

**Drawing Notes**

This drawing is based on the following sources of information, and must be checked and reviewed against all project information.

- Site layout by AHJ Architects ref: 2539-D-20-002 Rev J
- OS files contained within the site layout
- Tree Root Protection Zones contained with the site layout.
- Topographic survey by LMS Geomatics Engineering Ltd ref: LMS0221\_PPJ\_TS\_01A
- Site entrance drawing by Bryan G Hall ref: 18-412-SKH-001 Rev K BOUND
- Existing manhole invert levels as provided by the client.

**Key**

- Indicative Site Boundary
- Indicative Ownership Boundary
- XXXX Finished floor level/DPC Level. Refer to architects details.
- Existing Tree RPA as per Arboricultural report. All existing trees to be removed except those indicated as retained. All planting to be min 5m away from drainage assets, unless specialist protection provided.

**Combined Water Drainage Legend**  
(Dimensions are approx. internal sizes)

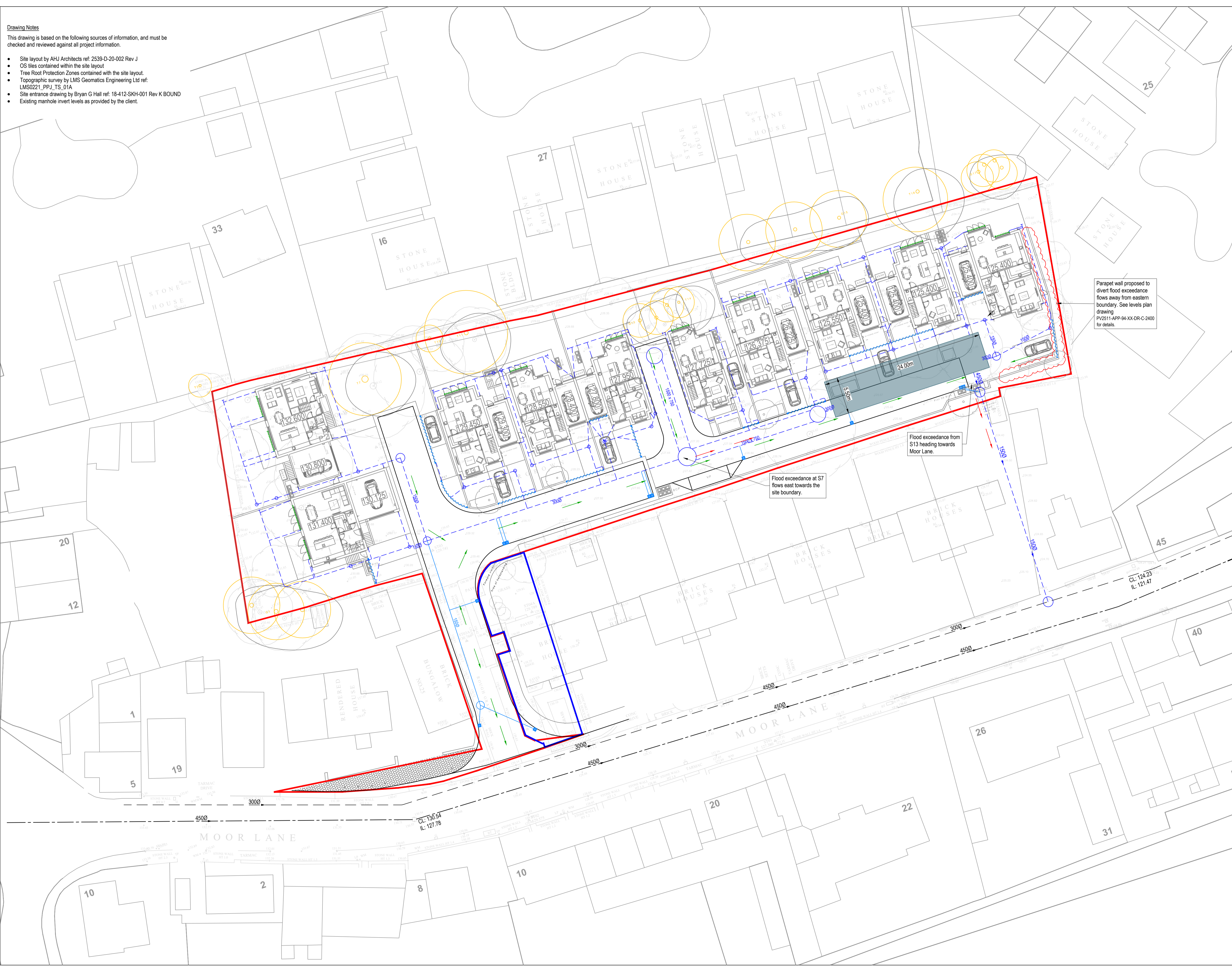
- Existing Combined Water Sewer

**Foul Water Drainage Legend**  
(Dimensions are approx. internal sizes)

- Existing Foul Water Sewer

**Storm Water Drainage Legend**  
(Dimensions are approx. internal sizes)

- Existing Storm Water Sewer
- New Private Storm Water Drain 1000 unless otherwise stated.
- New Storm Water PCC Manhole 1200 dia (unless stated otherwise) up to 3000mm deep.
- New Private Storm Water Inspection Chamber 450mm dia. polypropylene up to 3000mm deep. 300mm catchpit required where CP annotated.
- New Rodding Eye
- New Road Gully
- Linear ACO drain with silt bucket.
- Low threshold drain as per architectural specification.
- Attenuation Tank
- Overland flow path
- Flood exceedance path



|     |  |               |                |                 |                 |
|-----|--|---------------|----------------|-----------------|-----------------|
| P06 | Drainage updated to reflect site layout received on 11.05.26.                                  | MA            | 14/02/26       | -               | -               |
| P05 | Flood exceedance route updated to reflect plot 10 external levels changes.                     | MA            | 19/02/26       | LF              | LF              |
| P04 | Updated to reflect drainage outfall changes.   | MA            | 10/12/25       | -               | -               |
| P03 | Outfall revised following dye testing. Tank geometry and associated drainage adjusted to suit. | MA            | 01/11/25       | -               | -               |
| P02 | Flood exceedance path adjusted at eastern boundary to suit topographic survey.                 | MA            | 13/11/25       | -               | -               |
| P01 | First issue.   | MA            | 26/09/25       | ZS              | ZS              |
| Rev | Details  | Author & Date | Checked & Date | Approved & Date | Approved & Date |

**align PROPERTY PARTNERS**

Client  
PPJ Developments

Project Name  
Land rear of 23-43 Moor Lane, Gomersal, Cleckheaton, BD19 4LF

Drawing Title  
Flood Exceedance Plan

Purpose  
S3 - For Comment

|               |            |            |            |
|---------------|------------|------------|------------|
| Scale         | Drawn      | Checked    | Approved   |
| 1:250         | MA         | ZS         | ZS         |
| Original Size | Date       | Date       | Date       |
| A1            | 26/09/2025 | 26/09/2025 | 26/09/2025 |

Drawing Number  
PV2511-APP-92-XX-DR-C-2501

Rev. P06

© 2024 Align Property Partners Ltd