



Figure 1

HERITAGE STATEMENT

9 RILEY PARK KIRKBURTON

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CLIENT

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1.0 INTRODUCTION

1.1 PURPOSE

This statement has been prepared in the context of relevant national and local heritage planning policy. In particular, the statement is presented in accord with the national planning requirement of NPPF paragraph 128, to describe the significance of the affected heritage assets and the consequent impact of the proposed development.

This statement should be read in conjunction with the drawings and Design and Access Statement which provides further details of the proposals.

Specifically, the proposals for 9 Riley Park include:

- » The construction of a three storey 4 bedroom house.

1.2 NATIONAL PLANNING POLICY FRAMEWORK

The policies in the NPPF constitute the Government's view of what sustainable development in England means in practice. In these terms, development proposals which fail to give due weight to the conservation of heritage assets are deemed not to be sustainable development, and consequently should not be supported. This is because one of the key dimensions of sustainability is protecting and enhancing our historic environment (NPPF paragraph 7).

It will be clear that development within or adjacent to heritage assets will have some impact on its fabric or setting, and that it could be either beneficial or harmful. The fundamental design objective is to ensure that the balance of the impact on the heritage asset is demonstrably beneficial, minimising any negative impact on its significance. Consequently, development works are required to be justified by clear and convincing evidence of the impact. This report seeks to contribute to such evidence, demonstrating that the proposed works will result in either a beneficial impact or limited instances of "less than substantial harm" in terms of its physical or visual impact on the character and appearance of the conservation area and non-designated heritage asset.

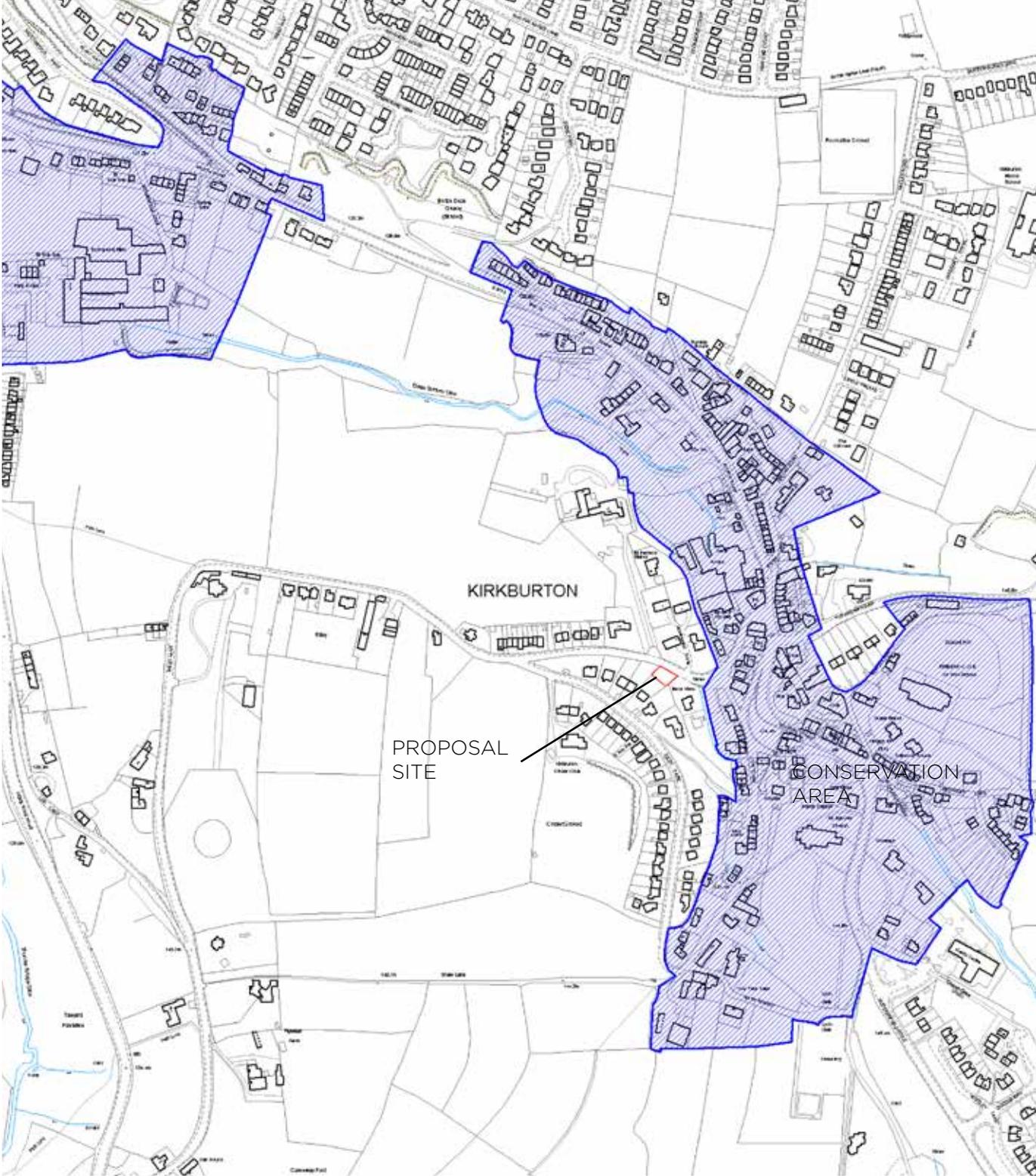


Figure 2

2.0 THE SITE

2.1 THE SITE AND STATUTORY DESIGNATIONS

Figure 1 illustrates the extent and the location of the subject site. The site for the proposed development forms part of the rear garden of 9 Riley Park is fronted by Riley Lane to the North and has an area of 0.0447 Hectares.

The development is located close to but not within the Kirkburton Conservation Area. There are no Listed Buildings on the site.

2.2 LISTED BUILDINGS

Statutory listing of buildings means that a building is of special architectural or historic interest and is therefore of heritage significance. Grading of listed buildings reflects their architectural and historic interest; Grade I buildings are of exceptional interest; Grade II* buildings are particularly important buildings of more than special interest; and Grade II buildings are of special interest.

There are no Listed Buildings on the site those closest are:

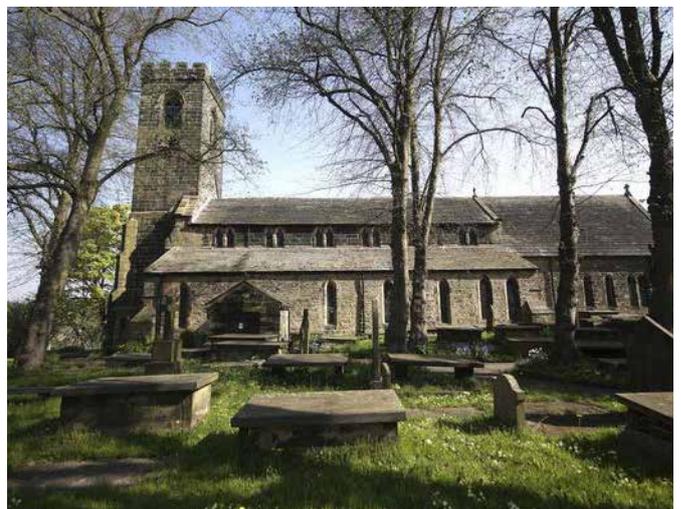
The Old Forge, George Street (List number 1420785) A Grade II listed vernacular building. See Figure 3

The Church of all Hallows, Huddersfield Road (List entry Number: 1313318) A Grade 1 listed church circa 1200 (nave, chancel and south aisle). See Figure 4

Figure 3



Figure 4



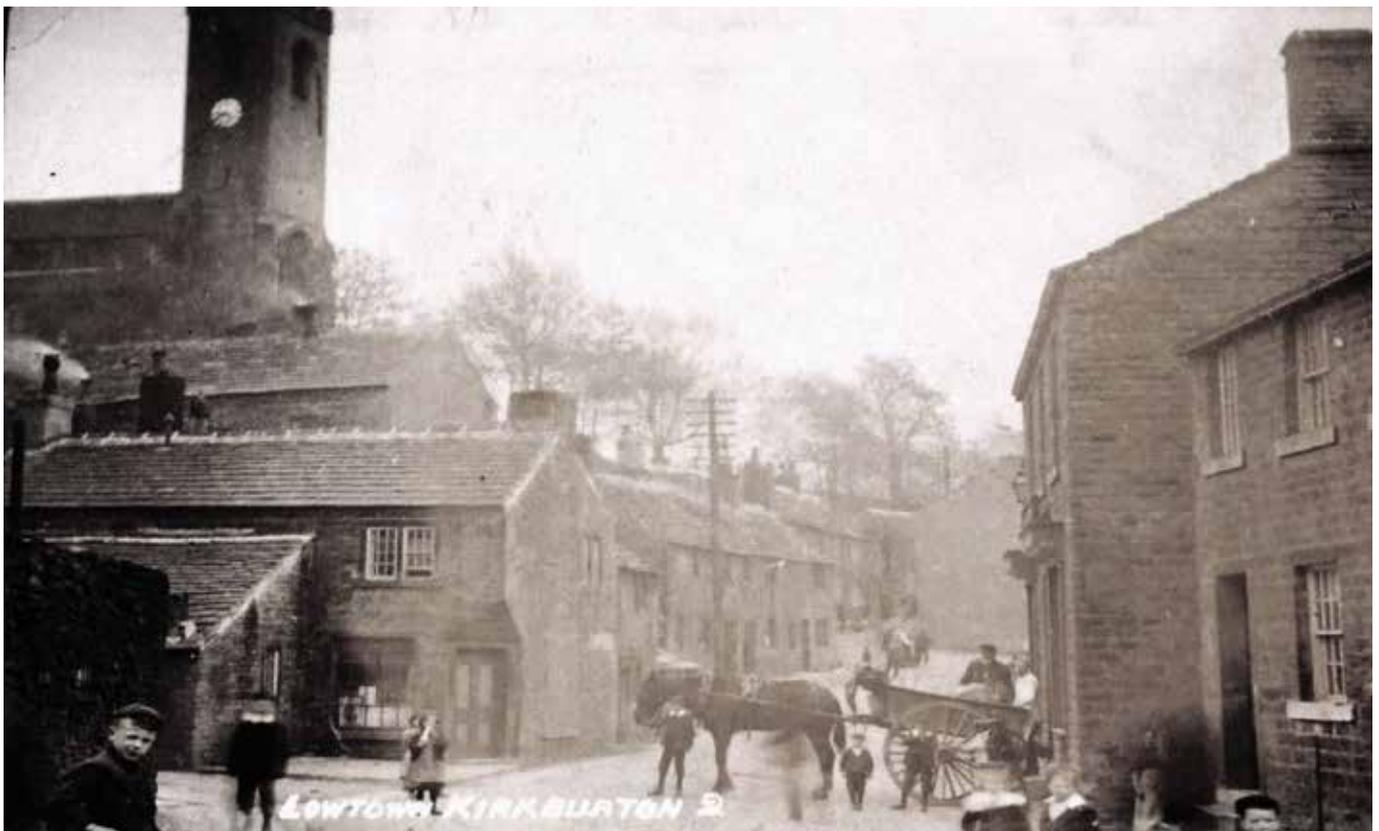
2.3 CONSERVATION AREAS

Conservation areas are designated areas that are deemed to have special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance.

The development is located close to the Kirkburton Conservation Area. Refer to Figure 2

The core of the old village, is characterised by groups of nineteenth century terraced cottages, shops and other buildings in a wooded valley setting; stone is the dominant material. Refer to Figure 5

Figure 5



3.0 IMPACT ASSESSMENT

3.1 IMPACT ASSESSMENT

The impact assessment identifies the impact of the proposed development on the key components of the identified heritage assets, calculating the results and justifying the proposed interventions by demonstrating an overall beneficial outcome. The effect of the proposed development on the integrity of the heritage assets and their significant components may be measured as: adverse; neutral; or beneficial. The scale of the overall impact of the proposed works in the significance of the heritage assets is evaluated as:

- **negligible** - no material change;
- **minor** - changes that only make a small difference to the ability to understand and appreciate the heritage assets or their setting and may be either adverse or beneficial. Such changes will impact on components of modest significance and sensitivity which are exposed to change of a slight to minor magnitude.
- **moderate** - a change that makes an appreciable difference to the ability to understand the heritage assets or their setting, either adverse or beneficial. Such changes will impact on components of moderate significance and sensitivity which are exposed to alteration of a large magnitude, or highly sensitive receptors exposed to change of a minor magnitude.
- **substantial** - these will be fundamental changes in the appreciation of the heritage asset or its setting, either adverse or beneficial. A substantial impact may be defined as the result of highly sensitive receptors exposed to change of a large magnitude.

TABLE 1- IMPACT ASSESSMENT		
HERITAGE ASSET	POTENTIAL IMPACT	ASSESSMENT
The Old Forge , George Street (List number 1420785) A Grade II listed.	The setting of the listed building could be affected by the proposed development.	The proposals are located approximately 100m away and are not visible from the Old Forge, there will be negligible impact on the setting of this listed building.
The Church of all Hallows , Huddersfield Road (List entry Number: 1313318) A Grade 1 listed church circa 1200	The setting of the listed building could be affected by the proposed development.	The proposals are located approximately 120m away and will not generally be visible from the Church, there will be negligible impact on the setting of this listed building.
Kirkburton Conservation Area	The character and appearance of the Conservation Area could be affected by the proposed development.	The proposals are located approximately 20m away from the edge of the Conservation Area. The scheme is predominantly constructed in stone. Its massing and landscaping will not detract from the wooded valley setting. In general the proposals will make no difference to the ability to understand and appreciate the conservation area therefore will have negligible impact.

4.0 SUMMARY

4.1 CONCLUSION

- The proposed development site is located to the rear of 9 Riley Park Kirkburton. It contains no heritage assets. It is located close to the Kirkburton Conservation area. The closest Listed buildings are the Old Forge and The Church of All Hallows.
- The form, massing and materials of the proposed development will complement the Conservation Area.
- It is considered that the development will have a negligible impact on the above heritage assets.
- The proposals comply with national and local planning policies, regarding the historic environment.