

# Heritage Statement

26 Westgate  
Honley  
West Yorkshire

August 2025



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Document	26 Westgate Heritage Statement
Client	Miss M Wilson
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Prepared By	JMS
Checked By	HB
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Notes	

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## 1.0 Introduction

This statement has been prepared by Open House Architects on behalf of Miss M Wilson in support of a Listed Building Consent and Change of Use application for 26 Westgate, Honley. This statement should be in conjunction with the other documents and drawings submitted as part of the application.

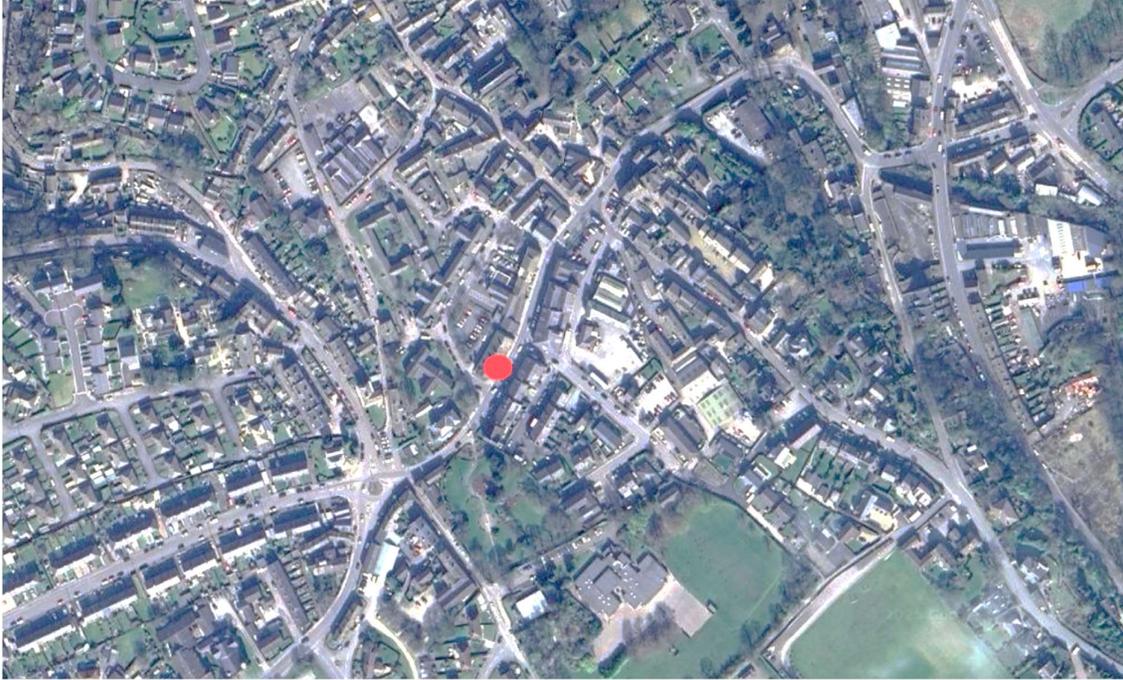


Figure 1: Satellite image showing the village of Honley (site marked in red) (source: Google)

## 2.0 Site Description

26 Westgate is a two-storey, stone-built, mid-terrace property dating from the early Victorian period. The property is located on Westgate which forms one of the principal shopping streets in the village of Honley. The property is an example of 'back-to-back' housing with only one elevation and entrance. There are 4 floors within the building: a cellar (part of which extends underneath the property to the rear); ground floor; first floor; and attic space. The first and attic floors have been sub-divided into smaller rooms and bathrooms. Externally the property has stone walls and a stone slate roof. There are two large windows on the ground floor with ashlar stone lintels, jambs and cills. At first floor level there are two sets of windows, each with 3no. lights. These windows have similar ashlar surrounds to those at ground floor level. All of the window frames are uPVC and, additionally, there is a velux-style rooflight in the attic. The property is accessed via an external set of stone steps leading up from street level to the ground floor. The entrance door is uPVC with the original stone jambs and lintel covered with cement render. Rainwater goods are formed from cast iron and painted black, and a large

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soil/vent stack rises between the sets of windows on the elevation. 26 Westgate is Grade II listed along with the other properties in terrace.

## 2.1 Listing Description

Heritage Category:

### Listed Building

Grade:

**II**

List Entry Number:

**1134769**

Date first listed:

**04-Aug-1983**

List Entry Name:

**24,26,28, WESTGATE, 1,2,7, LUPTON SQUARE**

Statutory Address 1:

**1,2,7, LUPTON SQUARE**

Statutory Address 2:

**24,26,28, WESTGATE**

### The scope of legal protection for listed buildings

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

### Location

Statutory Address:

**1,2,7, LUPTON SQUARE**

Statutory Address:

**24,26,28, WESTGATE**

The building or site itself may lie within the boundary of more than one authority.

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District:

**Kirklees (Metropolitan Authority)**

Parish:

**Holme Valley**

National Grid Reference:

**SE 13810 11890**

**Details**

SE 1311 WESTGATE 10/382 (Honley)

Nos 24, 26 and 28 (Westgate) and 1, 2 and 7 (Lupton Square)

II

Part of terrace, back to back. Early C19. Hammer dressed stone. Stone slate roof. Two storeys. South-east elevation: 4 entrances (one blocked) with steps. Each dwelling has either 2 single lights or one 2-light stone mullioned window. First floor: two 3-light stone mullioned windows to each dwelling (two 2-light and 4 and 5-light stone mullioned windows, with some alterations and some mullions removed). First floor: two 3-light stone mullioned windows to each dwelling, some mullions removed. North-east gable: 2 entrances to ground floor. Loading door to attic (part blocked) and 2 blocked lights.

Listing NGR: SE1381011890



Figure 2: 1854 Ordnance Survey map showing Honley (site marked with red circle)  
(source: National Library of Scotland)

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## 2.2 Existing Condition

26 Westgate, Honley retains much of its existing external historic character as described in the listing description above. Internally the building has been subject to significant alteration in line with the previous occupants and changes of use (see Design & Access Statement for further details). The property represents a surviving example of 'back-to-back' housing whose footprint has not been altered and the wider block of properties can be clearly seen on the 1854 Ordnance Survey map.

## 3.0 Proposals

This application seek to alter the use of the building from a residential home to a commercial property. The intended use of the commercial property is as a beauty salon with several treatment rooms and ancillary spaces for staff and storage.

The proposed alterations are intended to represent a light 'strip out' of much of the domestic fixtures and fittings which were inserted by the previous occupants. Historically the cellar was accessed via a staircase immediately below the ground to first floor one. The original cellar stairs have been poorly maintained, and, at present, access is limited. It is the client's intention to modify and refurbish the existing cellar stair in order to provide suitable access from the ground floor. To create the entrance to the stairway, a section of the supporting timber wall to existing ground to first floor staircase will have to be removed although it does not appear that this fabric is historic. The cellar is currently unused, but it is proposed that the walls and floor will be lined with timber stud to make them habitable. This dry-lining process will have minimal impact on the existing fabric of the building, and the new timber studwork can be removed if required in the future.

The ground floor will be subdivided to form two spaces, a reception area and a smaller treatment room to the rear. The treatment room will be created by installing a lightweight glazed partition which could be removed in the future. The creation of a second space on the ground floor does change the space's original composition but the use of a glass partition will still allow the original room proportions to be seen.

On the first floor, there are no alterations to the current floor plan; the two existing bedroom spaces will be utilised as treatment rooms. In order for these spaces to function as treatment rooms, new fitted cabinetry and sinks will be installed. These items can be easily removed and will have a minimal impact on any historic fabric. The existing bathroom was installed by the previous owner and will be refurbished with more modern sanitaryware.

As with the first floor, there will be minimal changes to the attic room. Most of the changes are cosmetic however, the existing timber balustrade to the top of the stairs will be removed and replaced with a glass one. The existing timber balustrade is modern and there will be no loss of historic fabric.

During the initial survey of the building, it was noted that the first and attic floors are covered with historic floorboards. It is the client's intention to retain these and protect them by overboarding with plywood which can then be tiled to provide a more hygienic surface. The overboarding will be reversible and it should have minimal impact on the historic fabric.

Externally it is proposed that the existing modern door be replaced with a new painted timber door in a 'cottage' style. The existing uPVC windows will be carefully removed and replaced with new timber ones. Following discussions at pre-app stage with the local authority conservation officer and research undertaken by Open House Architecture, the ground floor windows will be replaced with



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vertical sliding sash windows, and the first floor windows will have 2no. fixed lights and a central opening casement in each set of three. The new door and windows will be painted 'Pebble Grey' (RAL 7032). In keeping with the property's return to a commercial use, it is proposed that a new hanging sign be installed above the entrance door. This will be mounted on a wall bracket and there are several, similar examples on Westgate. The sign will be painted 'Pebble Grey' to match the doors and windows and the bracket will be black to match the other metalwork on the elevation. It is the client's intention to install 2no. new external lights, one either side of the entrance door to provide illumination for the entrance steps. The lights are to be small, minimal fittings and fixing holes will be drilled into the mortar gaps rather stone. Due to the change of use and the use of the first floor rooms as treatment rooms, the client intends to cover the windows with frosted privacy film. The same film will also be used on the ground floor windows but only on the lower panes to allow more natural light to enter the building's interior. The privacy film is internally applied and can be easily removed.



Figure 3: Postcard c.1900 of Westgate; number 26 is to the left of the image.  
(source: 'Honley History' local history group)

#### 4.0 Historic Significance

26 Westgate and the adjoining properties represent a surviving example of early Victorian industrial housing. The property has undergone several changes of use over its lifetime as Honley has developed as a town; what was once a worker's cottage overlooking open fields is now proposed to be a small independent business on a busy, characterful high street. The proposed alterations to the exterior of the building are designed to identify the property as a commercial business as there are still some residential properties on the street. The replacement of the existing uPVC windows is designed to redress the loss of historic fabric which occurred under previous owners and help to enhance the historic character of the building. The proposals are modest in scale and are thoughtful interventions designed to link the historic character of the façade with the modern business inside.

Due to the changing use of the building over its lifetime, there is little surviving historic fabric in the interior of the building. The proposed alterations have been designed with a 'light touch' approach and

very little historic fabric will be damaged or lost. There will be a small amount of demolition work required to insert a new staircase between the ground floor and cellar, but this should not impact the understanding of the building as the stair is being reconstructed in its original position. The client is very aware that surviving historic fabric, where it is inappropriate for the modern use of the building, must be protected and as such, the development seeks to cover the historic floor coverings and preserve them for future generations. The insertion of a new treatment room on the ground floor will disrupt the historic proportions of the rooms but the use of glazing will ensure that the ground floor can still be read as a distinct historic entity.



Figure 4: Detail from Figure 3 showing 26 Westgate (note the sliding sash windows to the ground floor).

## 5.0 Conclusion

The proposed change of use and internal alteration of 26 Westgate, Honley seek to repurpose the property as a commercial premises which can be used as a beauty salon. The proposed change will have a minimal, or no, impact on the surviving historic fabric of the building and its outward appearance be enhanced with the insertion of timber windows and doors on the principal elevation.

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