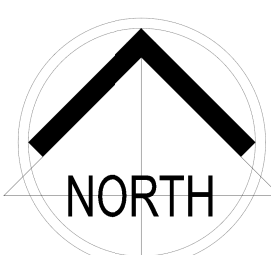


**PHASING PLAN - POST DEMOLITION**

- PHASE 0 - DEMOLITION & SITE PREPARATION**  
WHOLE SITE IS SUBJECT TO DEMOLITION / SITE PREPARATION + LATER PHASE WORKS. RED HATCH DENOTES RIVER OPENING WORKS TO BE UNDERTAKEN & COMPLETED DURING THIS PHASE ONLY.
- PHASE 1 - BOUNDARY TREATMENTS**  
DENOTES EXISTING WALLS TO BE PARTIALLY RETAINED DURING DEMOLITION PHASE AND REMAIN AS BOUNDARY WALLS. ALSO DENOTES NEW RAILINGS IN SEVERAL LOCATIONS. THESE WORKS ARE TO COMMENCE DURING PHASE 0 AND RUN INTO PHASE 1. REFER TO KPP DRAWINGS 2039-2045 FOR DETAILS.
- PHASE 1 - BUILDINGS**  
EAST AND WEST MILLS TO BE MADE SAFE AND WATERTIGHT DURING THIS PHASE, AS WELL AS MAKING GOOD OF BUILDING A POST DEMOLITION. BUILDINGS B AND C TO BE FULLY COMPLETED DURING THIS PHASE. FULL PLANNING PERMISSION SOUGHT FOR THESE ELEMENTS.
- PHASE 1 - ASSOCIATED WORKS**  
DENOTES PHASE 1 ASSOCIATED WORKS INCLUDING PROPOSED HIGHWAY IMPROVEMENTS, NEW ACCESS FROM BROUGHAM ROAD, NEW SHARED YARD FOR BUILDINGS B & C, NEW CAR PARK TO REAR OF BUILDING A AND NEW FEATURE HARD LANDSCAPING TO SITE ACCESS.
- LATER PHASE - WEST MILL BUILDING REFURBISHMENT**  
INTERNAL REFURBISHMENT AND FITOUT OF THE WEST MILL. REMAINING WORKS TO ENVELOPE OF MILL TO BE COMPLETED DURING THIS PHASE ALSO. REFER TO KPP DRAWINGS 2033 & 2034 FOR INDICATIVE DRAWINGS. OUTLINE PLANNING PERMISSION SOUGHT AS PART OF THIS APPLICATION.
- LATER PHASE - WEST MILL ASSOCIATED WORKS**  
DENOTES ALL ASSOCIATED WORKS TO BE COMPLETED AS PART OF WEST MILL PHASE OF THE WORKS INCLUDING WEST MILL CAR PARK, SERVING THE WEST MILL RESIDENTIAL AND RETAIL UNITS + WEST MILL CAFE UNIT, ALL TO BE COMPLETED AT THE SAME PHASE.
- LATER PHASE - EAST MILL BUILDING REFURBISHMENT**  
INTERNAL REFURBISHMENT AND FITOUT OF THE EAST MILL. REMAINING WORKS TO ENVELOPE OF MILL TO BE COMPLETED DURING THIS PHASE ALSO. REFER TO KPP DRAWINGS 2032 & 2034 FOR INDICATIVE PLANS. OUTLINE PLANNING PERMISSION SOUGHT AS PART OF THIS APPLICATION.
- LATER PHASE - EAST MILL ASSOCIATED WORKS**  
DENOTES ALL ASSOCIATED WORKS TO BE COMPLETED AS PART OF EAST MILL PHASE OF THE WORKS INCLUDING RIVERSIDE CAR PARK, SERVING THE EAST MILL RESIDENTIAL UNITS, ALL TO BE COMPLETED AT THE SAME PHASE.
- LATER PHASE - ACCESS SPINE ROAD + FEATURE LINK RESTORATION**  
DENOTES ALL ASSOCIATED WORKS TO BE COMPLETED AS PART OF A LATER PHASE OF THE WORKS, SERVING EITHER THE WEST MILL RESIDENTIAL AND RETAIL UNITS OR EAST MILL RESIDENTIAL, WHICHEVER IS UNDERTAKEN FIRST.
- LATER PHASE - BUILDING A REFURBISHMENT**  
ENVELOPE WORKS, INTERNAL REFURBISHMENT OF AND ASSOCIATED WORKS TO BUILDING A TO BE COMPLETED ONCE CURRENT TENANTS VACATE. TO REMAIN AS EXISTING UNTIL THAT TIME.



RED FILL DENOTES DEMOLITION PHASE. RIVER OPENING UP WORKS AS PART OF THE DEMOLITION PHASE. RIVER WALLS TO BE RETAINED AND MADE STRUCTURALLY SOUND DURING THIS PHASE. FURTHER WORKS TO BOUNDARY RIVER WALLS TO FORM PART OF PHASE 1.

BLUE OUTER FILL DENOTES PHASE 1 OF THE MILL RETENTION WORKS SET OUT IN KPP DRAWINGS 2022 & 2023. GENERALLY, RAINWATER GOODS TO BE REPLACED AND WINDOWS TO BE BOARDED UP AS WELL AS OTHER OPENINGS. REPAIR/REBUILD WORKS REQUIRED TO SOME ELEMENTS INCLUDING ROOF TRUSSES, STONE WALLS AND MILL TOWERS, IN LINE WITH STRUCTURAL ENGINEERS' RECOMMENDATIONS.

GREEN / ORANGE INNER FILL DENOTES INTERNAL REFURBISHMENT AND ENVELOPE WORKS TO BE COMPLETED AT A LATER PHASE, SUBJECT TO RESERVED MATTERS.

RED FILL DENOTES DEMOLITION PHASE. DEMOLITION OF WESTERN LOW LEVEL BUILDINGS CURRENTLY OVER-HANGING THE RIVER. HATCH SHOWS EXTENT OF RIVER/BEDROCK TO BE UNCOVERED IN THIS AREA.

EXISTING WALLS TO BE MOSTLY RETAINED, WHERE POSSIBLE, TO FORM PART OF THE OVERALL BOUNDARY TREATMENTS PLAN. S.E TO ADVISE ON STRUCTURAL REQUIREMENTS.

EXISTING WALLS TO BE MOSTLY RETAINED, WHERE POSSIBLE, TO FORM PART OF THE OVERALL BOUNDARY TREATMENTS PLAN. S.E TO ADVISE ON STRUCTURAL REQUIREMENTS.

NEW WEST MILL GABLE. REFER TO KPP DRAWING 2036 FOR DETAILS.

PHASE 1 WORKS TO INCLUDE MODIFICATION OF ACCESS FROM BROUGHAM ROAD. HARD LANDSCAPED FEATURE AREA AT SITE ENTRANCE TO BE DEVELOPED IN LINE WITH PLANNING'S DETAILED DESIGN.

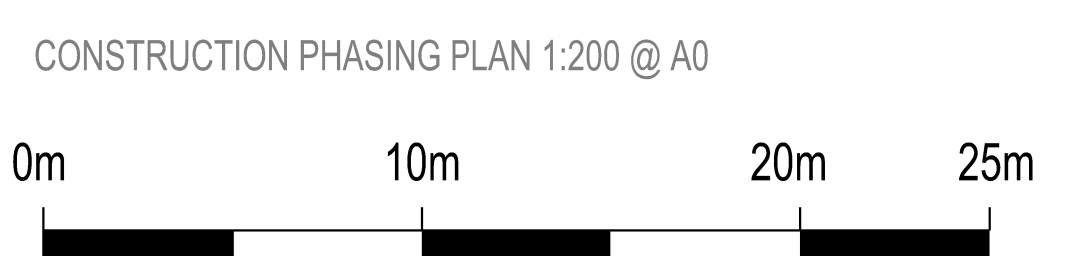
BUILDING B TO BE FULLY REFURBISHED DURING PHASE 1 WORKS ALONG WITH CONSTRUCTION OF NEW GABLE END TO WEST TREATMENT TO YARD ELEVATION, ASSOCIATED PARKING AND SERVICE YARD, TO BE SHARED WITH BUILDING C.

MILL ROAD CORNER RADIUS TO BE ALTERED TO ALLOW FOR HIGHWAY/FOOTPATH IMPROVEMENTS, SHOWN HERE INDICATIVELY. ALL TO VIA SOLUTIONS DETAILS.

WALL OVER BRIDGE TO BE REBUILT FROM RECLAIMED STONE FROM SITE DEMOLITION TO CLOSELY MATCH BRIDGE WALL ON OPPOSITE SIDE. INPUT REQUIRED FROM STRUCTURAL ENGINEER.

REMEDIAL WORKS TO RETAINED ELEVATIONS OF BUILDING A TO BE UNDERTAKEN POST DEMOLITION, AS PART OF PHASE 1 WORKS. FURTHER BUILDING A WORKS, EXTERNALLY AND INTERNALLY, TO BE COMPLETED AT SUCH A TIME THAT CURRENT TENANT VACATES.

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CONSTRUCTION PHASING PLAN 1:200 @ A0

Rev	Description	By	CHK	Date

Client  
**CROWTHER BRUCE AND COMPANY LIMITED**

Project Title  
**PROPOSED REGENERATION NEW MILLS, MARSDEN**

Drawing Title  
**CONSTRUCTION PHASING PLAN**

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Date	Drawn	Checked
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PLANNING

KPP Job No  
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