

PRIOR APPROVAL TO DEMOLISH

FOR

45 FENAY BRIDGE ROAD
HUDDERSFIELD
HD8 0AY

ON BEHALF OF
B ELLIOTT PROPERTY LTD

DATED: FEBRUARY 2026

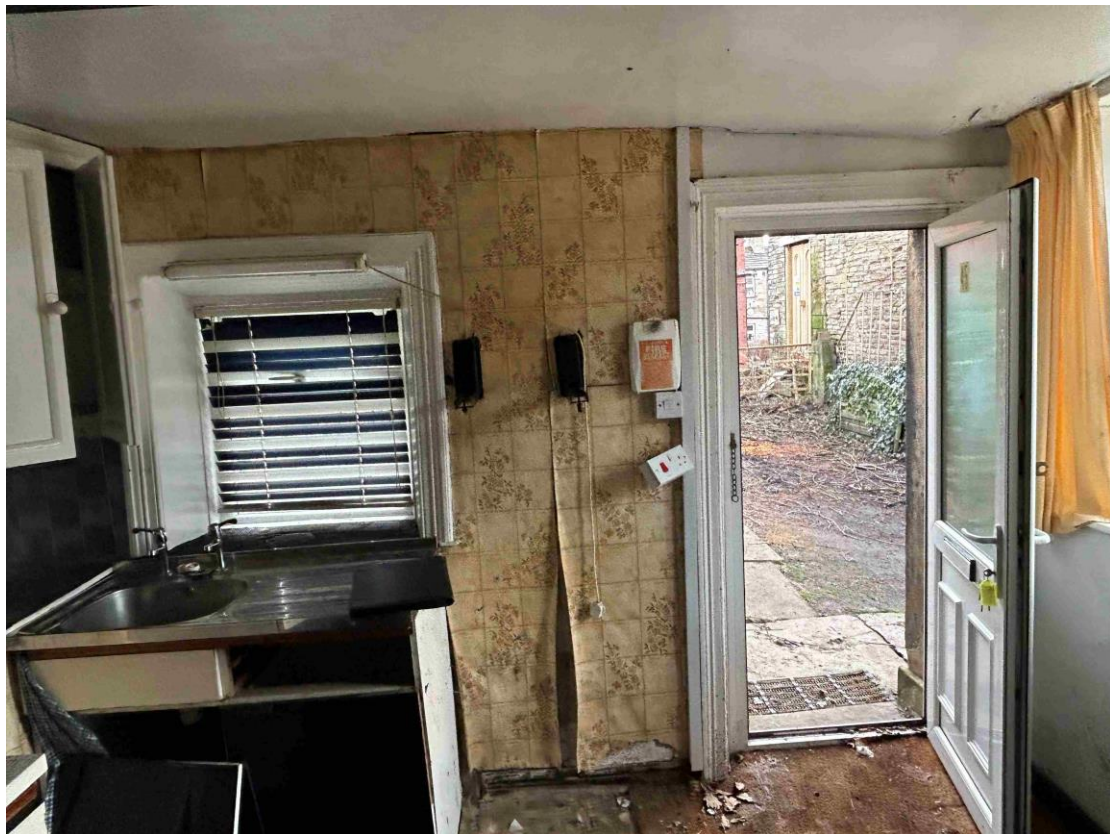
SUBMITTED BY NORTHERN DESIGN PARTNERSHIP
THE CHAPEL, MILLMOOR ROAD
MELTHAM, HOLMFIRTH HD9 5JU
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1.00 - NOTICE TO DEMOLISH

1.01 – This is notice that B Elliott Property Ltd intend to demolish the property known as 45 Fenay Bridge Road, HD8 0AY. No. 45 is an end terrace property, and as part of the works the party wall (formerly an external wall) to No. 43 will be made good.

1.02 – The property is in a very poor state of repair and not habitable. The costs to update and refurbish the property are prohibitive, rendering any renovation unviable.

1.03 – We have included in this report a series or photographs to support this notice to demolish.



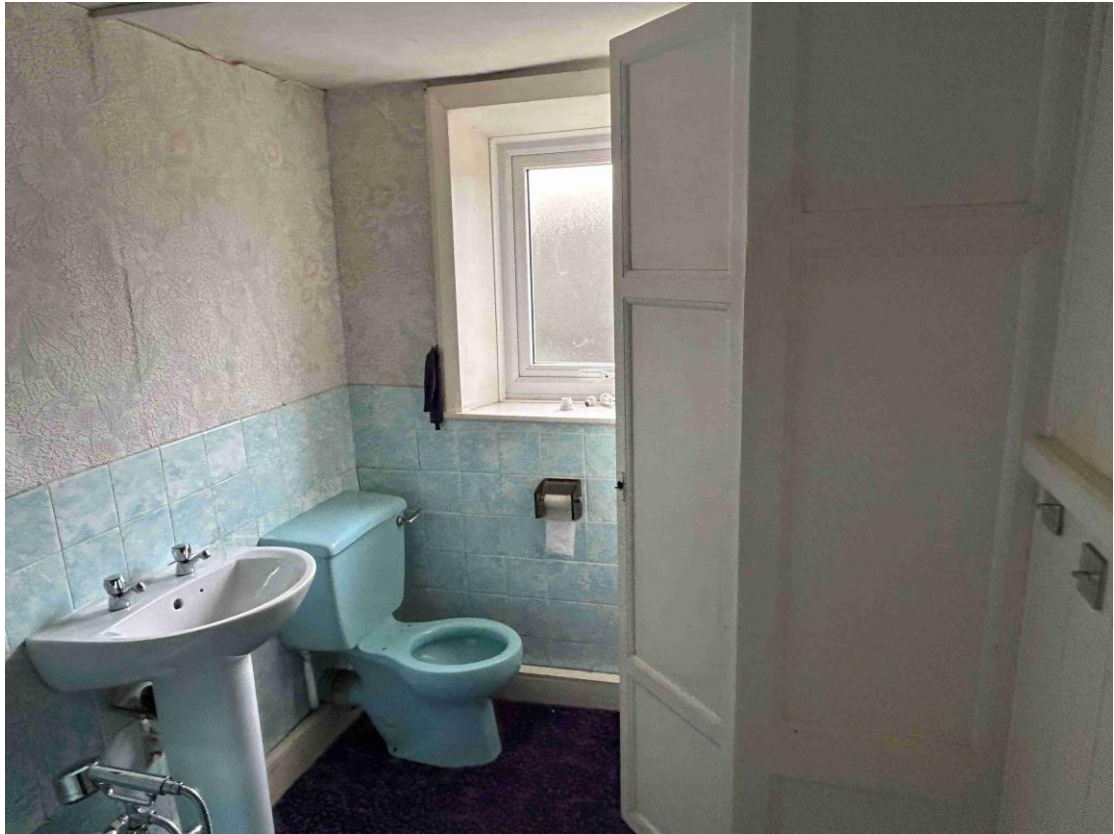
Photograph 1 - Kitchen



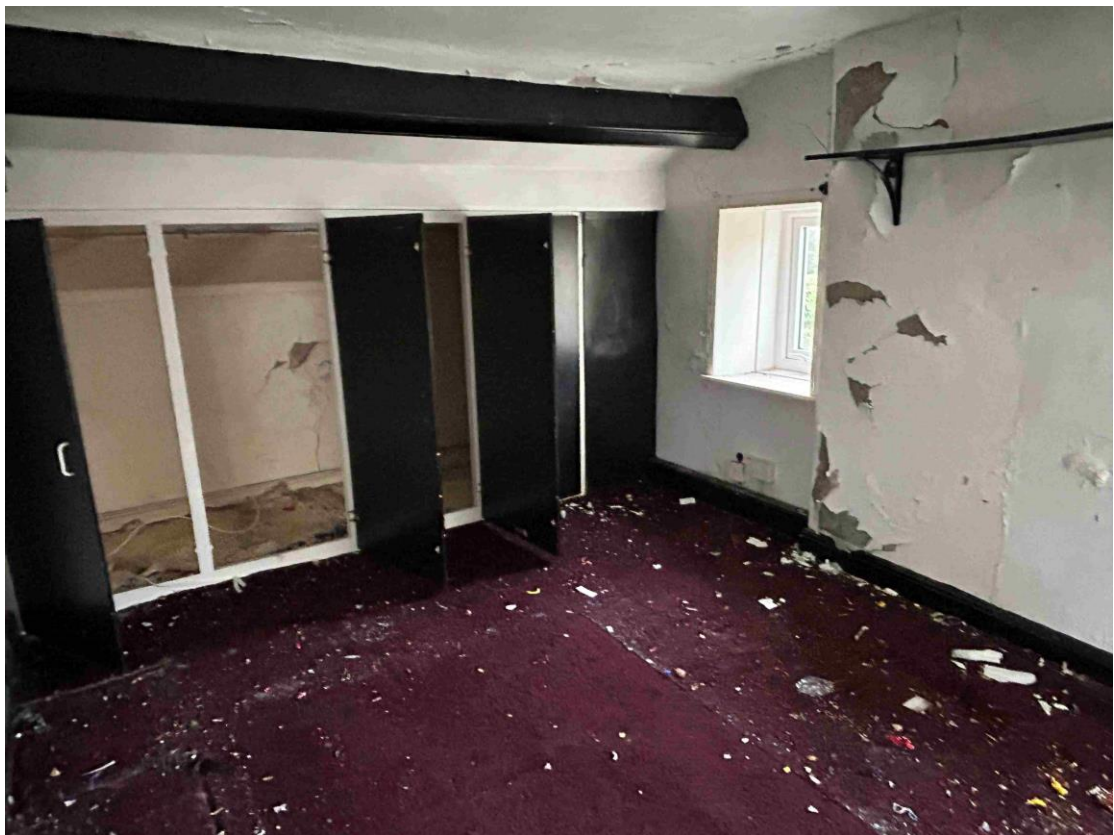
Photograph 2 – Living Room



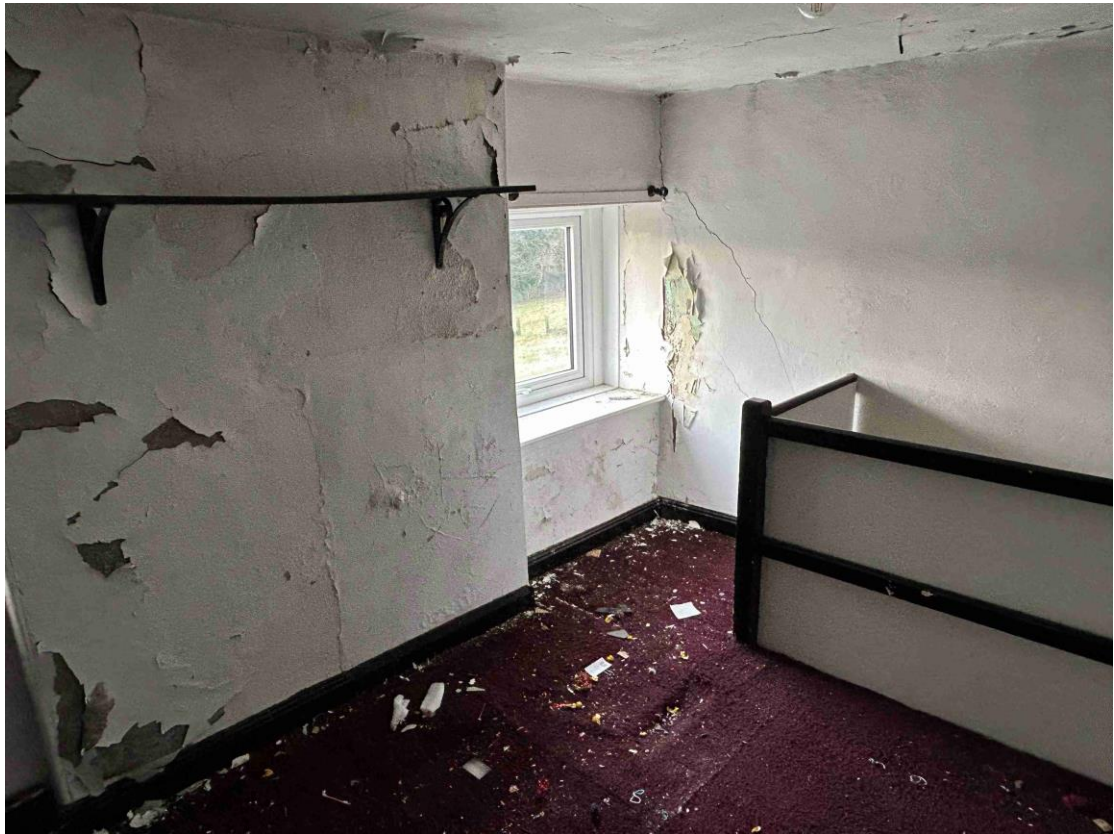
Photograph 3 – Living Room



Photograph 4 – Bathroom



Photograph 5 – Bedroom 1



Photograph 6 – Bedroom 1



Photograph 7 – Bedroom 2



Photograph 8 – 45 Fenay Bridge Road

2.0 – ECOLOGY

B Elliott Farming Ltd have engaged a Middleton Bell Ecology to check the building for bats and birds. None were found, however an ecologist is going to attend site when the roof slates are being removed to oversee the works.

3.0 – CONCLUSION

3.01 – 45 Fenay Bridge Road is in an extremely poor state of repair. The costs to renovate the property and bring the accommodation up to modern and liveable standards are significant and ultimately prohibitive. This has been backed up by the Lucas Lee report that accompanies this notification.

3.02 – Therefore the demolition of the property is the only viable solution.