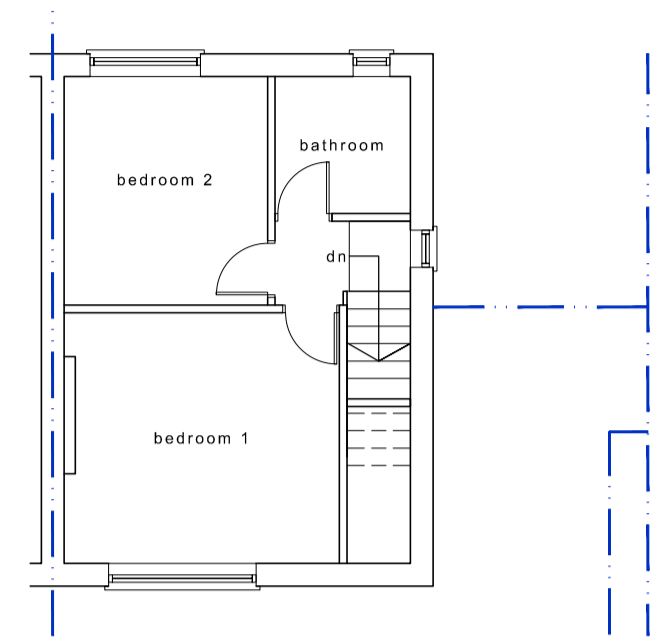
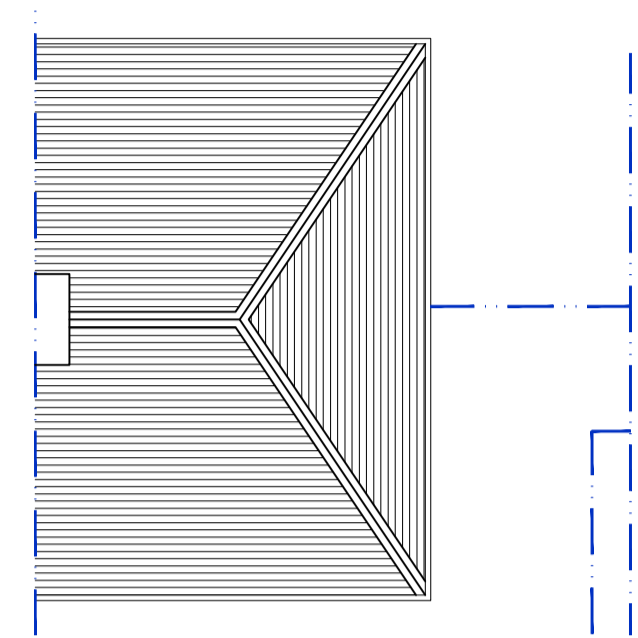


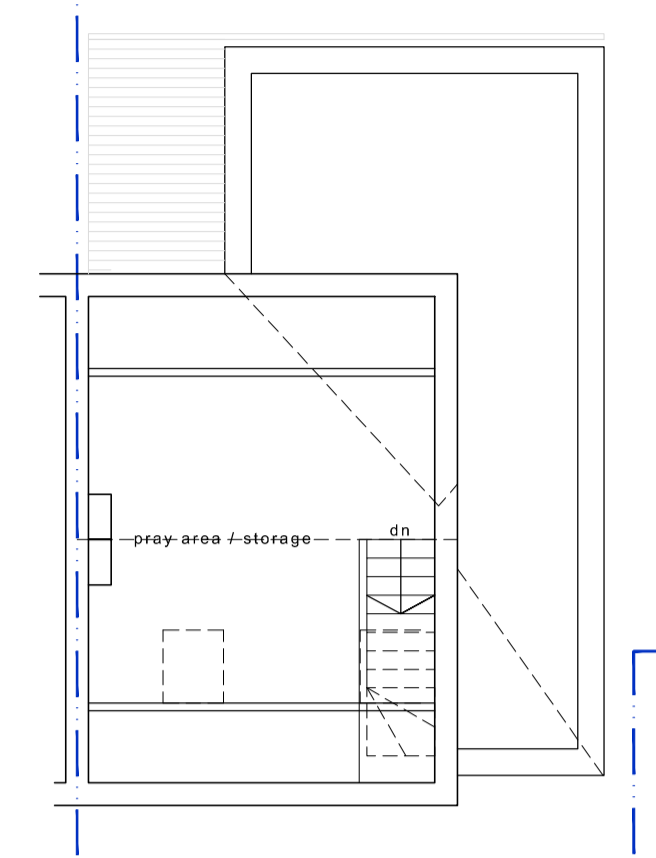
**EXISTING GROUND FLOOR PLAN**  
Scale 1:100@A1



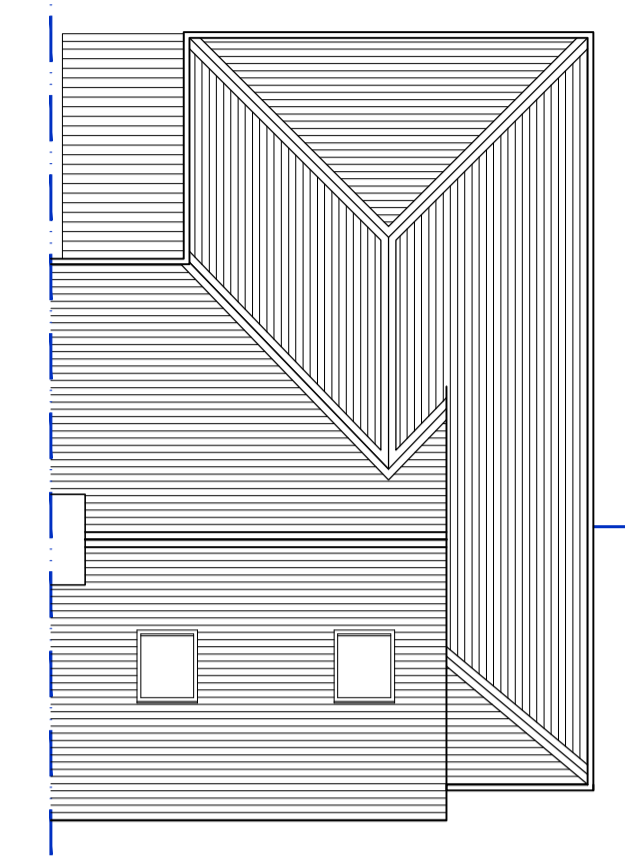
**EXISTING FIRST FLOOR PLAN**  
Scale 1:100@A1



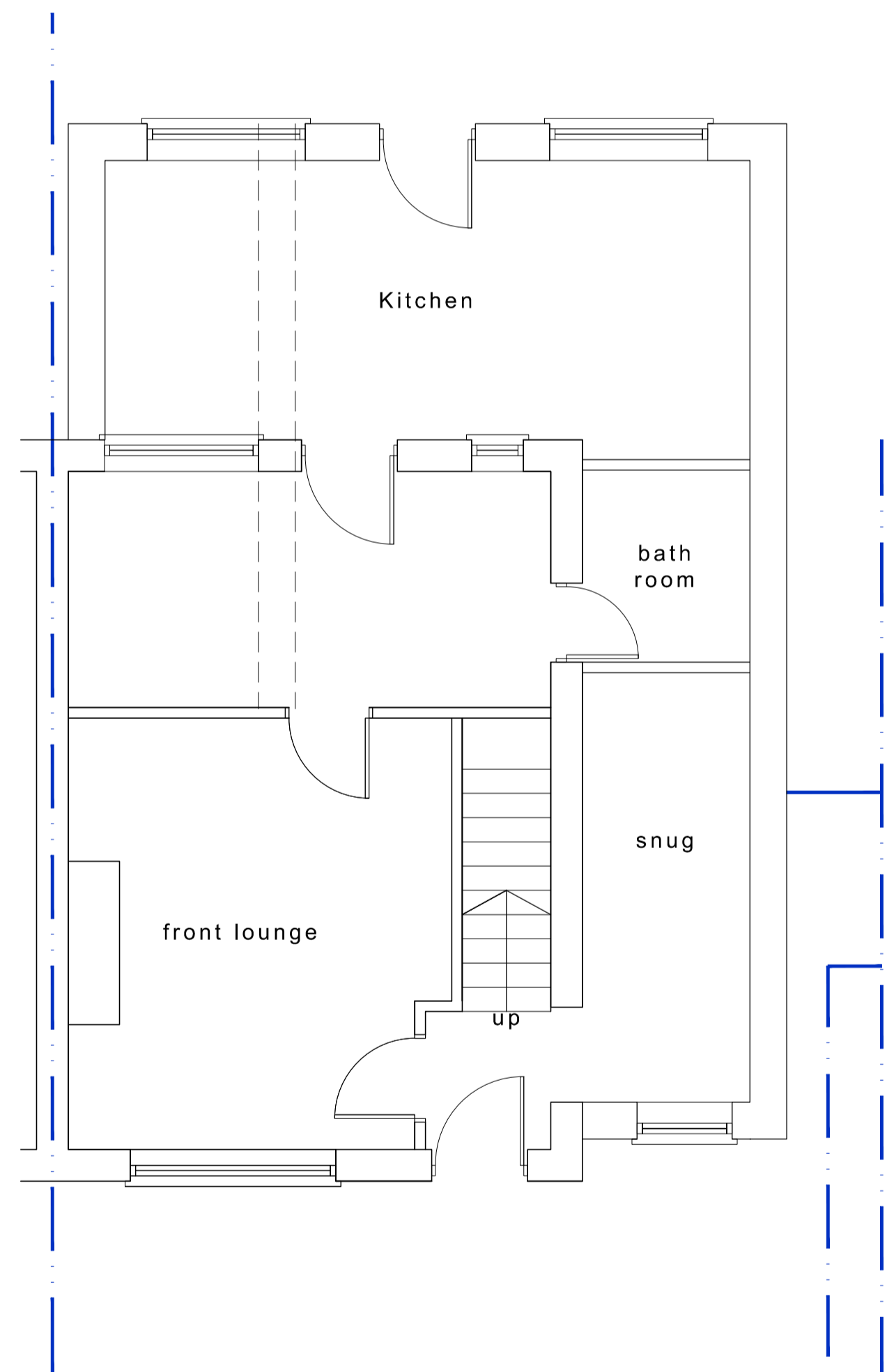
**EXISTING ROOF PLAN**  
Scale 1:100@A1



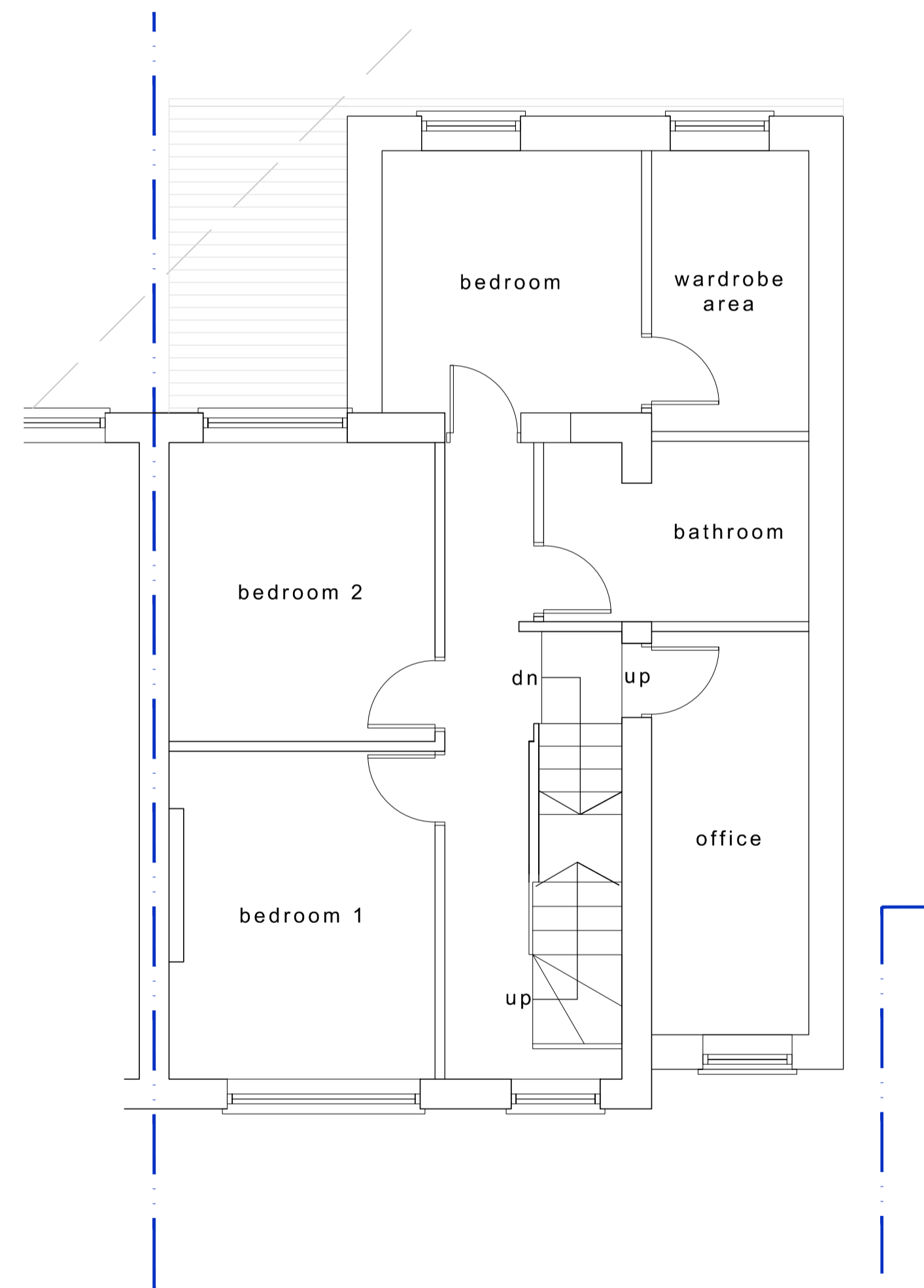
**PROPOSED LOFT PLAN**  
Scale 1:100@A1



**PROPOSED ROOF PLAN**  
Scale 1:100@A1



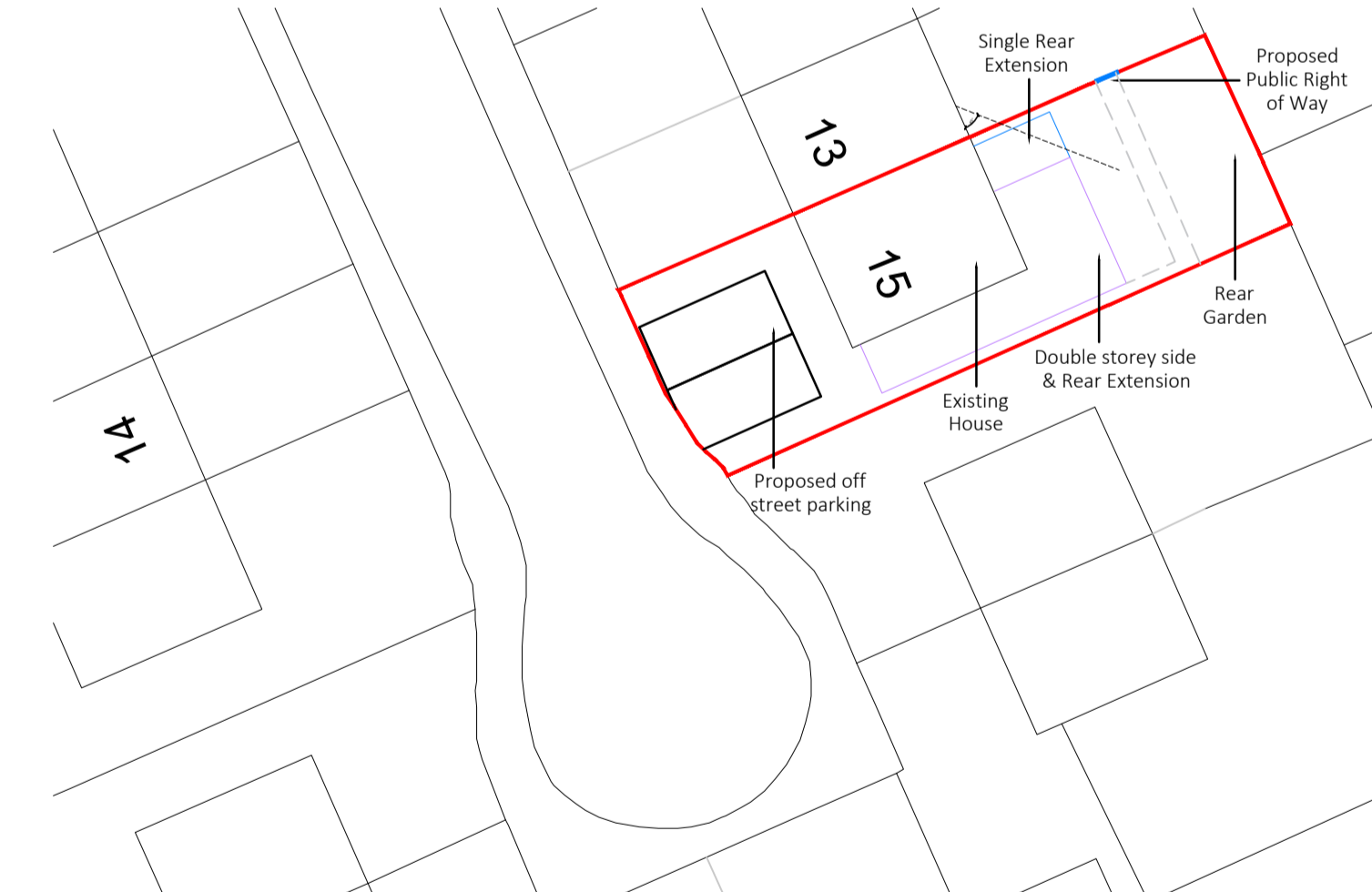
**PROPOSED GROUND FLOOR PLAN**  
Scale 1:50@A1



**PROPOSED FIRST FLOOR PLAN**  
Scale 1:50@A1



**EXISTING SITE PLAN**  
Scale 1:250@A1



**PROPOSED SITE PLAN**  
Scale 1:250@A1

Rev - : dd-mm-yyyy : Issue  
Drawing Number **23-001 - PL - 08**

NOTE: Do not scale drawing. Work to figured dimensions. This drawing has been prepared for planning purposes only and is to be read in conjunction with all other relevant specialist drawings, details and specifications. All works are to be carried out in accordance with the latest edition of the Building Regulations and any amendments, together with all relevant British Standards and codes of practice. All dimensions unless noted otherwise are in millimetres. All dimensions and levels are to be checked by the contractor on site prior to order, fabrication or commencement of work on site. Contractor to check and satisfy himself of the positions of all existing statutory authorities mains services on and around site. All materials and proprietary items are to be fixed / installed / applied in strict accordance with the respective manufacturers recommendations. At all stages of work, the contractor will be responsible for and must ensure the overall stability of all buildings, structures and excavations etc. is maintained. During the construction works all existing live drainage is to be adequately protected and normal flows maintained.

Issue Purpose : **NMA Application**

Client	N/A	Drawn	N/A
Project	Double Storey Side and Rear Extensions with hip to gable roof under p.d	Date	05-03-2024
		Scale	1:50, 100, 250 @ A1

Address 15 Kipling Close, Huddersfield, HD4 5HA

Title Existing and Proposed Plans