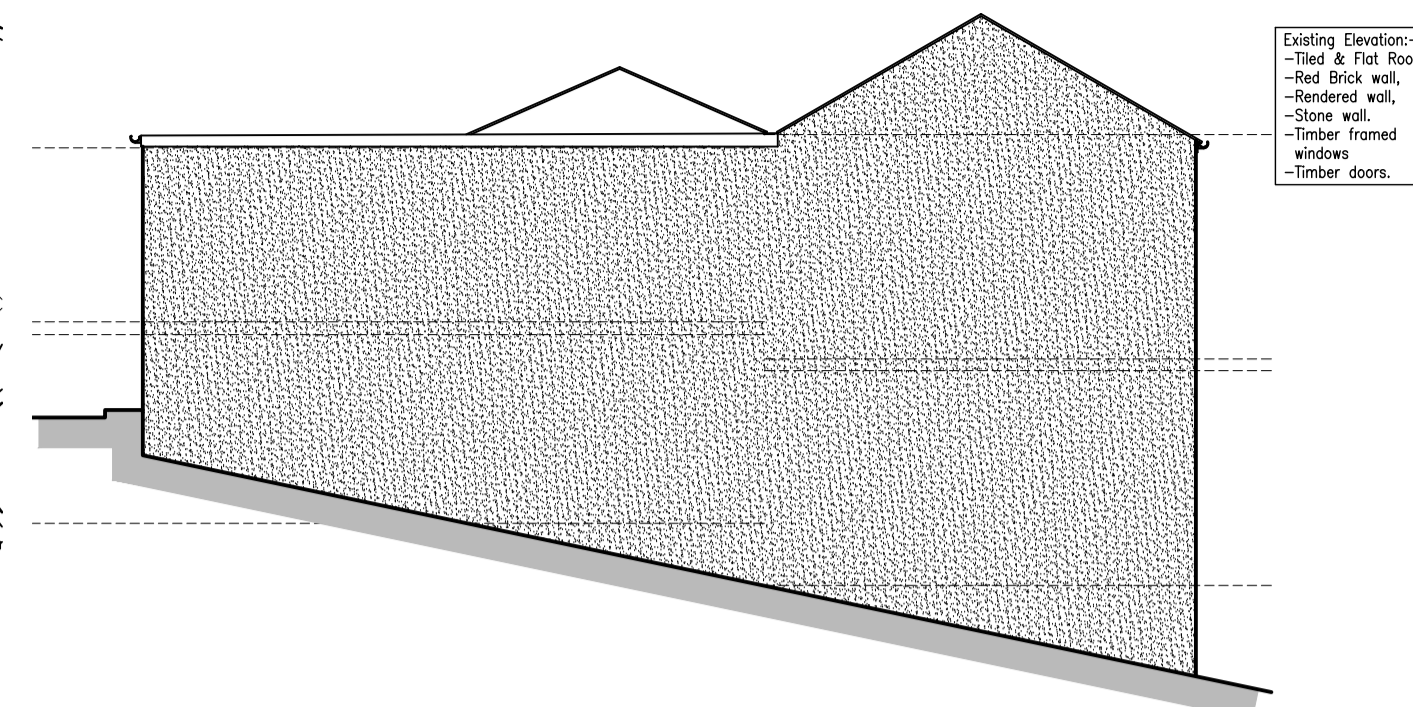
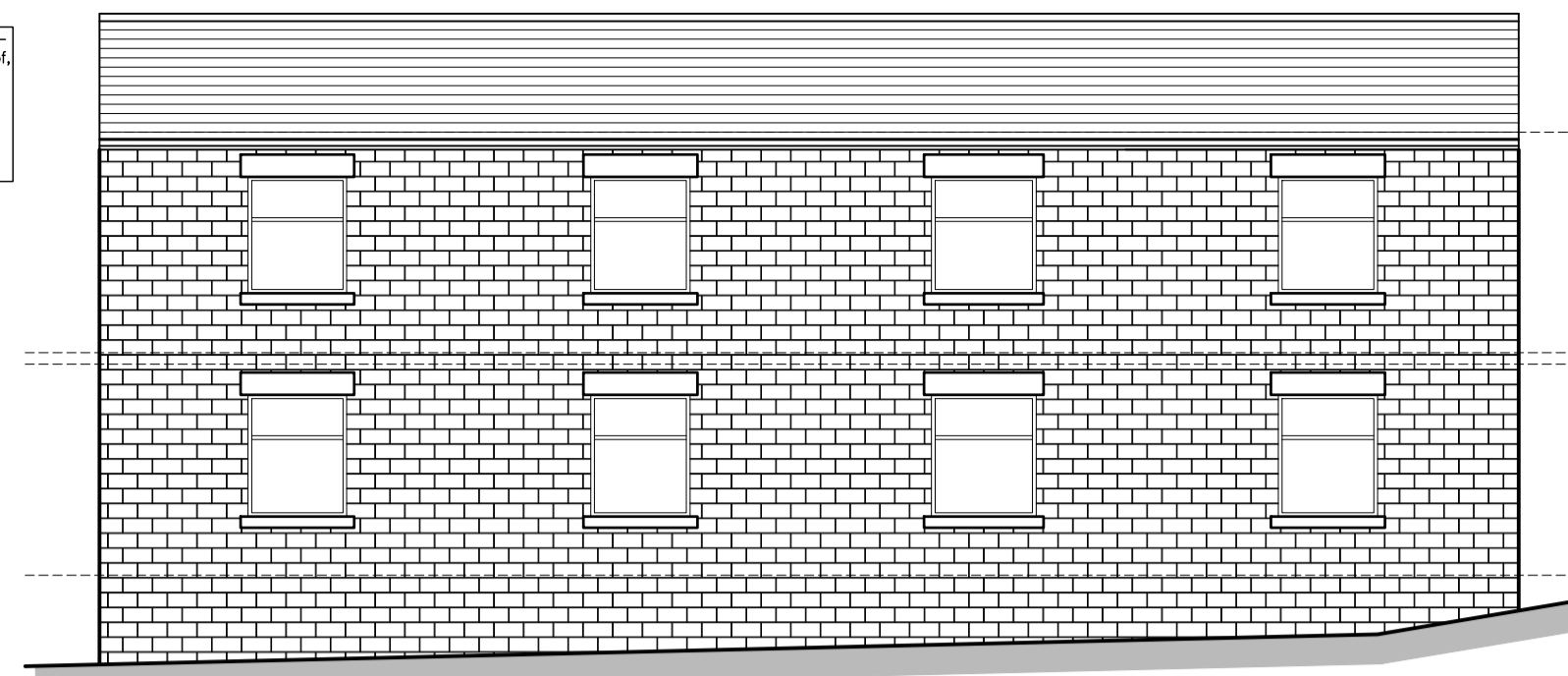


SITE LOCATION PLAN @ SCALE 1:1250 (NB- RED LINE DENOTES SITE BOUNDARY)



(EXISTING)(NORTH WEST) REAR ELEVATION, 1: 100mm

Existing Elevation:-  
 -Tiled & Flat Roof  
 -Red Brick wall  
 -Rendered wall  
 -Stone wall  
 -Timber framed windows  
 -Timber doors



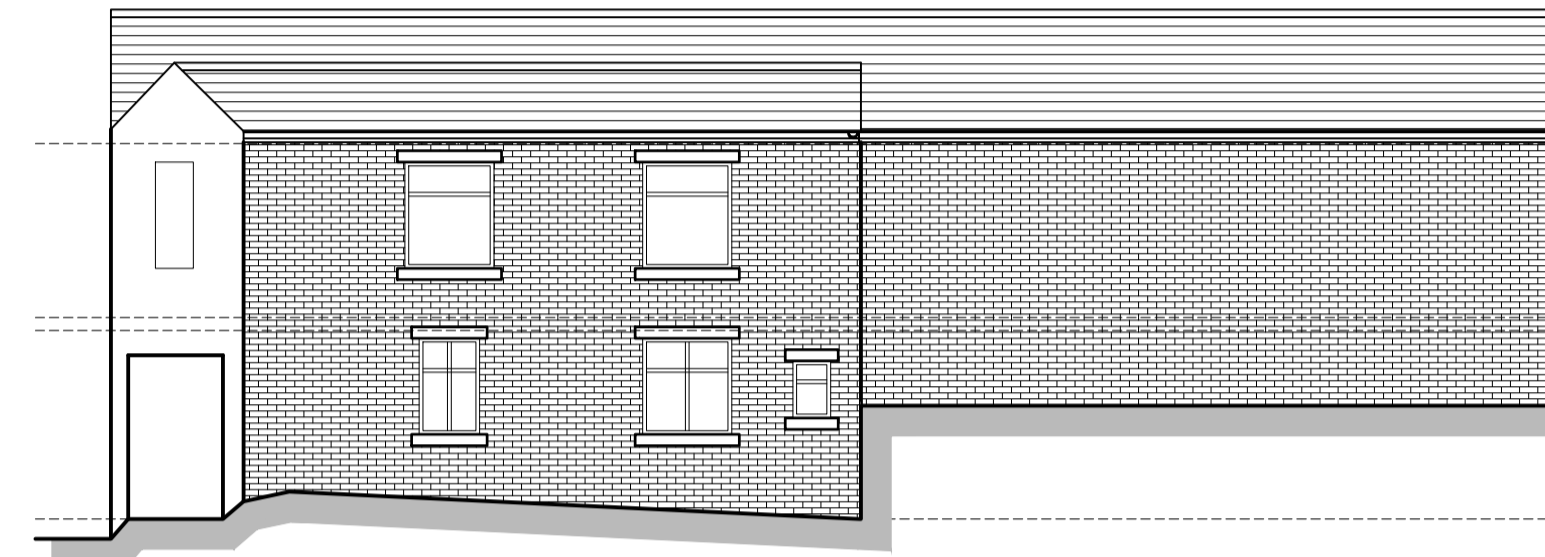
(EXISTING)(SOUTH WEST) SIDE ELEVATION, 1: 100mm



(EXISTING) SIDE ELEVATION, 1: 100mm



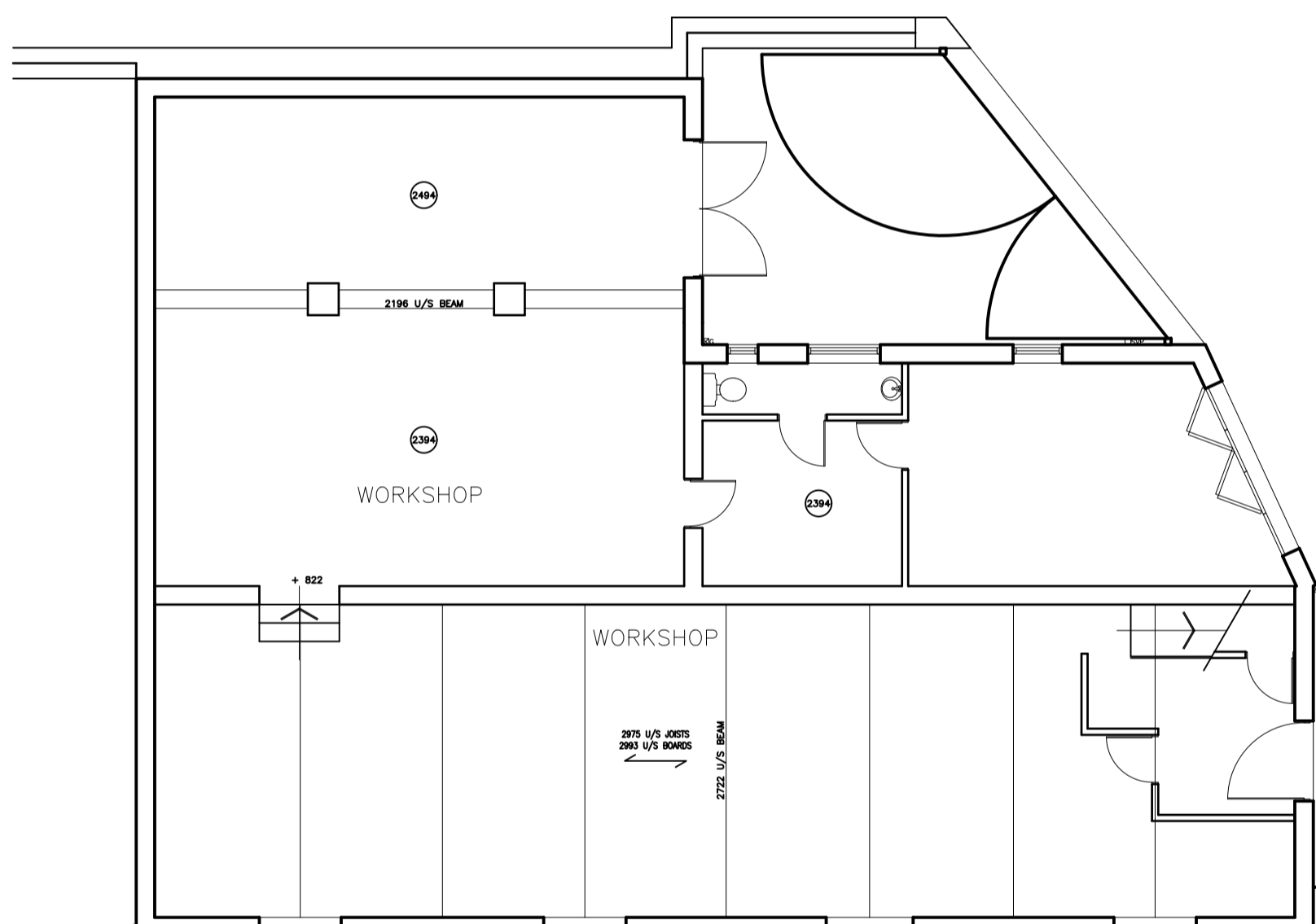
(EXISTING)(SOUTH EAST) BRIDGE STREET ELEVATION, 1: 100mm



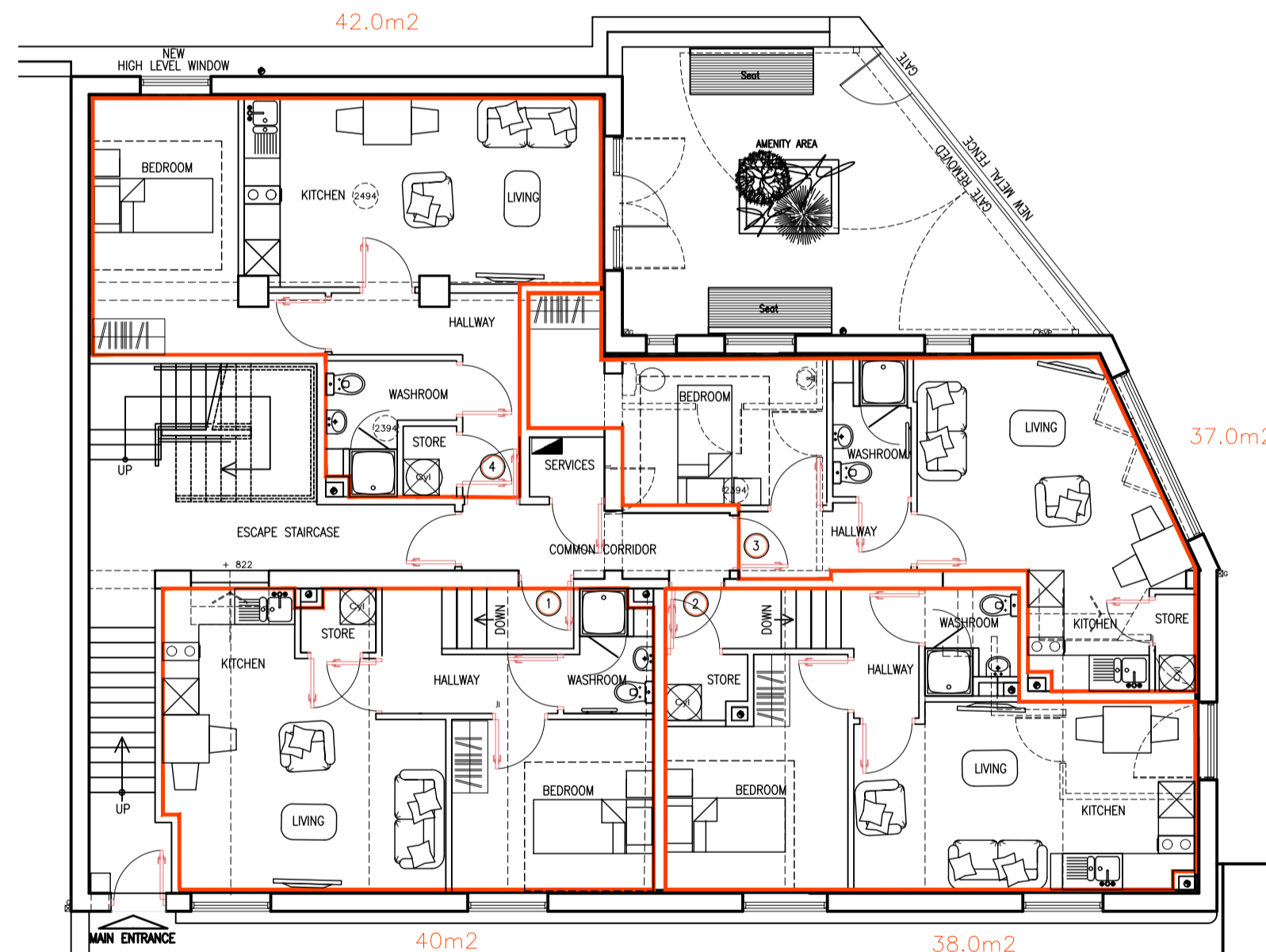
(EXISTING)(NORTH EAST) SIDE ELEVATION, 1: 100mm

NOTES:

- IT IS THE CLIENT'S RESPONSIBILITY THAT BOUNDARY LINE SHOWN ON THIS DRAWING IS STRICTLY AS IN CLIENTS' LEGAL TITLE DEEDS AND THAT THERE ARE NO RIGHTS OF WAYS ETC WRITTEN IN LEGAL DEEDS AFFECTED BY PROPOSED EXTENSION WORK.
- THIS DRAWING IS FOR PLANNING PERMISSION ONLY. ALL WORKS AFTER PLANNING PERMISSION IS APPROVED IS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS AND TO THE APPROPRIATE BRITISH STANDARD AND TO LOCAL COUNCIL INSPECTOR'S SATISFACTION.
- LOCAL AUTHORITY TO BE NOTIFIED UPON COMMENCEMENT OF WORK ON SITE.
- FOR GENERAL/CONSTRUCTION DETAILS REFER TO APPROVED BUILDING REGULATION DRAWINGS
- A N DESIGN LTD CANNOT BE RESPONSIBLE FOR ANY DAMAGE TO THE ADDRESS BELOW OR ANY ADJOINING PROPERTY HOW SO EVER CAUSED.
- THE CONTRACTOR/OWNER IS RESPONSIBLE FOR FINDING LOCATION OF ALL SERVICES & GAINING ALL NECESSARY APPROVAL FROM STATUTORY BODIES FOR REDIRECTION & NEW CONNECTIONS.
- ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH LOCAL AUTHORITY DECISION NOTICE CONDITIONS. (PLANNING/BUILDING CONTROL).
- THE OWNER IS TO OBTAIN APPROPRIATE AGREEMENT UNDER THE TERMS OF THE PARTY WALL ACT (LATEST EDITION) FROM THE NEIGHBOUR'S IF PARTY WALL AND EXISTING FOUNDATIONS ARE SUBJECT TO LOAD FROM PROPOSED WORKS.
- ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE ANY WORK COMMENCES BY CONTRACTOR AND DISCREPANCIES REPORTED IMMEDIATELY TO DEVELOPER/AN DESIGN.
- EXISTING DRAINPIPES TO BE BRIDGED OVER IF PASSING UNDER NEW WALLS.
- ANY NEW FOUNDATIONS/WALLS SHOULD NOT TRESPASS ONTO ADJOINING PROPERTY.
- ANY NEW ROOFS SHOULD NOT TRESPASS ONTO ADJOINING PROPERTY.
- THIS DESIGN IS BASED ON CLIENT'S BRIEF & PREFERENCES, AS GIVEN TO A N DESIGN LTD



(EXISTING) GROUND FLOOR PLAN 1: 100mm



(PROPOSED) GROUND FLOOR PLAN

NB: PROPOSED FIRST FLOOR CONVERSION IS UNDER A DIFFERENT APPLICATION

NOTES

A1

BUILDER/CONTRACTOR SHOULD NOT SCALE FROM THIS DRAWING. SHOULD USE FIGURED DIMENSIONS ONLY. BUILDER/CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE BEFORE WORKS. ANY DISCREPANCY FOUND TO BE REPORTED TO A N DESIGNS LTD AS SOON AS POSSIBLE. THIS DRAWING OR ANY PORTION OF IT MAY NOT BE REPRODUCED.

REV	DATE	DESCRIPTION
DRAWING STATUS: PLANNING APPROVAL		

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CLIENT: SAVILE ENTERPRISE LTD,  
 11 HEADFIELD ROAD,  
 SAVILE TOWN,  
 DEWSBURY.  
 WF12 9JF

PROJECT: CONVERSION OF EXISTING GROUND FLOOR OF BUILDING INTO 4 Nr. APARTMENTS AT 2 BRIDGE STREET, BATLEY, WF17 5NU

TITLE: EXISTING SITE LOCATION PLAN, EXISTING FLOOR PLAN, ELEVATIONS, CROSS SECTION & ROOF PLAN,

SCALE IN MM @ SIZE A1: 1: 1250, 100mm @ A1 DATE: DEC. 2025

PROJECT No: YASIN-115	DRAWING No: PD-PL-01	REV: -
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