

Notes:

The drawings are the copyright of CKA Yorkshire. The drawings must not be scaled from. The contractor should take and verify all dimensions on site before proceeding with any works. All dimensions shown on the drawings are for Planning purposes only.

All dimensions must be checked onsite prior to works commencing, variations in squariness, depth of plaster etc. must be checked for.

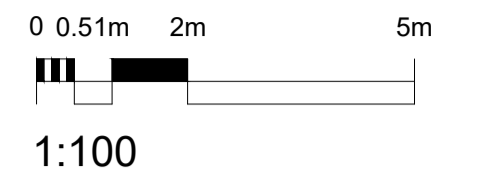
Where new walls are shown aligned with existing walls, this must be checked by the physical removal of brickwork and or plaster to establish the actual position of the wall being attached to.

Site to be used only for demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Attention is drawn to the client with regard to the CDM 2015 regulations. These drawings and specification are intended for Planning & Building Regulation purposes only, the scope of this does not go any further. It is the duty of the client under the regulations to appoint a Principal Contractor. There is no obligation for the client to appoint a Principal Designer. The Principal Contractor will then take on the role of Principal Designer for purposes of the 'pre construction' and construction phases of the project under the CDM 2015 regulations when it gets under way, in order that a Health & Safety File and construction plan, is provided for the HSE, in order to reduce risks through the design processes of construction etc.

Unless appointed to do so, CKA Yorkshire will not assume the role of Principal Designer once work starts on site. The Principal Contractor will take on the role and responsibilities of Principal Designer.

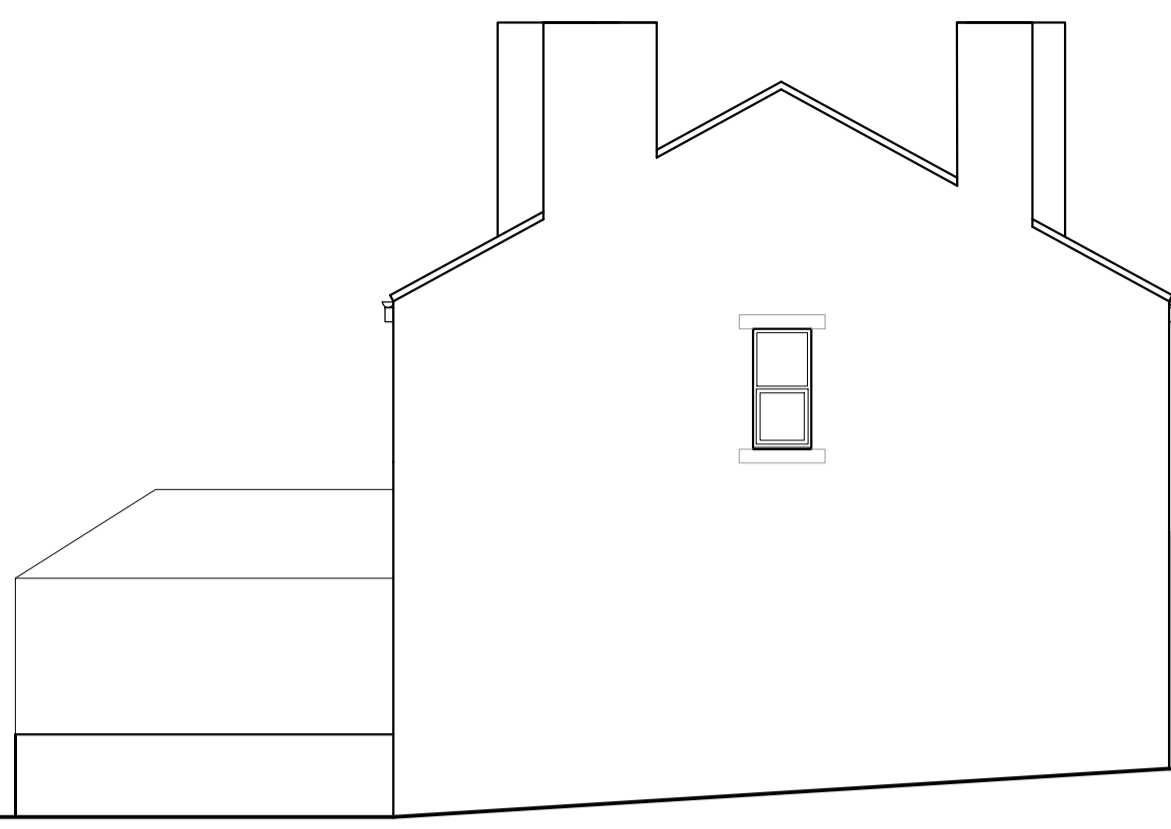
THIS DRAWING IS NOT A SITE / CONSTRUCTION / WORKING DRAWING ISSUE
Essential planning / building regulations drawings only, client to appoint Principal Contractor (builder) who is responsible for pre construction and construction checks / design changes to suit on-site sizes / conditions.



Side Elevation
As Proposed



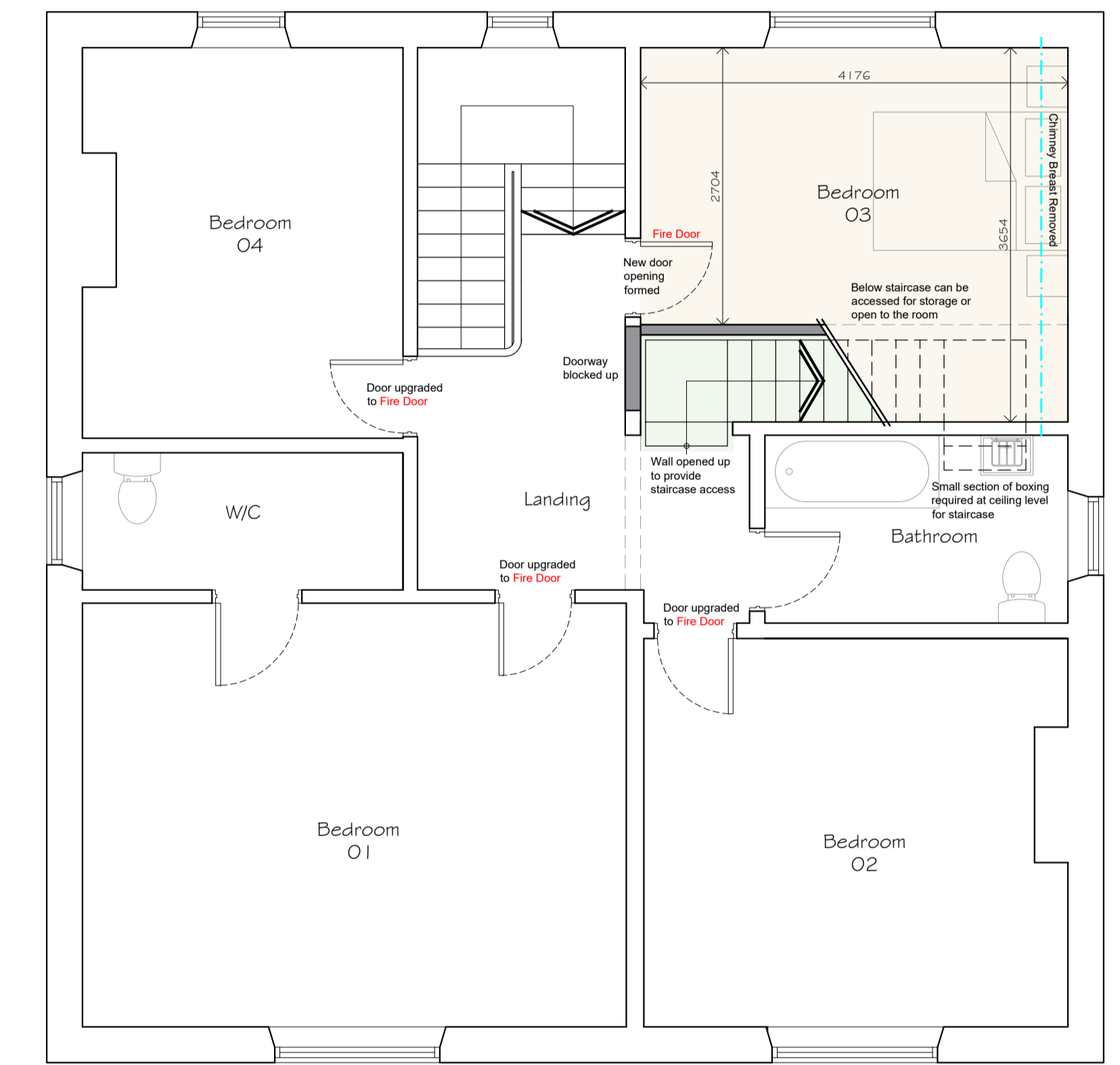
Rear Elevation
As Proposed



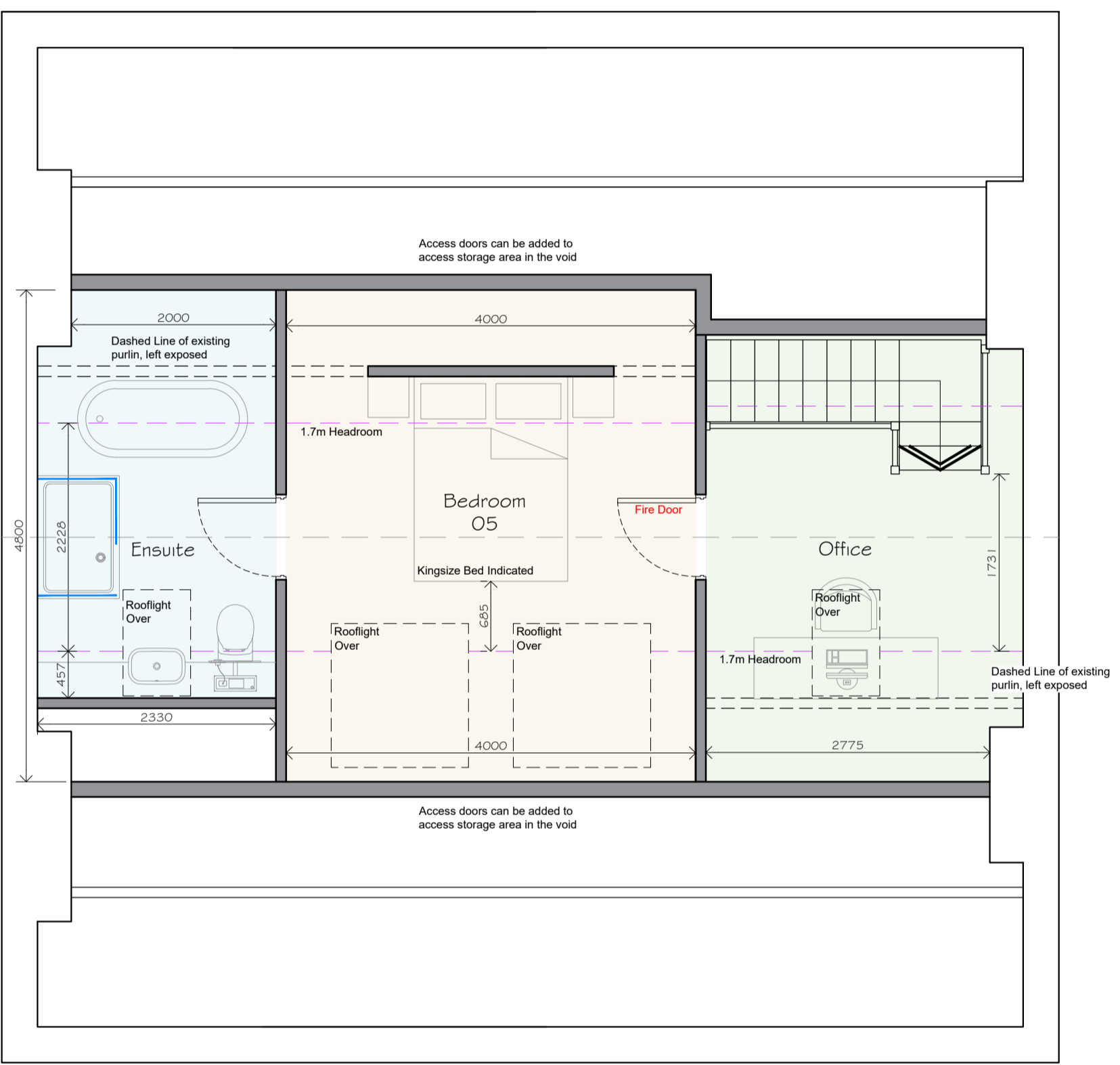
Side Elevation
As Proposed



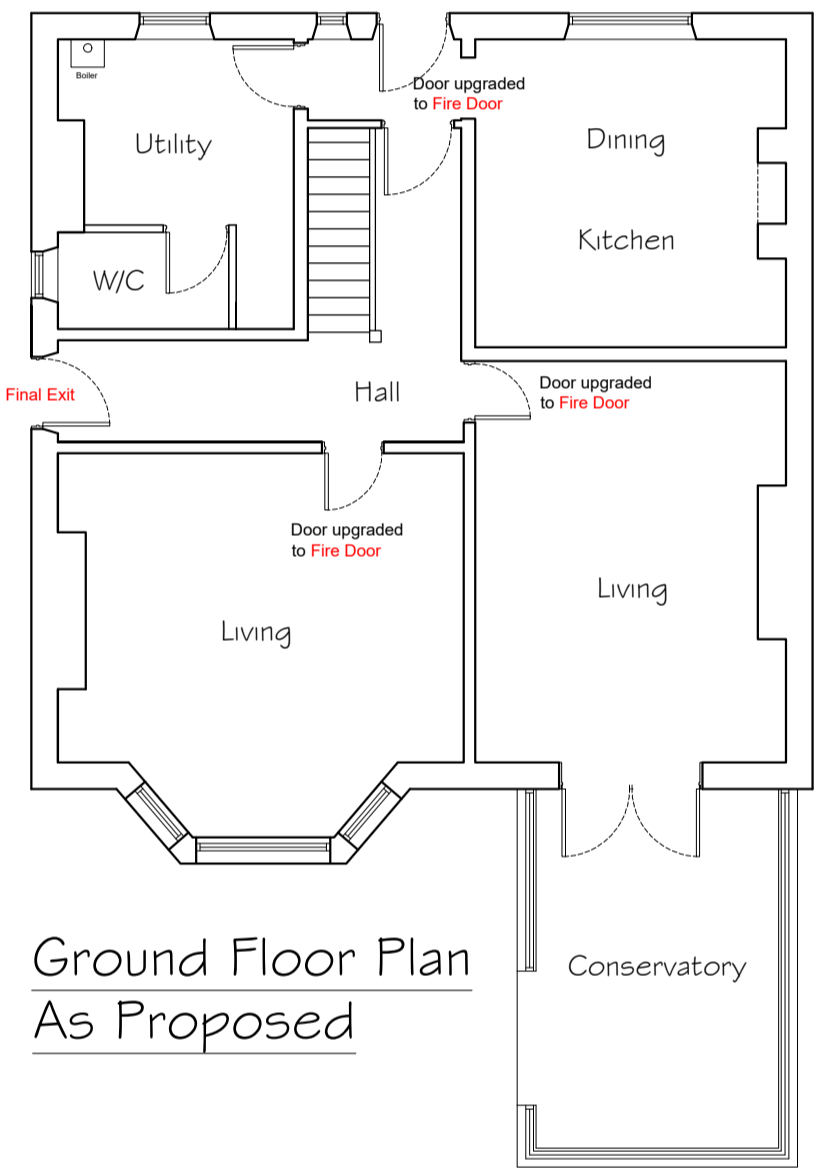
Front Elevation
As Proposed



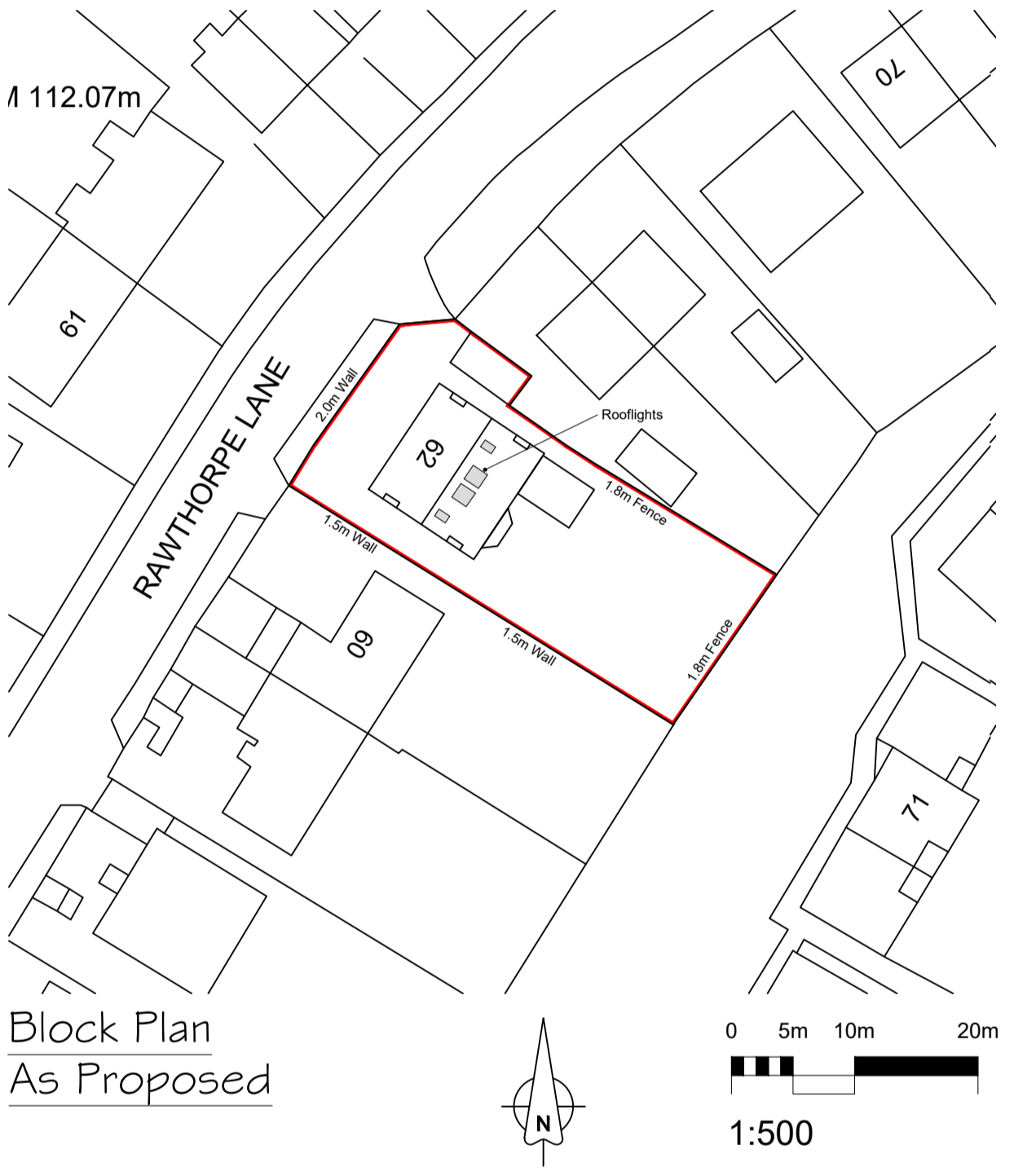
First Floor Plan
As Proposed



Second Floor Plan
As Proposed



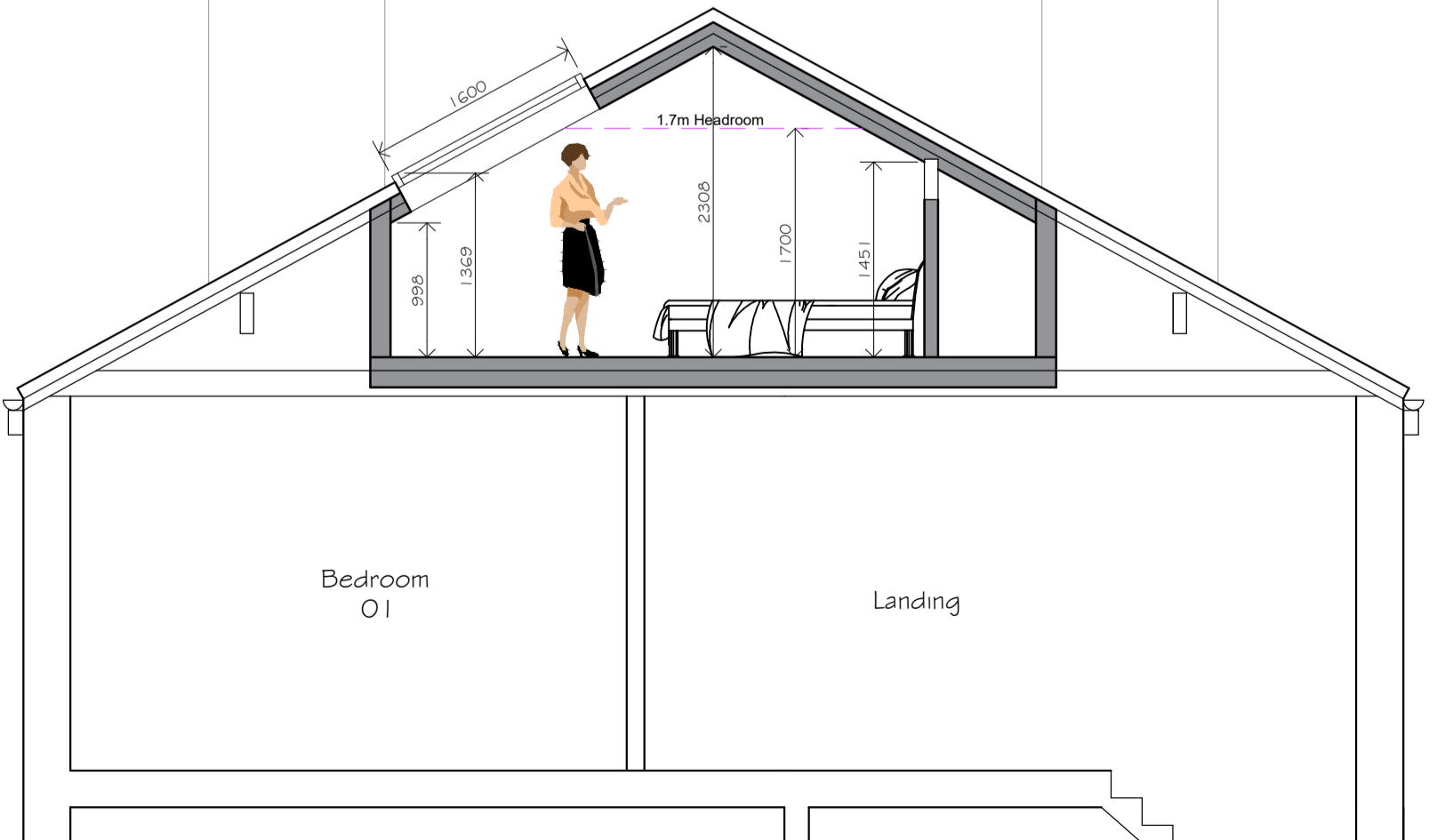
Ground Floor Plan
As Proposed



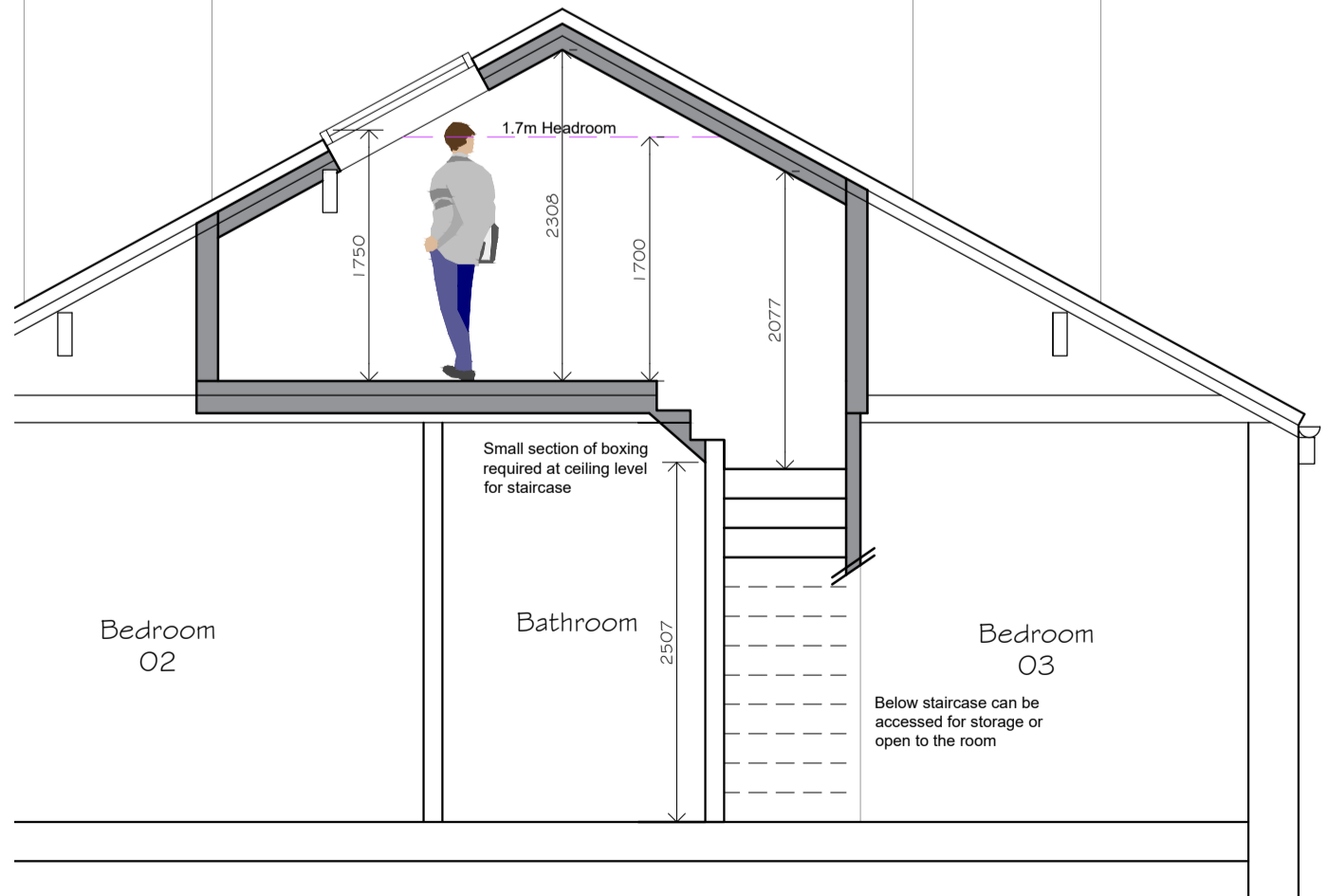
Block Plan
As Proposed

SYMBOLS, HATCH & LINETYPE KEY

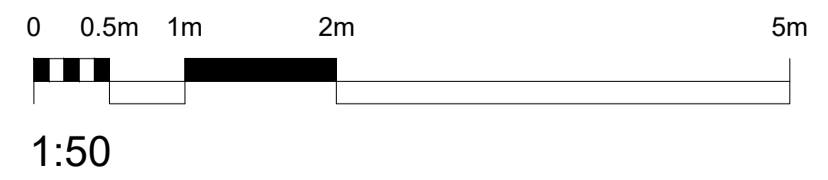
- WARNING SIGNIFICANT HAZARD OR INFORMATION WHICH IS USEFUL
- ACTION (DO)
- AVOID OR REFRAIN FROM (DONT)
- ON-SITE MEASUREMENTS REQUIRED
- RELEVANT INFORMATION
- STRUCTURAL ENGINEER ITEM
- BUILDING CONTROL ITEM
- BRICK
- CONCRETE
- BLOCK
- SAND
- HARDCORE
- PROPOSED
- GLAZING
- OBSCURE GLASS
- BOUNDARY
- FOIL DRAINAGE
- DRAINAGE
- INSULATION
- DPM, DPC, VCL, FLASHING
- STRUCTURAL BEAMS
- DEMOLITION AREAS



Bedroom Section
As Proposed



Staircase Section
As Proposed



DATE	NOTES	BY	REV
21/08/23	Certificate of Lawfulness	JGR	A



PROJECT TITLE Proposed Loft Conversion	CLIENT WESTON 62 Rawthorpe Lane, Dalton, HD5 9NU
DRAWING STAGE Planning	SCALE 1:50 / 1:100 @ A1
SHEET TITLE Plans as Proposed	PROJECT NUMBER HD-0351
	CHK BY JDA
	DRAWN BY JGR
	STAGE PLN
	REV A
	SHT 002