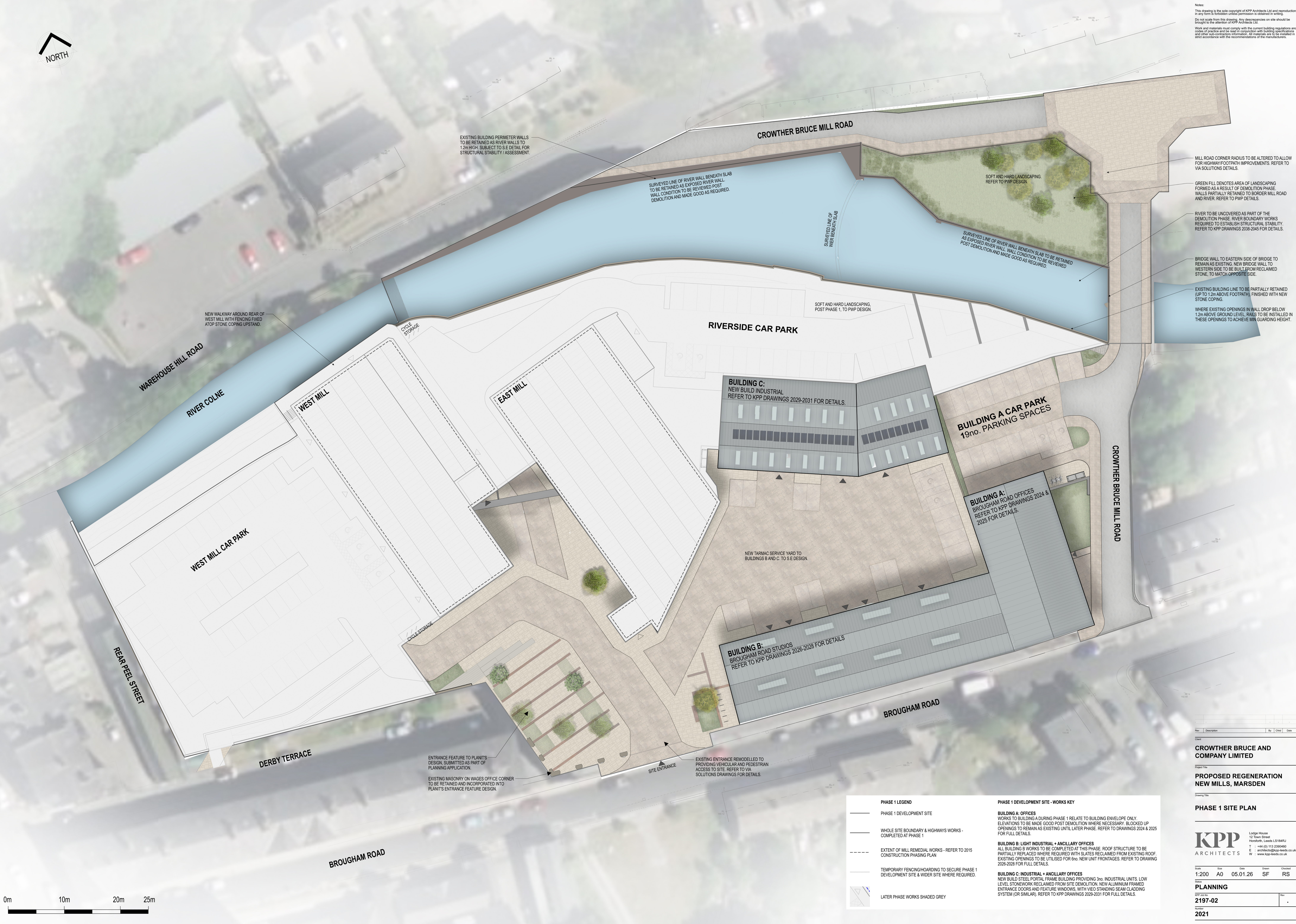




Notes:
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 Do not scale from this drawing. Any discrepancies on site should be brought to the attention of KPP Architects Ltd.
 Work and materials must comply with the current building regulations and codes of practice and be read in conjunction with building specifications and other associated construction information. Materials are to be installed in strict accordance with the recommendations of the manufacturers.



EXISTING BUILDING PERIMETER WALLS TO BE RETAINED AS RIVER WALLS TO 1.2m HIGH, SUBJECT TO S.E DETAIL FOR STRUCTURAL STABILITY / ASSESSMENT.

SURVEYED LINE OF RIVER WALL BENEATH SLAB TO BE RETAINED AS EXPOSED RIVER WALL. WALL CONDITION TO BE REVIEWED POST DEMOLITION AND MADE GOOD AS REQUIRED.

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MILL ROAD CORNER RADIUS TO BE ALTERED TO ALLOW FOR HIGHWAY/FOOTPATH IMPROVEMENTS. REFER TO VIA SOLUTIONS DETAILS.

GREEN FILL DENOTES AREA OF LANDSCAPING FORMED AS A RESULT OF DEMOLITION PHASE. WALLS PARTIALLY RETAINED TO BORDER MILL ROAD AND RIVER. REFER TO PWP DETAILS.

RIVER TO BE UNCOVERED AS PART OF THE DEMOLITION PHASE. RIVER BOUNDARY WORKS REQUIRED TO ESTABLISH STRUCTURAL STABILITY. REFER TO KPP DRAWINGS 2038-2045 FOR DETAILS.

BRIDGE WALL TO EASTERN SIDE OF BRIDGE TO REMAIN AS EXISTING. NEW BRIDGE WALL TO WESTERN SIDE TO BE BUILT FROM RECLAIMED STONE. TO MATCH OPPOSITE SIDE.

EXISTING BUILDING LINE TO BE PARTIALLY RETAINED (UP TO 1.2m ABOVE FOOTPATH), FINISHED WITH NEW STONE COPING.

WHERE EXISTING OPENINGS IN WALL DROP BELOW 1.2m ABOVE GROUND LEVEL, RAILS TO BE INSTALLED IN THESE OPENINGS TO ACHIEVE MIN GUARDING HEIGHT.

NEW WALKWAY AROUND REAR OF WEST MILL WITH FENCING FIXED ATOP STONE COPING UPSTAND.

SOFT AND HARD LANDSCAPING. POST PHASE 1, TO PWP DESIGN.

RIVERSIDE CAR PARK

BUILDING C:
 NEW BUILD INDUSTRIAL
 REFER TO KPP DRAWINGS 2029-2031 FOR DETAILS.

BUILDING A CAR PARK
 19no. PARKING SPACES

BUILDING A:
 BROUGHAM ROAD OFFICES
 REFER TO KPP DRAWINGS 2024 & 2025 FOR DETAILS.

BUILDING B:
 BROUGHAM ROAD STUDIOS
 REFER TO KPP DRAWINGS 2026-2028 FOR DETAILS.

NEW TARMAC SERVICE YARD TO BUILDINGS B AND C. TO S.E DESIGN.

WEST MILL CAR PARK

EAST MILL

WEST MILL

WAREHOUSE HILL ROAD

RIVER COLNE

CROWTHER BRUCE MILL ROAD

BROUGHAM ROAD

DERBY TERRACE

REAR PEL STREET

ENTRANCE FEATURE TO PLANT'S DESIGN. SUBMITTED AS PART OF PLANNING APPLICATION.
 EXISTING MASONRY ON WAGES OFFICE CORNER TO BE RETAINED AND INCORPORATED INTO PLANT'S ENTRANCE FEATURE DESIGN.

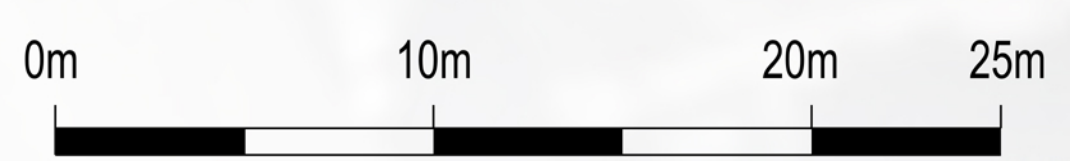
EXISTING ENTRANCE REMODELLED TO PROVIDING VEHICULAR AND PEDESTRIAN ACCESS TO SITE. REFER TO VIA SOLUTIONS DRAWINGS FOR DETAILS.

PHASE 1 LEGEND

	PHASE 1 DEVELOPMENT SITE
	WHOLE SITE BOUNDARY & HIGHWAYS WORKS - COMPLETED AT PHASE 1
	EXTENT OF MILL REMEDIAL WORKS - REFER TO 2015 CONSTRUCTION PHASING PLAN
	TEMPORARY FENCING/HARDINGS TO SECURE PHASE 1 DEVELOPMENT SITE & WIDER SITE WHERE REQUIRED.
	LATER PHASE WORKS SHADED GREY

PHASE 1 DEVELOPMENT SITE - WORKS KEY

BUILDING A: OFFICES WORKS TO BUILDING A DURING PHASE 1 RELATE TO BUILDING ENVELOPE ONLY. ELEVATIONS TO BE MADE GOOD POST DEMOLITION WHERE NECESSARY. BLOCKED UP OPENINGS TO REMAIN AS EXISTING UNTIL LATER PHASE. REFER TO DRAWINGS 2024 & 2025 FOR FULL DETAILS.
BUILDING B: LIGHT INDUSTRIAL + ANCILLARY OFFICES ALL BUILDING B WORKS TO BE COMPLETED AT THIS PHASE. ROOF STRUCTURE TO BE PARTIALLY REPLACED WHERE REQUIRED WITH SLATES RECLAIMED FROM EXISTING ROOF. EXISTING OPENINGS TO BE UTILISED FOR 6no. NEW UNIT FRONTAGES. REFER TO DRAWING 2026-2028 FOR FULL DETAILS.
BUILDING C: INDUSTRIAL + ANCILLARY OFFICES NEW BUILD STEEL PORTAL FRAME BUILDING PROVIDING 3no. INDUSTRIAL UNITS, LOW LEVEL STONEMWORK RECLAIMED FROM SITE DEMOLITION. NEW ALUMINIUM FRAMED ENTRANCE DOORS AND FEATURE WINDOWS, WITH VIBO STANDING SEAM CLADDING SYSTEM (OR SIMILAR). REFER TO KPP DRAWINGS 2029-2031 FOR FULL DETAILS.



Client:
CROWTHER BRUCE AND COMPANY LIMITED
 Project Title:
PROPOSED REGENERATION NEW MILLS, MARSDEN
 Drawing Title:
PHASE 1 SITE PLAN

KPP ARCHITECTS
 Lodge House
 12 Town Street
 Huddersfield, Leeds LS15 4RU
 T : +44 (0) 113 236640
 E : architects@kpp-architects.co.uk
 W : www.kpp-architects.co.uk

Scale	Size	Date	Drawn	Checked
1:200	A0	05.01.26	SF	RS

Phase:
PLANNING
 KPP Job No:
2197-02
 Number:
2021