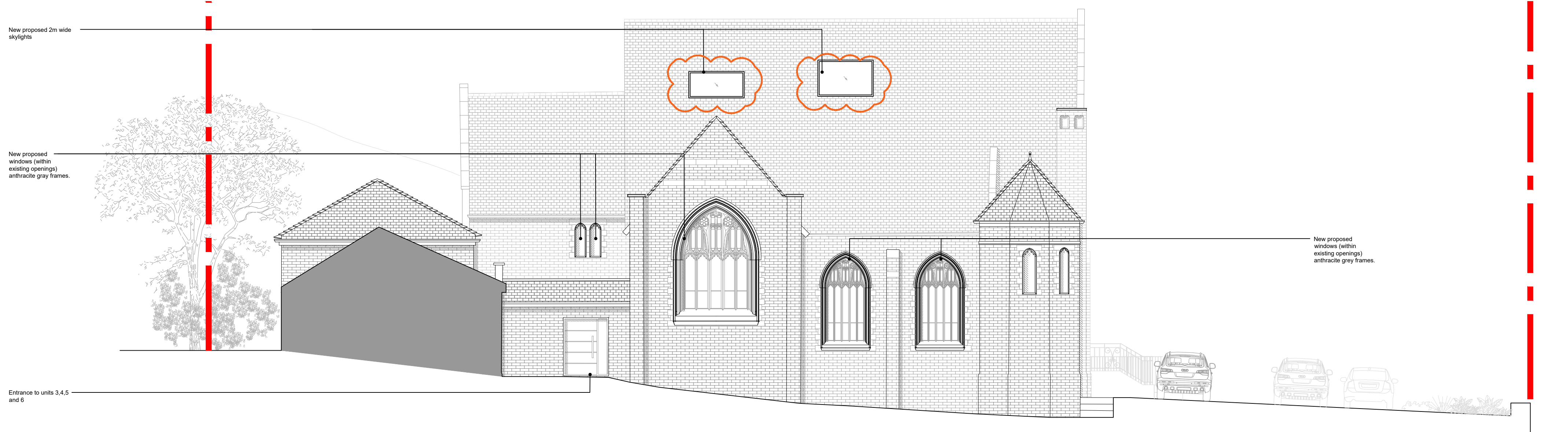
4

1

Key: Site Boundary

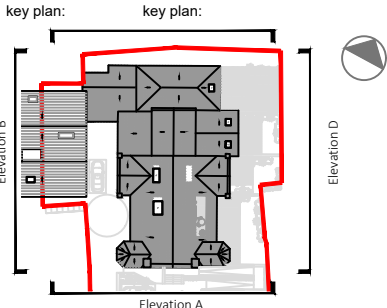
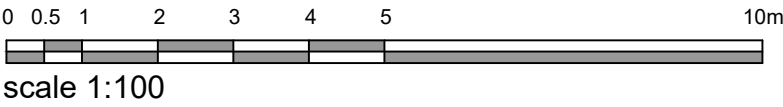


Proposed Elevation A
Scale 1:100



Proposed Elevation B
Scale 1:100

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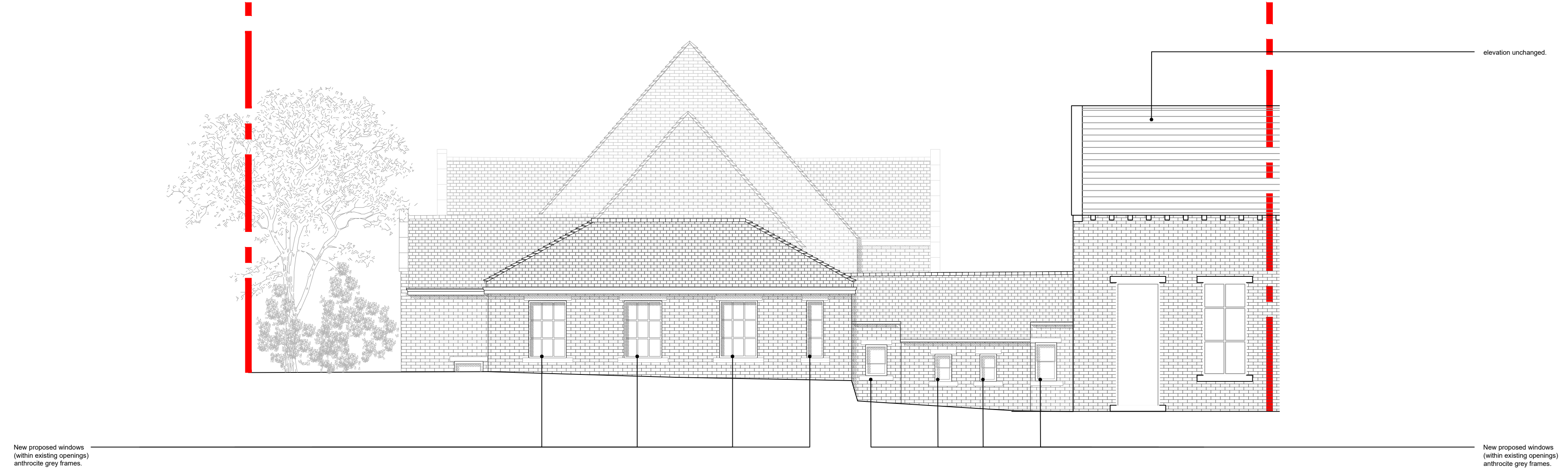
title:
Proposed Elevations A & B
(United Church)

drawing status: Planning drawn by: RC checked by: JD

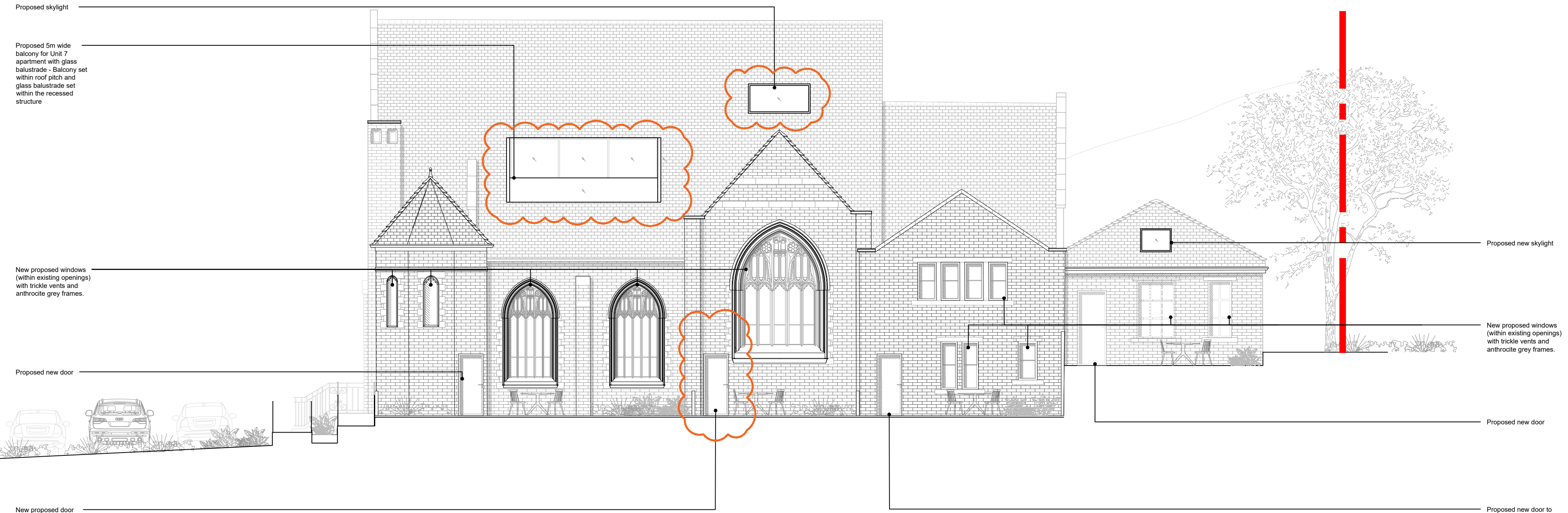
drawing no.: 25-10-03-GA-200 rev: C

Joe&Co. Architects

Key:  Site Boundary



Proposed Elevation C
Scale 1:100



Proposed Elevation D
Scale 1:100