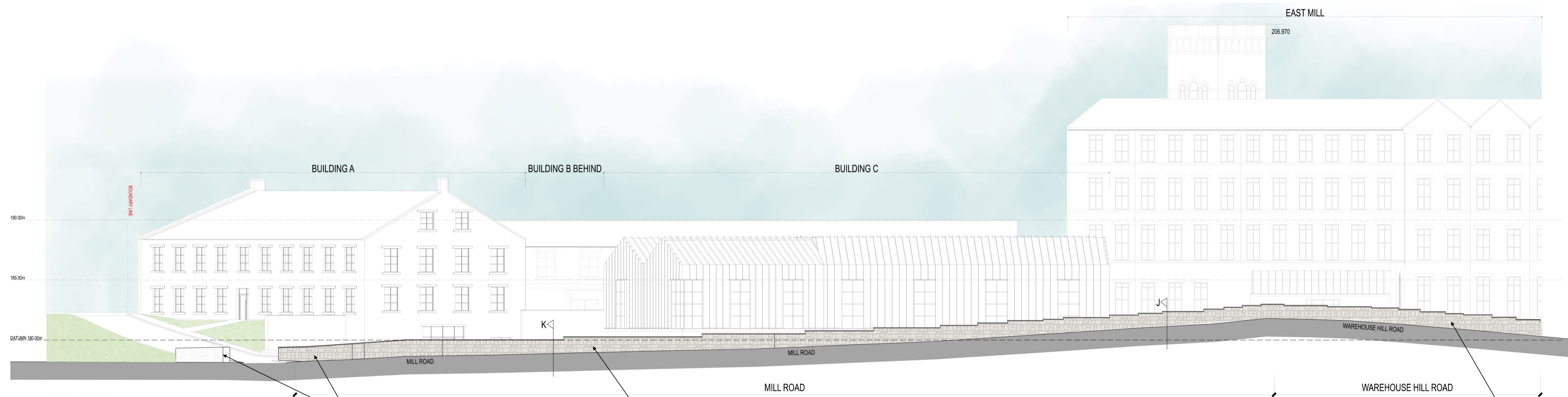
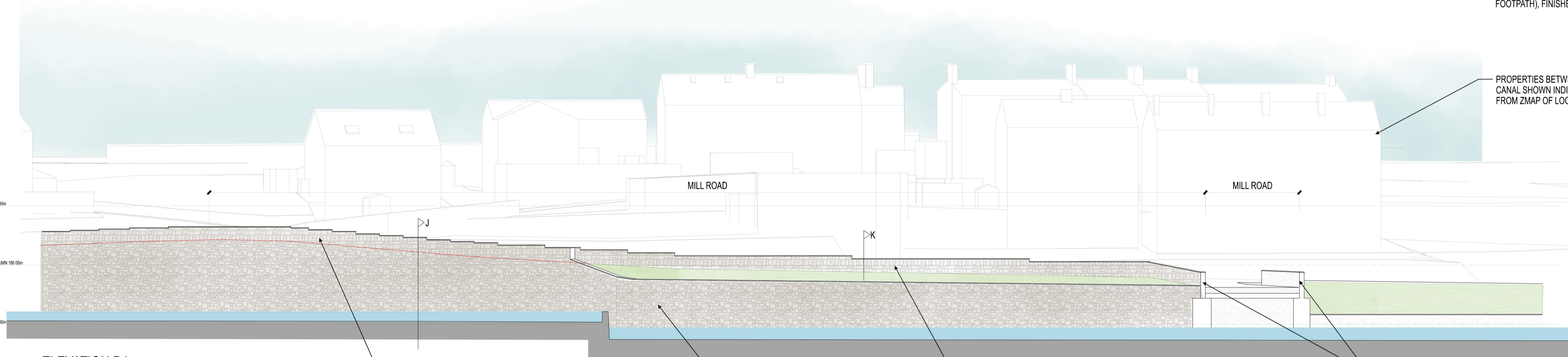


Notes:
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 Do not scale from this drawing. Any discrepancies on site should be brought to the attention of KPP Architects Ltd.
 Work and materials must comply with the current building regulations and codes of practice and be read in conjunction with building specifications and other sub-contractors information. All materials are to be installed in strict accordance with the recommendations of the manufacturers.



ELEVATION B3
 VIEW OF SITE FROM MILL ROAD

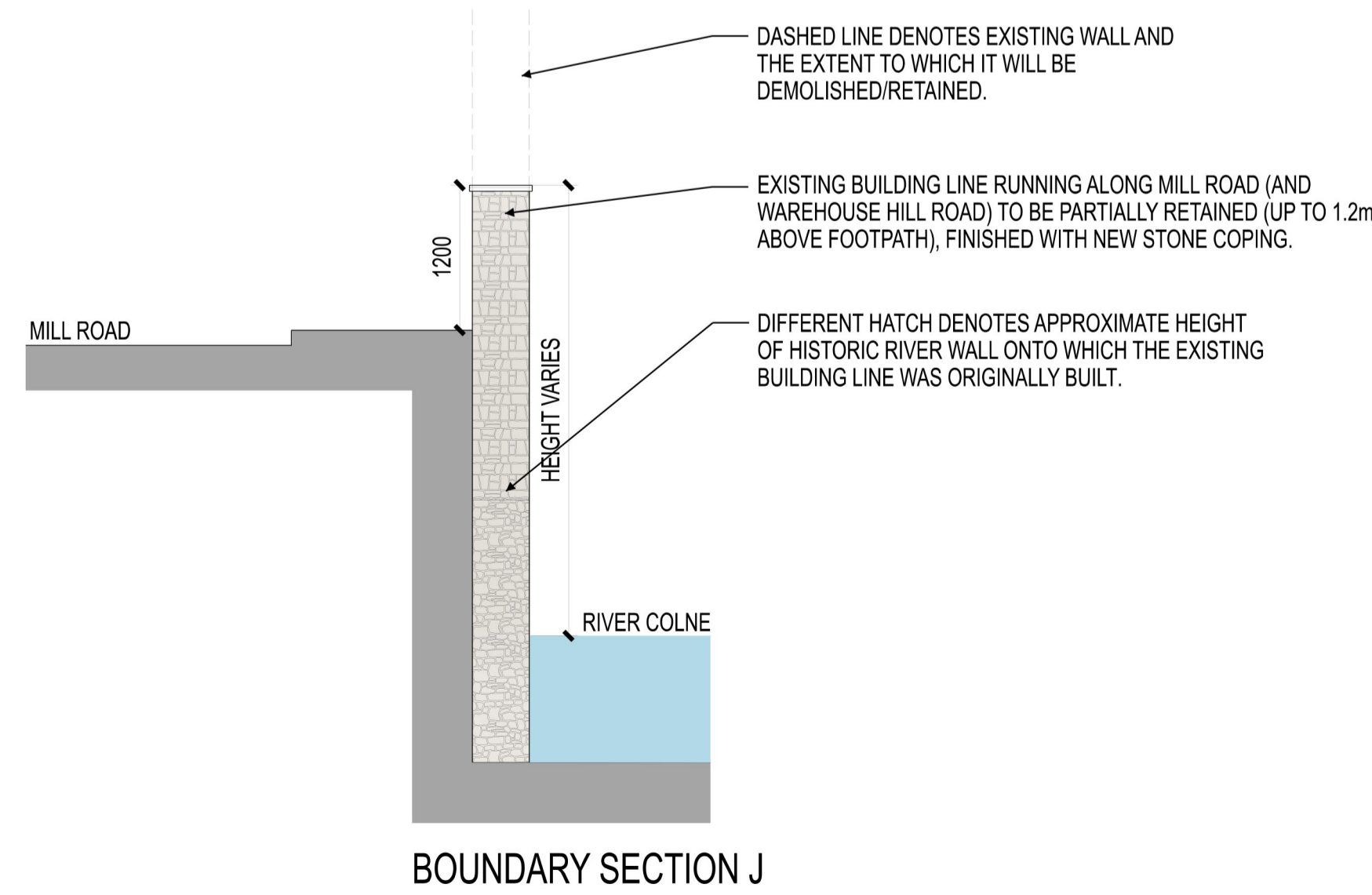
BRIDGE WALL TO EASTERN SIDE OF BRIDGE TO REMAIN AS EXISTING. NEW BRIDGE WALL TO WESTERN SIDE TO BE BUILT FROM RECLAIMED STONE, TO MATCH OPPOSITE SIDE.
 EXISTING BUILDING LINE RUNNING ALONG MILL ROAD (AND WAREHOUSE HILL ROAD) TO BE PARTIALLY RETAINED (UP TO 1.2m ABOVE FOOTPATH), FINISHED WITH NEW STONE COPING.
 EXISTING BUILDING LINE RUNNING ALONG MILL ROAD (AND WAREHOUSE HILL ROAD) TO BE PARTIALLY RETAINED (UP TO 1.2m ABOVE FOOTPATH), FINISHED WITH NEW STONE COPING.



ELEVATION B4
 VIEW OF MILL ROAD FROM SITE

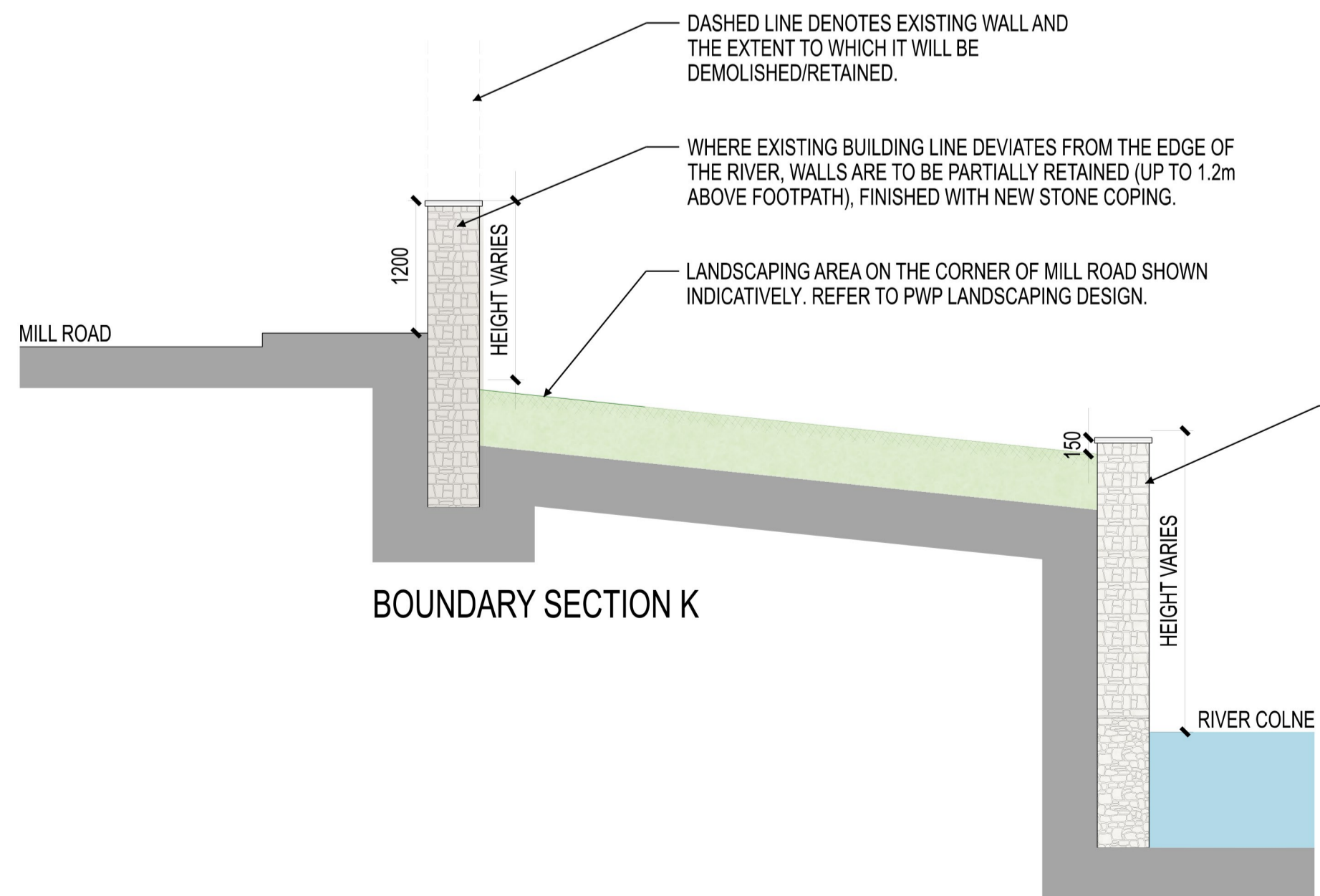
EXISTING BUILDING LINE RUNNING ALONG MILL ROAD (AND WAREHOUSE HILL ROAD) TO BE PARTIALLY RETAINED (UP TO 1.2m ABOVE FOOTPATH), FINISHED WITH NEW STONE COPING.
 EXISTING RIVER WALL (CURRENTLY UNDER BUILDING SLAB) TO BE UNCOVERED DURING DEMOLITION PHASE, FINISHED WITH NEW STONE COPING.
 EXISTING BUILDING LINE RUNNING ALONG MILL ROAD (AND WAREHOUSE HILL ROAD) TO BE PARTIALLY RETAINED (UP TO 1.2m ABOVE FOOTPATH), FINISHED WITH NEW STONE COPING.
 BRIDGE WALL TO EASTERN SIDE OF BRIDGE TO REMAIN AS EXISTING. NEW BRIDGE WALL TO WESTERN SIDE TO BE BUILT FROM RECLAIMED STONE, TO MATCH OPPOSITE SIDE.

PROPERTIES BETWEEN MILL ROAD AND CANAL SHOWN INDICATIVELY, TAKEN FROM ZMAP OF LOCAL VICINITY



BOUNDARY SECTION J

DASHED LINE DENOTES EXISTING WALL AND THE EXTENT TO WHICH IT WILL BE DEMOLISHED/RETAINED.
 EXISTING BUILDING LINE RUNNING ALONG MILL ROAD (AND WAREHOUSE HILL ROAD) TO BE PARTIALLY RETAINED (UP TO 1.2m ABOVE FOOTPATH), FINISHED WITH NEW STONE COPING.
 DIFFERENT HATCH DENOTES APPROXIMATE HEIGHT OF HISTORIC RIVER WALL ONTO WHICH THE EXISTING BUILDING LINE WAS ORIGINALLY BUILT.



BOUNDARY SECTION K

DASHED LINE DENOTES EXISTING WALL AND THE EXTENT TO WHICH IT WILL BE DEMOLISHED/RETAINED.
 WHERE EXISTING BUILDING LINE DEVIATES FROM THE EDGE OF THE RIVER, WALLS ARE TO BE PARTIALLY RETAINED (UP TO 1.2m ABOVE FOOTPATH), FINISHED WITH NEW STONE COPING.
 LANDSCAPING AREA ON THE CORNER OF MILL ROAD SHOWN INDICATIVELY. REFER TO PWP LANDSCAPING DESIGN.

ORIGINAL RIVER WALL TO BE REINSTITATED, PARTIALLY RETAINED TO APPROX 150mm ABOVE LANDSCAPING LEVEL, WITH NEW STONE COPING.

Rev	Description	By	Chkd	Date

Client
CROWTHER BRUCE AND COMPANY LIMITED

Project Title
PROPOSED REGENERATION NEW MILLS, MARSDEN

Drawing Title
BOUNDARY CONTEXTUAL ELEVATIONS - SHEET 4

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Scale	Size	Date	Drawn	Checked
1:200	A1	05.01.26	SF	RS

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