



DESIGN & ACCESS/HERITAGE STATEMENT

Proposed internal alterations to listed barn conversion

at:

Ash Barn,
Blake House Farm,
Marsh Hall Lane,
Thurstonland,
HD4 6XD

for:

Joe Firmin

job nr:

25088

date:

26 November 2025

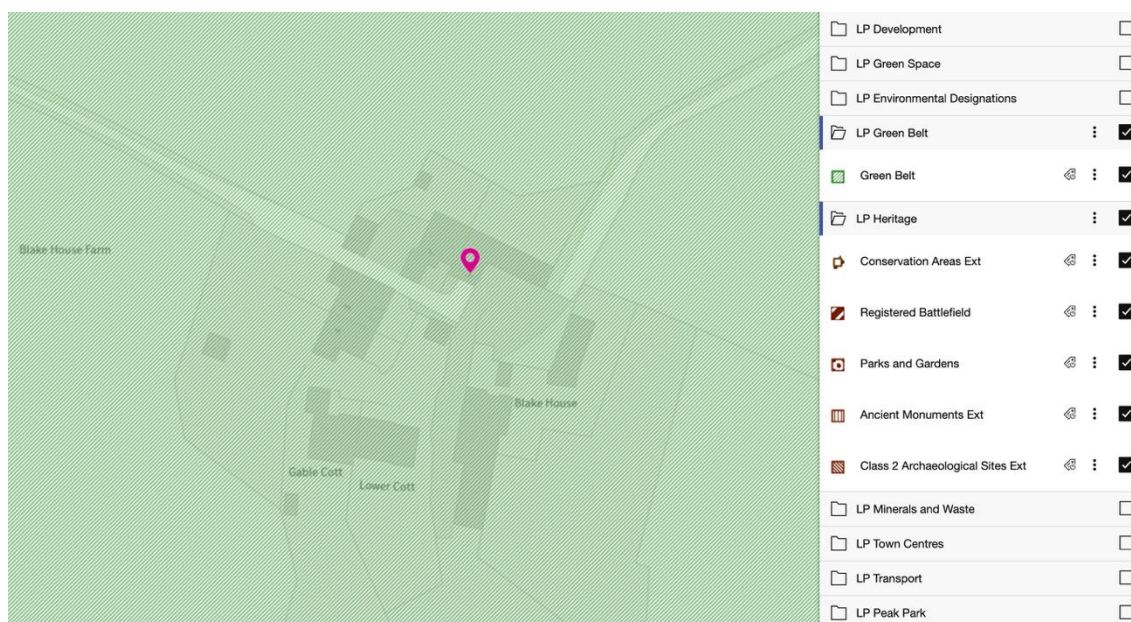
Introduction

This Design and Access / Heritage Statement has been prepared by **ADP Architecture and Design Ltd** on the instructions of Joe Firmin, and provides sufficient information to accompany an application for Listed Building Consent for the proposed internal alterations to listed barn conversion at Ash Barn, Blake House Farm, Marsh Hall Lane, Thurstonland, HD4 6XD.



The application site

Ash barn and the accompanying Blake House Farm buildings are situated approximately 550m to the north of the village of Thurstonland, just off Marsh Hall Lane. The barn is located within the greenbelt as shown on the Kirklees Local Plan map below. The building is not located within the Thurstonland Conservation Area.



Thurstonland is a small village in the civil parish of Kirkburton and is located in an elevated position above the town of Brockholes which is situated to the northwest. The town of Huddersfield is located approximately 5 miles to the north.

Due to the size of the village and its small population, there are only limited local amenities. These include a village primary school established in the 18th Century, and a Grade II listed church (The Church of St Thomas) which dates back to 1870. The village also has a local cricket club, which was established in 1874.

To the north of the village along Marsh Hall Lane the land is predominantly comprised of farmland with their associated barn buildings and farmhouses and a limited number of residential dwellings.

Existing Use

Ash barn and various other buildings located at Blakehouse Farm are now used as residential dwellings further to historic conversions undertaken in the 1990's.

Ash barn is a former barn which now provides residential accommodation over 2 floors. The ground floor features a living room, dining room, utility, kitchen, WC and lobby. The upper floor features the bedrooms and family bathroom.

Proposed Use

The proposals will not change the use of the building but will require a number of internal alterations which are detailed in the design, appearance and layout section of this statement.

Relevant Planning History**96/91692** – Conditional full permission

Location: Plots 1 & 1a, Blakehouse Farm, off Marsh Hall Lane, Thurstonland, Huddersfield.

RE-USE AND ADAPTATION OF BARN TO FORM 2 DWELLINGS AND ERECTION OF DETACHED GARAGE (LISTED BUILDING)

96/91693 - Conditional full permission

Location: Plots 1 & 1a, Blakehouse Farm, off Marsh Hall Lane, Thurstonland, Huddersfield.

LISTED BUILDING CONSENT FOR RE-USE AND ADAPTATION OF BARN TO FORM 2 DWELLINGS

93/02586 – Consent granted

Location: Blakehouse Farm, Marsh Hall Lane, Thurstonland, Huddersfield.

LISTED BUILDING CONSENT FOR DEMOLITION OF AGRICULTURAL BUILDINGS, CONVERSION OF BARNS AND ERECTION OF GARAGE BLOCK

93/02585 – Consent granted

Location: Blakehouse Farm, Marsh Hall Lane, Thurstonland, Huddersfield.

CONVERSION OF REDUNDANT AGRICULTURAL BARNS TO 2 NO DWELLINGS (LISTED BUILDING)

94/93969 – Conditional full permission

Location: Blakehouse Farm, Marsh Hall Lane, Thurstonland, Huddersfield.

RE-USE OF EXISTING BARNS AND NEW EXTENSIONS TO FORM 3 DWELLINGS AND ERECTION OF 2 NO DETACHED DOUBLE GARAGES (LISTED BUILDING)

Site Photographs





Dining stairs and landing showing existing oak truss and post



Wall to be removed



kitchen wall proposed to be removed



Kitchen door to become window



Fire place raised hearth to lounge



Existing study area and timber post

Design, Appearance and Layout

Design and layout:

The proposed alterations seek to remove an existing ground floor load bearing wall between the existing kitchen and dining room in order to create an open plan kitchen/dining space. The proposals also seek to partly wall up an existing external door opening which leads into the existing kitchen. This will be replaced with a window to allow a more functional kitchen layout.

Minor alterations will also be required to the internal partitions to re-configure the ground floor WC. This will allow for a new washroom to be accessed off the existing utility.

The existing living room/study area will have a new stud partition to make a formal separation between these areas to create a more private study area. To access the newly formed study, the existing staircase will also be reconfigured.

The full room length existing raised stone hearth to the living room fireplace will be omitted. A new amended stone heath will be installed, which will be reduced to suit the requirements of the wood burning stove.

Detailed layouts showing the proposed plans have been submitted as part of the application.

Appearance:

The existing building is a 17th Century listed barn. The proposals involve a change of appearance to the front elevation and seek to partly wall up the existing door opening to form a window. Traditional matching stone will be used to wall up the opening, and a new stone chamfered cill and stone quoins will be used to match the existing windows as shown on the proposed drawing.

Internally, the existing load bearing wall between the kitchen and dining room will be removed. Existing oak beams currently span on to this wall which support the first floor. A structural engineer has designed a beam and the required connection details for the existing beams which are detailed in their proposals and submitted as part of the application.

Scale

The proposed scale utilises the existing size and shape of the original barn. No extensions or alterations in size are proposed.

Landscaping and trees

All works are limited to the existing building. There are no external works or extensions and therefore there will be on changes to the existing landscaping.

Site Levels

The existing site levels are essentially flat. There are no alterations required.

Access

The current site access is off Marsh Hall Lane via an existing access track. There will be no alterations to the existing access.

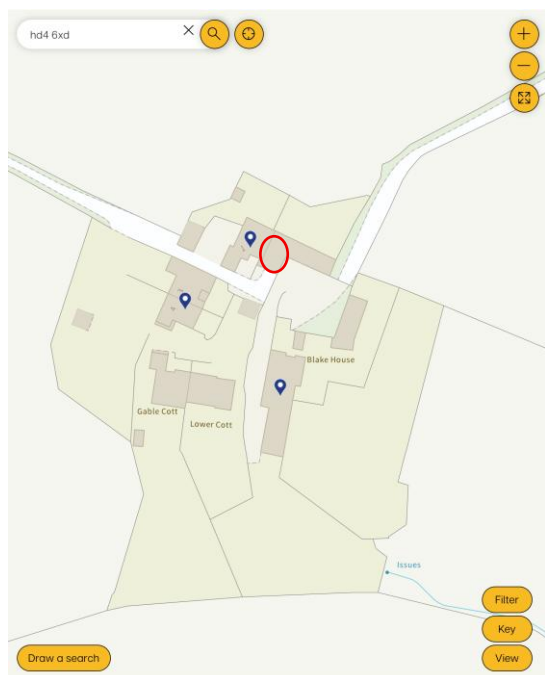
There is a ground floor WC which will be maintained.

Heritage Impact Statement

Significance of the Heritage Asset

The existing barn which forms the subject of this application is a Grade II listed barn. The Heritage Asset is taken to be the Grade II listed building.

The listing below is taken from Historic England National Heritage List. The description below relates to the main adjacent barn identified on the map below with a '1' rather than 'Ash Barn' which forms the subject of this application.



Listed buildings map showing Ash Barn (Circled Red)

Barn 100 Yards to North of Blake House

Listing Reference: 1313324

Grade: II

SE 11 SE MARSH HALL LANE Thurstonland 5/71 Barn 100 yards to north of Blake House

G.V. II MARSH HALL LANE

Barn with timber framing. C17. Hammer dressed stone. Quoins. Recent asbestos roof. Square headed cart entrance into 2nd bay with entrance on opposite wall. Chamfered ventilation slits. At 90° is late C18 addition. Four bay interior. Three king-post trusses with struts and wind bracing to ridge. Jowelled posts with bracing to tie- beam and arcade plates, and lever holes at base. Aisle to each side, but no aisle ties or wall plates.

The Blake House Farm also features another two grade II listed buildings. These are the Dairy and Blake House. The full listing and references are as detailed below.

Dairy 100 Yards to West of Blake House

Listing Reference: 1135374

This is identified with a number '4' on the above map.

Grade: II

SE 11 SE MARSH HALL LANE Thurstonland 5/72 Dairy 100 yards to west of Blake House

G.V. II MARSH HALL LANE

Large barn with timber framing, now used as dairy. C17. Hammer dressed stone. Recent asbestos roof. Four-bay interior with 3 king- post trusses with struts, braced to ridge. Jowelled posts braced to arcade plates and tie-beam. Aisle to each side but no aisle ties or posts. Later addition to rear.

Blake House is also a grade II listed building. The full listing and reference are as detailed below.

Blake House, Marsh Lane

Listing Reference: 1183903

Grade: II

SE 11 SE MARSH HALL LANE Thurstonland 5/70 Blake House 23rd June 1965

G.V. II

Large farmhouse. Mid C17 with C19 alterations. Deeply coursed hammer dressed stone. Stone slate roof with gable copings on moulded kneelers. Two storeys. Double gabled west side with long range to right. Single, projecting gable to east, which has C19 windows. The west gables have double chamfered windows: one 4-light to each floor with C19 doorway, to right gable. One 5-light window with hood mould to 1st floor of left gable, a large later 2-light window to ground floor and a staircase cross-window. The range to right has C19 openings to both elevations including one 6-light and one 8-light window (the latter with 3 blocked lights), to east elevation 1st floor. This range contains some timber framing and posts. The main parlour in the gabled part of the house has an excellent ceiling with 2 main beams and 3 secondary beams, joists and secondary joists all stop-chamfered.

H. J. Moorhouse, The History of Kirkburton & the Graveship of Holme, 1861.

Impact of the proposed development upon significance of the Heritage Asset

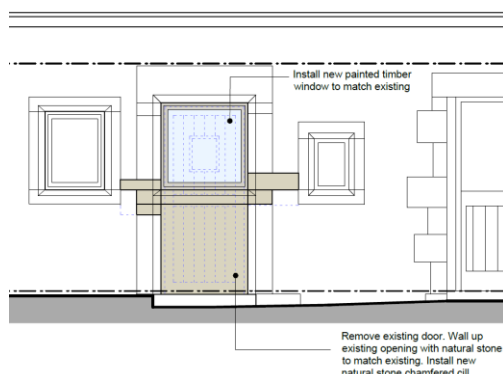
Relevant Policies:

Local Plan Policy LP35 states that 'development proposals affecting a designated heritage asset...should preserve or enhance the significance of the asset'

Section 66 of the Planning (Listed Buildings & Conservation Areas) Act (1990) states that 'for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'.

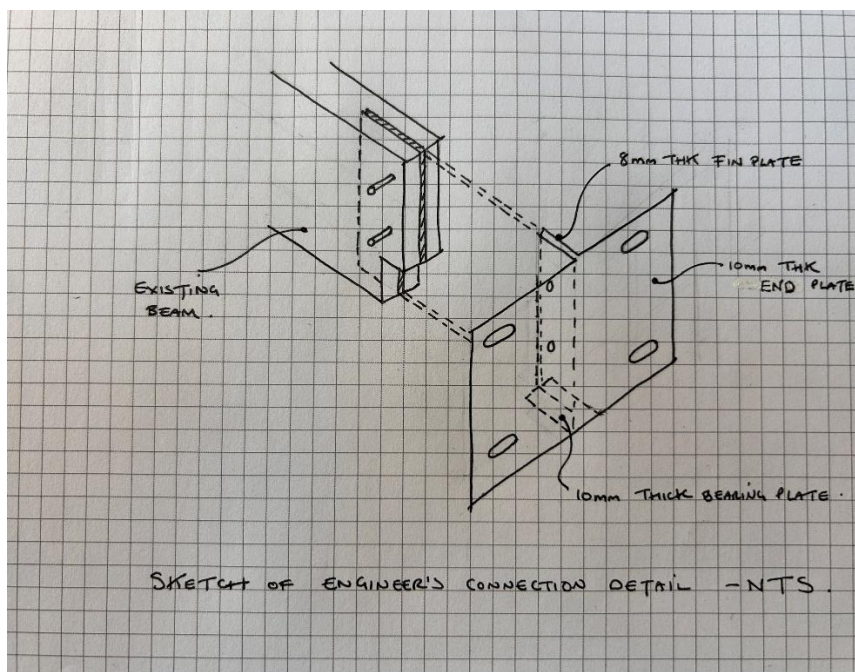
The proposals have been carefully considered in order to reduce the impact on the existed listed building and its appearance. There are no increases in footprint or height being proposed as part of the works.

The proposals do seek to omit an existing entrance door and replace this with a window which will impact the principal elevation. The existing door will be replaced with a window to match the other existing windows on this elevation. The existing door opening width will be maintained, but the lower section of wall be walled up in natural stone to match the existing walls. The existing chamfered stone surrounds will be maintained though there will be some alterations to allow for the installation of a new chamfered stone cill as indicated below.



Internally, the client seeks open up the kitchen and dining room to form a larger more family functional space. This will require the removal of an existing internal load bearing wall which has 4No. existing oak floor beams bearing onto it. A new beam has been proposed which will be steel due to the span. The beam will be clad in oak to match the existing beams. Sawyer Consulting Engineers have been involved with the design of the connection details which will allow the existing oak beams to join the new proposed steel beam. These are as detailed on the engineers' drawing and calculations submitted with the application.

The new connection details are designed to be as discreet as possible and rely upon a new steel 'fin plate' which will sit inside the existing beam. A sketch based on the engineer's design proposals and a sequence of works are as detailed below.



Sequence of works:

- Prop existing beams.
- Demolish existing load bearing wall.
- Notch existing beam to receive bearing plate
- Notch vertical slot into the end of the existing beam.
- Install new 203x203 UC
- Insert fin plate and add 10mm diameter dowels.
- Bolt fixing bracket bearing plate back to 10mm stiffener plate within web of steel

The existing wall and a 3D image showing the proposals are as per the images below. The existing oak post which connects to the first-floor king post truss will remain unaltered by the proposals.



In the existing living room, the proposals seek permission to add a new stud partition wall to create a separate study area. The stud partition will be taken to the underside of the existing timber floor beam. This partition will be formed in timber studs and can be easily removed in the future if required. Images showing the existing study area and existing beam are below.



Existing study area



To access the new study area, a new single width door opening will be provided through the existing wall at the foot of the existing stairs. The stairs will also be relocated slightly to accommodate this. The stairs are not original and form part of the prior conversion works.

The proposals also seek to remove the full width raised stone hearth within the living room. The existing hearth will be removed to allow a continuous floor level within the living room. The existing flags which form the hearth will be re-used in the lowered new stone hearth. The hearth as existing will have been formed at the time of the conversion.



Existing full width hearth.



Summary

ADP Architecture and Design Ltd believe that based on a careful and considered study of the existing building, a design has been proposed which successfully preserves the Heritage Asset of Ash Barn whilst providing a functional family home which meets the clients' requirements.

ADP Architecture and Design Ltd