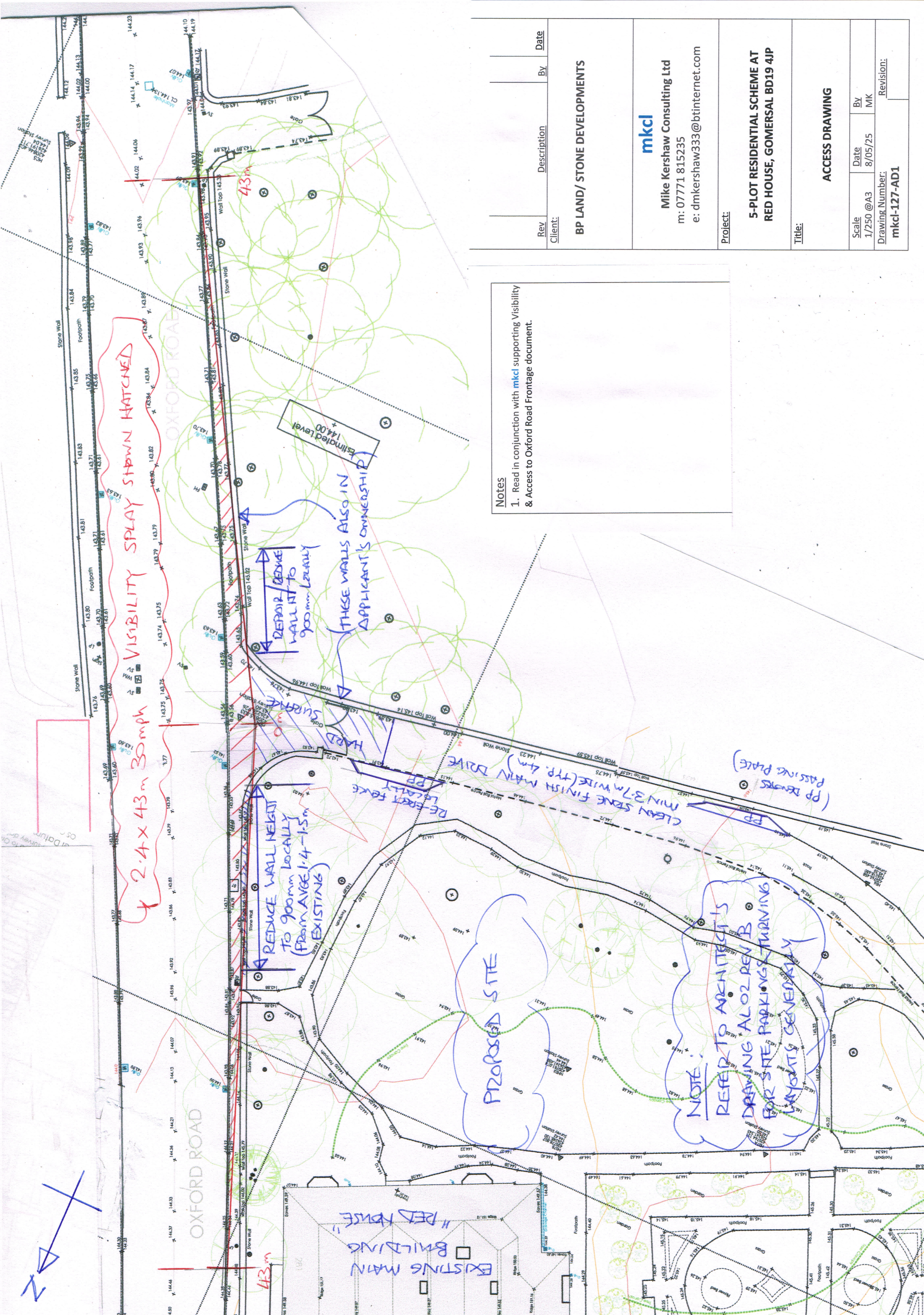




VISIBILITY SPLAY SHOWN HATCHED

2.4 x 43m 30mph

REDUCE WALL HEIGHT TO 900mm LOCALLY (FROM AVE 1.4-1.5m EXISTING)

REPAIR/REDUCE WALL HT TO 900mm LOCALLY

THESE WALLS ALSO IN APPLICANT'S OWNERSHIP

PROPOSED SITE

EXISTING MAIN BUILDING "RED HOUSE"

CLEAN STONE FINISH MAIN DRIVE MIN 3.7m WIDE (TYP. 4m)

NOTE: REFER TO ARCHITECT'S DRAWING AL02 REV B FOR SITE PARKINGS TURNING LAYOUTS GENERALLY

(PP DENOTES PAVEMENT)

Notes

1. Read in conjunction with **mkcl** supporting Visibility & Access to Oxford Road Frontage document.

Rev	Description	By	Date
<u>Client:</u>			
BP LAND/ STONE DEVELOPMENTS			
mkcl			
Mike Kershaw Consulting Ltd			
m: 07771 815235			
e: dmkershaw333@btinternet.com			
<u>Project:</u>			
5-PLOT RESIDENTIAL SCHEME AT RED HOUSE, GOMERSAL BD19 4JP			
<u>Title:</u>			
ACCESS DRAWING			
Scale	Date	By	Revision:
1/250 @A3	8/05/25	MK	
<u>Drawing Number:</u>			
mkcl-127-AD1			