

Proposed_

Detached Dwelling within the
curtilage of_

84 James St

Golcar
Huddersfield

HD7 4HT

January 2026



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For + on Behalf of_

Mr Khangura

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1.0_ Introduction

This design guide statement has been prepared by Eight_OneTwo Architects on behalf of our client as we seek planning permission for the erection of a single storey dwelling within the curtilage of_ 84 James St, Golcar, Huddersfield.

Set in the heart of the village of Golcar where there is easy access to local amenities, schools and public transportation the site is perfectly situated for easy access to Huddersfield, Leeds and Manchester, and close to major motorway and public transport links including two International airports.

Situated on James street, a lovely little hamlet with far reaching views across the Colne valley the site is situated in an enclosed walled hard standing area above ground level garden which is sited by a retaining walls around front and rear of the site making it very private with a south facing aspect. Access to car parking is provided for guests of the existing building which is a former public house converted into apartments

The design guide statement should be read in context with the associated drawings and other supporting information submitted with the application.

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Site Context_ Former Public house turned into apartments on the left with the site on and existing retaining walls to the right



1.1_ Redline Boundary

The proposed works include the following_

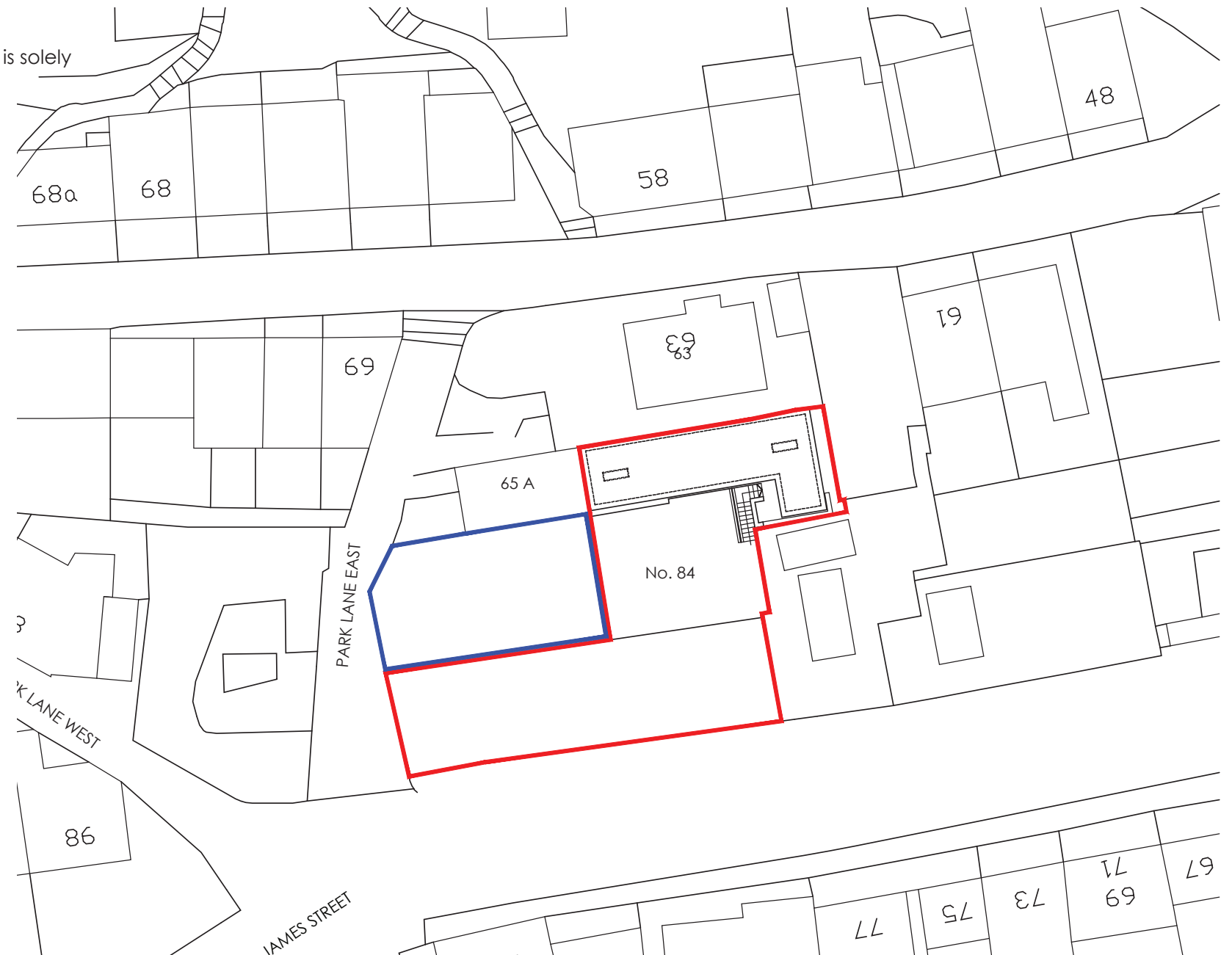
Planning permission for the erection of a single storey dwelling within the curtilage of_ No 84
James St, Golcar and a redundant land of hard standing

The [red line] site area has an approximate area of 380 square meters with the total site are [red
and blue area] totals 500 square meters.

It should be noted that the site area is within the conservation area of Golcar.

It should also be considered that the total site sits within separate title deeds as shown opposite
displaying the clients total ownership of the site.

It should be noted that even the blue line is within the ownership of the clients site area, this is solely
a separate building and is a former public house that has been converted into apartments
and no development is to be carried out within this application.



1.2_ Design Brief

We aspire to provide a proposal that complies with local and national planning policy and one that respects the existing architectural context of the area.

The design is sited in a way that protects the existing context in terms of form, height and massing of the local area and street scene and creates privacy and does not impede social context of neighbours or provide sound issues.

The proposal will respect the existing proportions of the host dwelling and the wider context of Mag Bridge in its massing and scale, it applies carefully designed details and the use of high quality materials local to the proposals and will draw inspiration from the surrounding area to provide a high level dwelling that sits within the site with harmony and does not interfere with any surrounding context.

The design proposals reflect the site constraints and the design is intended to blend / sink into its surroundings whilst at the same time delivering new housing to the area with appropriate car parking and amenity space.

Below_ 3D context of the site in-situ showing the former public house [converted to apartments] facing South West. 02 Retaining walls separate the south as does the single storey bungalow No 63 to the North above the site on Hadel Street



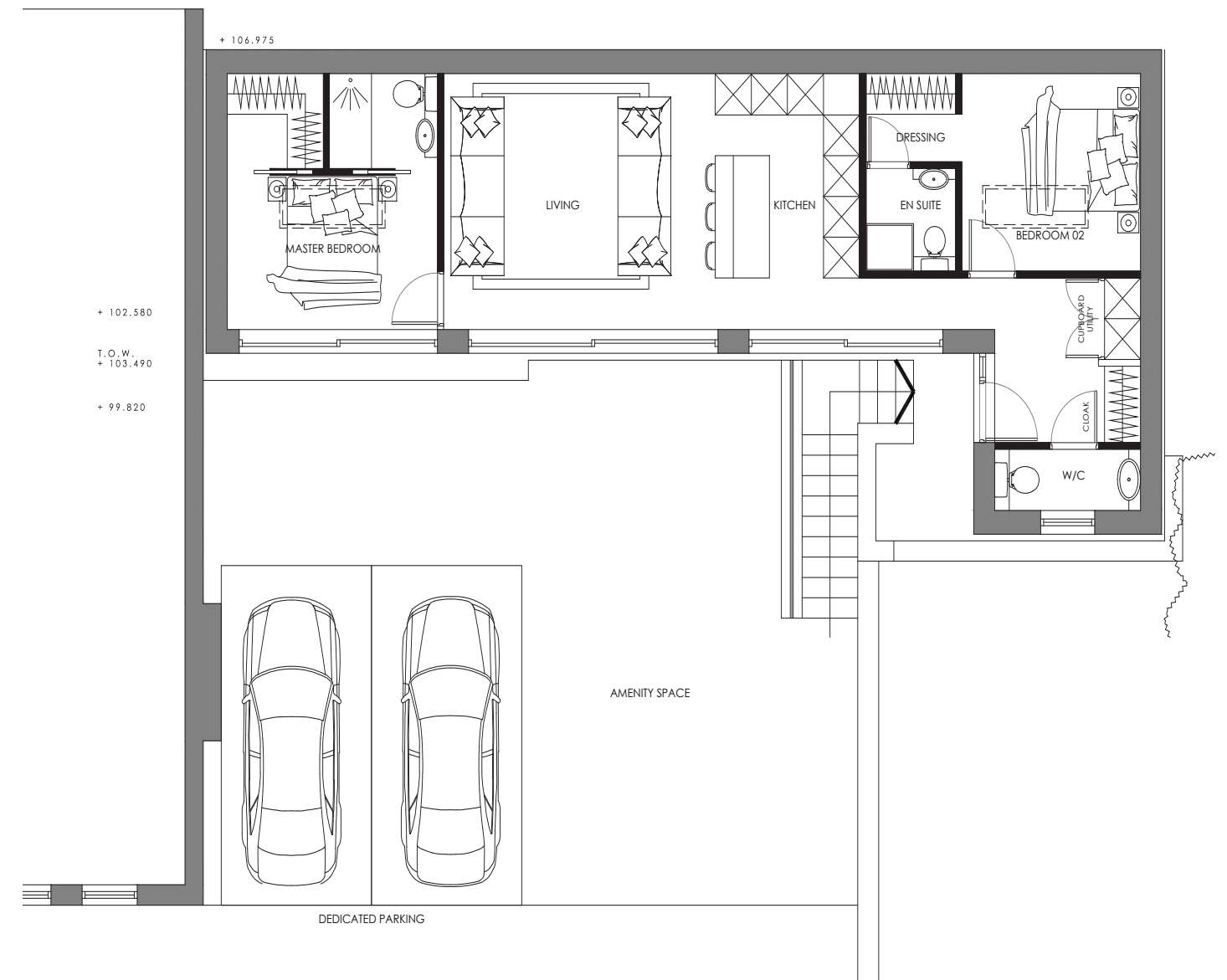
1.3_ Layout

Layout_

The concept behind the design proposal is to create a small dwelling on a relatively tight site, that can still accommodate 02 double bedrooms which could form a dwelling for a small family.

The siting of the proposal is positioned at nearly 03 meters from the ground level on a tiered site of 02 retaining walls the other which forms the rear of the site is over 4 meters in height. Because of the retaining walls that frame the site it allows for only single aspect onto James St.

The layout of the out building is very simple - a rectangular layout of approx 15 meters by 4.5 meters and 7.0 meters at its widest point As per the drawing opposite, this is just a simple open plan layout which provides conservative living with south facing aspects and a rooflight into Bedroom 02. All necessary requirements of a new dwelling with space standards is of primary importance.



1.4_ Appearance

Appearance_

The proposal hosts a principle elevation of natural stone, to respect that of the context, it is also have a flat roof to reduce impact, not impede on the surrounding dwellings and to have a sedum roof for environmental qualities.

The overall height of the structure is approx 3.1 meters in height of the flat roof and is situated approx 28 meters from the proposal to the adjacent building on James St to the South.

The floor to ceiling windows provide the same rythem and spacing as the host building but with a differing fenestration pattern that relate to the existing building but provide a contemporary interpretation and feel this is important to differentiate between existing and proposed.



FRONT ELEVATION (Facing North)
AS PROPOSED
Scale 1:100

1.5_ Planning Drawings

As Existing_ Plans and Elevations



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Notes

PLANNING

N

0 1000 2000 3000 4000 5000mm

SCALE 1:100

Note: Surrounding contextual buildings and information are based on received ordinance survey drawings and are shown for illustrative purposes only. Assumed site boundary is subject to confirmation to legal confirmation.

Note: Information is based on OS map and received information and is subject to full topographical survey. Assumed site boundary and site constraints subject to legal confirmation. All legal easements and extent of existing underground services locations are subject to confirmation.



Rev. Date. Amendment. Rev. April

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Drawing Status, PLANNING

Client, MR. CHAN KHANGURA

Project, PROPOSED DWELLING, 84 JAMES STREET, GOUSCARE

Drawing Title, AS EXISTING, FLOOR PLANS + ELEVATIONS

Drawing Scale, 1:100

Drawn By, JOL

Checked By, JOL

Paper Size, A1

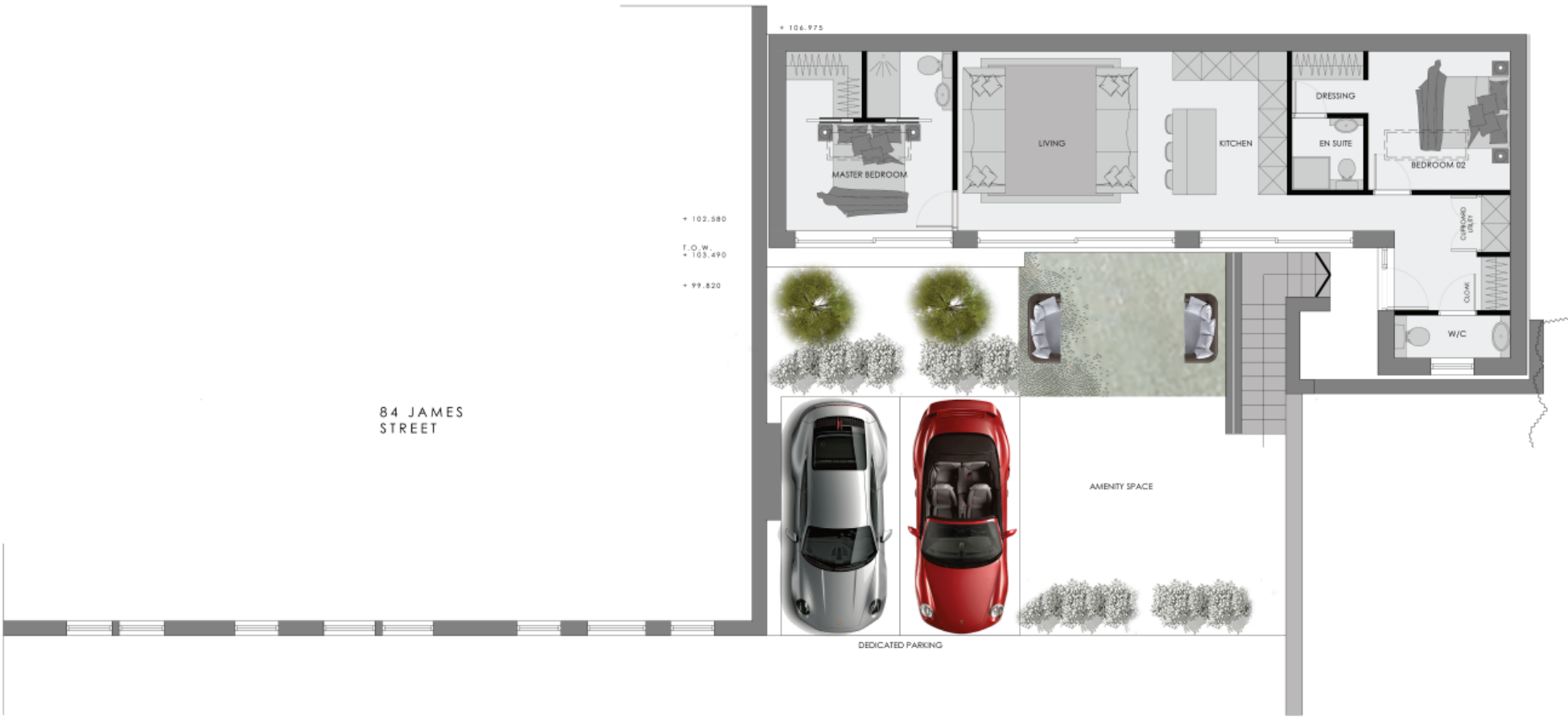
Drawn Date, NOVEMBER 2025

Checked Date, DECEMBER 2025

Drawing Number, 25_B13 100

1.5_ Planning Drawings

As Proposed_ Plans and Elevations



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Notes

PLANNING

N

0 500 1000 1500 2000 2500mm
SCALE 1:50
0 1000 2000 3000 4000 5000mm
SCALE 1:100

Note:
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Drawing Status.
PLANNING

Client.
MR. CHAN KHANGURA

Project.
PROPOSED DWELLING, 84 JAMES STREET, GOSSALE

Drawing Title.
AS PROPOSED, FLOOR PLANS + ELEVATIONS

Drawing Scale. 1:50 1:100
Drawn By. JOL
Checked By. JOL

Paper Size. A1
Drawn Date. NOVEMBER 2025
Checked Date. DECEMBER 2025

Drawing Number.
25_B13 101

1.6_ Precedent Study

As Proposed_

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MOOD BOARD_ 84 James Street_ Golcar

- _ Elongated form responding to be base
- _ Single Storey
- _ Stone to match existing buildings
- _ Zinc or Stone Plinth cladding to form horizontal strength / emphasis
- _ Open-plan living
- _ Large glazing
- _ Inside v Outside living
- _ Living roof to 'shelter' the proposal from sloping topography above

1.7_ Conclusion

There is clearly a good opportunity to develop the existing site through the use of well considered design.

On completion the design proposals will have no overbearing affect on the street scene by positioning of the designs and continuing the building line to that of the existing while at the same time helping to enhance the visual aesthetic of the overall site.

The form of the site will ensure that although the street scene will play a prominent role the day to day living proposal will not directly address the main road as it is set back. It is essentially too high to considered a threat to the street scene to form a secure, enclosed design solution.

The plot has an opportunity to achieve excellent external space that will allow for a good sized external area which should also be expected with the standard of design proposal and can often be overlooked in the design process.

The development will provide a high quality scheme that responds sympathetically to its immediate surroundings and will not provide any overbearing aspects to that of the neighboring housing domains and wider context of James Street. This will be achieved in terms of its massing and density, materials, the layout and type of property and in relation to its urban and landscape design.

The design proposal is set out to intentionally not be identical to its immediate neighbours. There is a clear chance to employ variety within the overall site and provide a sensitive and beautiful response for people to relax and enjoy.