

METHOD STATEMENT

In support of an application to discharge conditions 3 and 5 of application ref. 2022/70/93907/W

Proposal: Listed building consent for conversion and subdivision of existing buildings to form 6 dwellings and demolition of link building

Site address: Acre House, Acre Street, Lindley, Huddersfield, HD3 3EA

Client: North Point Living Developments Ltd

Date: May 2025

Revision: 0

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HPD

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1.0 INTRODUCTION

This Method Statement has been prepared on behalf of North Point Living Developments Ltd (the Applicant) in support of an application to discharge conditions 3 and 5 of application ref. 2022/70/93907/W, granted 24 January 2023. A room reference plan is included at appendix 1 and photographs at appendix 2.

2.0 CONDITION 3: MAKING GOOD FOLLOWING REMOVAL OF LINK EXTENSION

3. Prior to the commencement of demolition works, a detailed method statement shall be submitted, detailing how the historic fabric shall be restored/ conserved following the removal of the link extension. The building shall be restored in accordance with the approved method statement and thereafter retained as such.

Reason: To ensure that the development would enhance the character and setting of the Listed Building to accord with Policies LP24 and LP35 of the Kirklees Local Plan and policies within chapter 16 of the National Planning Policy Framework.

As illustrated by the existing floor plans (no. 0201) there is a large opening in the north elevation of Acre House where it adjoins the link extension proposed for removal.

Inner Leaf & Cavity

Make good opening to inner leaf of Acre House with red brick tooth-bonded into existing masonry.

To minimise structural works/ risk retain existing structural lintels to openings, subject to Structural Engineer and Building Control agreement.

Include stainless steel cavity wall ties, cavity trays, damp proof course and mineral wool insulation in accordance with Building Regulations. Insulation to accord with condition 8 of application ref. 2022/70/93907/W.

Cavity tray weep holes over openings to be buff in colour, small, and kept to a minimum number (photo K).

Finish new internal brickwork with a traditional lime-based plaster consisting of scratch coat, float coat, and top coat.

Outer Leaf

Make good opening to outer leaf of Acre House with reclaimed natural stone tooth-bonded into existing masonry. Stone to match existing in terms of coursing, colour and texture.

The existing stone to the rear west elevation of the link extension (photos D and E) is well matched and provides a good source of supply for making good much of the opening. A further source of supply is the stonework removed from the outbuilding to create new window and door openings.

Contractor to obtain, sort and thoroughly mix a sufficient quantity of matching reclaimed stone before starting work on making good opening.

Remove all existing structural lintels to openings, which would otherwise be visible externally. Incorporate damp proof course in accordance with Building Regulations.

New Openings

Utilise reinforced concrete lintels to inner leaf of masonry.

Utilise sawn natural stone lintels and sills to outer leaf of masonry that are to match existing in terms of colour and texture.

Existing sawn natural stone to the front elevation of the link extension (photos B and C) is well matched and provides a good source of potential supply for some of the stone lintels and sills required (provided depth is adequate).

New stone lintels and sills to Acre House are to have simple square corners, with the sills set to fall, so that rainwater is shed.

New stone lintels and sills to outbuilding are to match those existing to this building, including simple chamfers to lintels (photo F).

New window and door frames to be set 'in-check' behind outer leaf of masonry. Care is therefore required to ensure the masonry of the window jambs matches the face of the stonework. Whenever possible re-use existing reclaimed 'corner pieces' (the rear elevation of the link extension is likely to provide ample supply).

Joinery

All external joinery, in accordance with condition 4 and internal joinery in accordance with condition 5 of application ref. 2022/70/93907/W

Gutters

Make good gutters (photos G to J). To Acre House, fit new ogee profile aluminium gutter to north elevation and omit existing plastic gutter to rear. To outbuilding, continue existing metal gutters adjacent to front elevation and omit existing plastic gutter to rear.

It is hoped that associated masonry details, including dentils, are retained but concealed by the link extension. If removed existing detail to be faithfully replicated with natural stone to match existing.

Mortar

All rebuilding, re-bedding and repointing to be undertaken using a lime-based mortar, in accordance with condition 6 of application ref. 2022/70/93907/W

Residue Removal & Cleaning

Carefully remove any mortar and other residues (e.g. plaster, paint, sealant) from stonework by hand. Methods that are abrasive (e.g. sandblasting) or corrosive (e.g. harsh chemicals) must not be used without prior consultation with the LPA.

If residues cannot be removed by hand and without damage to stonework, the LPA may require that a further Method Statement is submitted for consideration and approval, once the nature and extent of any residues along with options for removal are known.

3.0 **CONDITION 5: WORKS TO INTERNAL JOINERY & DECORATIVE PLASTERWORK**

5. Prior to commencement of any stripping out, a detailed method statement shall be submitted to the Local Planning Authority, setting out the retention and conservation works to all existing decorative plasterwork, skirting boards, timber panelling, doors, door frames, stairs (including treads, balusters, handrails), roof trusses/ timbers and other decorative features to both the main house and the detached outbuildings. The works shall thereafter be carried out in accordance with the approved method statement.

Reason: To ensure that the development would preserve or enhance the character and setting of the Listed Building to accord with Policies LP24 and LP35 of the Kirklees Local Plan and national Policy within chapter 16 of the National Planning Policy Framework.

Internal Doors

All internal doors to both Acre House and the outbuilding are modern flush commercial type fire doors, with only two exceptions to the entrance lobby (room 1), which are discussed in table 1 below under the heading “Other Joinery”.

New internal doors are proposed throughout to the Applicant’s specification, with the exception of the door to the entrance lobby understairs cupboard, which is to be retained, as set out below.

Modern internal doors and proposals for replacement are not subject to further discussion below to avoid unnecessary repetition.

Staircases

There are two historic staircases within Acre House and a further staircase within the outbuilding. The latter is interpreted as being consistent with the age of the 1970s link extension and is proposed for removal to facilitate the plan change approved. It is not therefore subject to further discussion.

Main Front Staircase

Good quality hardwood handrail. Spindles over boarded but with a section removed revealing good quality decorative spindles with brown painted finish (photo N). The newel post to the ground floor has been subject to similar over boarding and a good quality underlying post is likely (photo M). To facilitate over boarding a trim has been removed from the edge of treads (photo O). Vinyl floor covering to the majority of treads and risers along with a modern commercial nosing. Historic stringer/ skirting boards retained (photo P).

It is proposed to remove all over boarding and reinstate the trim to the edge of the treads. Vinyl coverings and nosing’s to be removed and carpet fitted. Staircase to be retained and redecorated with paint to softwood/ previously painted surfaces and natural wax or oil to hardwood components, including handrail and perhaps concealed newel post.

A small section of handrail and spindles will be removed at first floor level to facilitate the plan change approved.

Secondary Rear Staircase

Handrail painted but likely to be hardwood (photos Q and R). Decorative cast iron spindles with painted finish (photo R). Vinyl floor covering to treads and risers along with a modern commercial nosing. Historic stringer/ skirting boards retained (photo S).

Vinyl coverings and nosing to be removed and carpet fitted. Spindles, handrail and stringer to be retained and redecorated. Alternatively, subject to precautions, paint could be carefully removed from handrail using paint stripper (e.g. Peelaway 1 Paint & Varnish Remover) before finishing with natural wax or oil.

Roof Trusses & Timbers

The roof structure of Acre House was concealed within an inhabitable attic space and not visible at the time of inspection by HPD.

To the first floor of the outbuilding some simple roof trusses were visible to a greater or lesser extent. All will be retained but it is likely that these will be wholly or largely concealed by new insulation and plasterwork. Any parts that remain visible will be redecorated.

The Applicant's Structural Engineer has inspected Acre House and the outbuilding. They have raised no concerns with respect to the roof structure and no major roof timbers are proposed for replacement or repair.

Radiators & Plumbing

All radiators and existing internal plumbing is proposed for removal and replacement, as required. When running new services care must be taken to ensure that decorative historic fabric is not damaged.

Other Internal Joinery & Decorative Plasterwork

Tables 1 and 2 below identify and outline proposals for other internal decorative joinery and decorative plasterwork. They must be read alongside the room reference plan at appendix 1 and the photographs at appendix 2.

Windows and external doors are not discussed as they are subject to condition 4 of application ref. 2022/70/93907/W. However, associated purely internal features such as panelled window reveals are identified and considered.

As the proposals will need to be understood by a wide audience plain English has been used, where possible.

For the purposes of this report and tables below:

“Historic” means – fabric that is likely to be original or pre-date 1919

“Modern” means – fabric that is likely to have been installed since 1945

“Retain” – includes preparation, redecoration and minor repairs that do not require listed building consent, where required

“Repair” means – to make good using matching materials

“Replicate” means – to faithfully copy an existing element to closely match new work with existing (e.g. having spindle cutters made to reproduce joinery profiles)

“Replace” means – remove and fit new to the Applicant's specification, as required

“New” means – fit new to the Applicant’s specification, as required

“?” means – there is some uncertainty over the categorisation of a building element, or its existence, where concealed

The general approach taken for Acre House is to retain existing decorative historic features and details, except where this is not possible due to approved plan changes. Where decorative historic fabric is proposed for removal, this is highlighted in red to aid assessment. Unless specifically highlighted by this report decorative historic features and details must therefore be retained, unless there is a direct conflict with the approved plan change that necessitates removal.

Table 1: Acre House – Other Internal Joinery & Decorative Plasterwork

Room 1 Entrance Lobby	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – to external door Modern – to understairs cupboard	Modern – small section of low skirting board to south wall	N/A	N/A	Historic – panelled reveals to external door Historic – 6 panel door to understairs cupboard (possibly re-used from elsewhere) Historic – double doors to hall Modern – single door to hall	? – suspended ceiling	N/A	Double doors to hall are historic but not in their original location. Removal required due to approved plan change.
Proposal	Retain – to external door Retain or replace – to understairs cupboard	Replace – with replica of historic hall detail to south wall (i.e. continue through skirting boards from hall)	N/A	N/A	Retain – panelled reveals to external door Retain – 6 panel door to understairs cupboard Remove – double & single doors to hall to facilitate approved plan change	Retain or repair – if existing Replicate – if not, existing detail from hall can be carried through (optional)	N/A	
Room 2 Front Hall	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – to study & dining room Modern – to passage	Historic – section between study and dining room doors & to bottom of staircase Modern – elsewhere/majority	Historic – to stair window	Historic – to stair window	Modern – handrail & spindles to stair window	Historic – to majority of room but disrupted by suspended ceiling to lobby & new wall to passage	N/A	Staircase discussed separately above.
Proposal	Retain – to study and dining room New – to proposed WC (option to replicate historic detail) Remove – to passage to facilitate approved plan change	Retain – all historic sections Replace – modern sections with replica of historic detail	Retain – to stair window	Retain – to stair window	Retain or replace – modern handrail & spindles to stair window	Retain – where existing (including within proposed WC but with option for suspended ceiling) Replicate – new section where disrupted by new wall to proposed WC & where 1 st floor is extended over stairs (optional)	N/A	

Room 3 Study?	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – all (both doors)	Historic – all	Historic – all apart from to central tripartite window that is without	Historic – all apart from to central tripartite window that is without	N/A	Historic – all	Coffered ceiling	Largely intact interior, doors excepted. Retain joinery removed to facilitate approved plan change for repairs and re-use elsewhere.
Proposal	Retain – to door to hall Remove – to door to dining room due to approved plan change/ wall removal	Retain – except where approved plan change requires removal	Retain – all	Retain – all	N/A	Retain – all. Ensure that steelwork required to enable approved plan change/ wall removal is set below cornice to enable retention	Retain – all	
Room 4 Dining Room	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – all (both doors)	Historic – all	Historic – all	Historic – all	Historic? – plate rail & picture rail, perhaps 1930s Modern? – superficial panel detail under picture rail. Lacks detail/ craftsmanship Historic – door panelling to hall	Historic? – all. Good condition indicates possible replacement	N/A	Largely intact, interior doors excepted. Retain joinery removed to facilitate plan change for repairs and re-use elsewhere.
Proposal	Retain – to doors to hall & parlour. Latter to be blocked-up to facilitate approved plan change but architrave retained, perhaps with new shelving inset Remove – to door to study due to approved plan change/ wall removal	Retain – except where approved plan change requires removal	Retain – all	Retain – all	Retain – plate rail & picture rail, except where approved plan change requires removal Remove – superficial panel detail under picture rail Retain – door panelling to hall	Retain – all. Ensure that steelwork required to enable approved plan change/ wall removal is set below cornice to enable retention	N/A	
Room 5 Parlour?	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – all (both doors)	Historic – all	Historic – all. Former door opening (now glazed) has older architrave detail.	Historic – to cantered bay. Plain panelling to former door opening	N/A	? – due to suspended ceiling?	? – due to suspended ceiling	Part of older remodelled building that pre-dates Acre House
Proposal	Retain – all. Door to dining room to be blocked up to facilitate approved plan change but architrave retained, perhaps with new shelving inset	Retain – all	Retain – all	Retain – all	N/A	Retain or repair – if existing New – if none, existing (optional)	Retain or repair – ceiling rose and other details, if existing	

Room 6 Rear Hall	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – all	Historic – majority with some modern sections in location of proposed WC	N/A	N/A	N/A	N/A	N/A	Part of older remodelled building that pre-dates Acre House
Proposal	Retain – to scullery Remove – to external door to facilitate approved plan change New – to new external door or reuse those removed from existing external door (optional)	Retain – historic sections Remove/ replace – modern sections within proposed WC	N/A	N/A	N/A	N/A	N/A	Staircase discussed separately below.
Room 7 Scullery?	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – all	Modern – all	Historic – to larger window Historic? – to smaller window	Historic – to larger window Historic? – to smaller window but plain	N/A	? – due to suspended ceiling?	? – due to suspended ceiling	Part of older remodelled building that pre-dates Acre House. Architraves & panelling to small window may be of some age but of modest quality.
Proposal	Retain – all Door to passage to be blocked up to facilitate approved plan change but architrave retained behind new panel & kitchen units	Replace – all	Retain – all	Retain – all	N/A	Retain/ renew – modern suspended ceiling New – ceiling cornice to suspended ceiling (optional)	N/A	
Room 8 Kitchen & passage	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – to scullery Modern – all others	Modern – all	Modern – all	Modern – all	N/A	Historic – to passage that was once part of hall	N/A	Main space last used as WC & cleaners' cupboard. Extensively modernised & recently water damaged by metal thieves. Passage once part of hall as evidenced by cornice to be retained.
Proposal	Retain – to scullery within proposed utility but with option for over boarding Remove/ replace – all others	Replace – all	Replace – all (optional)	Replace – all (optional)	N/A	Retain – to passage/ proposed utility but with option for suspended ceiling New – within proposed kitchen (optional)	N/A	
Room 9 Sitting Room	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern – all	Modern – all	Historic – all (to cantered bay window)	Historic - all (to cantered bay window)	N/A	Historic – approx. 1/2 retained mainly to bay window/ east wall, south wall & west wall. Existing suspended ceiling but removed plasterboard & ceiling	N/A	Much of the north and south walls have been removed to create a larger open plan area. These removed walls will be reinstated but a new wall inserted to

						tiles enables inspection.		create a new hall, stair and WC.
Proposal	Replace – all	Replace – all	Retain - all	Retain - all	N/A	Retain – all, (except where within proposed hall & WC). Complete section of cornice to bay window/ east wall to be exposed by removal of suspended ceiling. Suspended ceiling retained/ renewed elsewhere within proposed dining room/ lounge to conceal damaged/ incomplete cornice that is to be retained. Remove – parts that will fall within proposed hall & WC to facilitate approved plan change	N/A	
Room 10 Front Landing	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – to door to nursery Modern – to master bedroom & passage	Modern - all	Historic – all	Historic – all	N/A	Historic? – cornice altered or replaced when storage room (proposed for removal) was created N/A – no cornice within storage room	N/A	Room currently subdivided by non-original storage room. Subdivision to be changed to create a larger room/ proposed bed 3.
Proposal	Retain – to door to nursery Remove/ replace – to master bedroom & passage	Remove/ replace – all	Retain - all	Retain - all	N/A	Retain – existing cornice to landing and faithfully replicate new section to new wall with proposed bedroom 3 Remove/ replace – small section that will be incorporated within bed 3 (optional)	N/A	Staircase discussed separately above.
Room 11 Nursery?	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – all (both doors)	Historic – all	Historic – all (both windows)	Historic – all (both windows)	N/A	Historic – all	N/A	Largely intact interior, doors excepted, as with study below to ground floor.
Proposal	Retain – all Door to adjacent bedroom to be blocked up to facilitate approved plan change	Retain – all	Retain – all	Retain – all	N/A	Retain – all with repairs to southern damaged corner	N/A	Room might have been historically used as a nursery or dressing

	but architrave retained, perhaps with new shelving inset							room, hence door to adjacent bedroom.
Room 12 Bedroom	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern – all (plinths perhaps excepted)	Historic – all	Historic – all	Historic? – lacks panel detail indicating possible replacement	Historic? – panelling to door to nursery but lacking detail indicating possible replacement	Modern – all	N/A	
Proposal	Retain or replace – all	Retain – all, except where minor removals/alterations are required to facilitate approved plan change	Retain – all	Retain – all	Remove – to facilitate approved plan change	Remove/ replace – all (optional)	N/A	
Room 13 Bedroom	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern – all (both doors)	Modern – all	Modern? – to 1 x window, none to others	Modern? – plain panelling to 1 x window none to others	N/A	? – due to suspended ceiling?	N/A	Part of older remodelled building that pre-dates Acre House
Proposal	Remove/ replace – all	Remove/ replace – all	Replace/ new – all (optional)	Replace/ new – all (optional)	N/A	Retain or repair – if existing, except where plan change might require removal & new replica sections New – if none existing (optional)	N/A	Extensively modernised & subdivided.
Room 14 Back Landing	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern – all	Historic – majority (some modern but fairly well matched sections where plan has been altered)	Historic – to stair window	Historic – to stair window	Modern – guarding to stair window	Historic – all but none beyond arched opening	Historic – arched opening with decorative corbels	Part of older remodelled building that pre-dates Acre House. Good retention of historic features & details.
Proposal	Remove/ replace – all to facilitate approved plan change	Retain all – except where approved plan change requires removal	Retain – to stair window New – to new landing window (optional)	Retain – to stair window New – to new landing window (optional)	Retain or replace – guarding to stair window	Retain – all	Retain – set door to proposed bed 3 back behind feature	Staircase discussed separately above.
Room 15 Bedroom	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern?	Modern – all	Modern?	Modern? – plain panelling	N/A	N/A	N/A	Architraves & panelling have some but limited details that makes age difficult to assess.
Proposal	Retain or replace – all	Retain or replace – all	Retain or replace – all	Retain or replace – all	N/A	New – (optional)	N/A	

Room 16 Passage	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Historic – to store cupboard N/A/ absent – to Back Landing & room 13 Others of various ages	Historic? – all (some perhaps modern but fairly well matched sections where plan has been altered)	N/A	N/A	Historic - soffit panelling x 2 Historic - flight of stairs	Historic – in parts	N/A	Space to be substantially reconfigured to facilitate approved plan change.
Proposal	Remove/ replace – all in part to facilitate approved plan change. But option to retain to rooms 10, 12 and 15	Remove/ replace – to facilitate approved plan change	N/A	N/A	Remove – soffit panelling to facilitate approved plan change Remove – flight of stairs to facilitate approved plan change	Remove – all to facilitate approved plan change	N/A	
Room 17 Store	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern – all	Modern – all	N/A	N/A	N/A	N/A – suspended ceiling in part but no cornice visible through hole created by removal of ceiling tile	N/A	Space last used as kitchenette area. Extensively modernised.
Proposal	Remove/ replace – all	Remove/ replace – all	N/A	N/A	N/A	New – (optional)	N/A	
Room 18 Bathroom?	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern - all	Modern - all	Modern - all	Modern - all	N/A	Historic? – simple cornice to main part of room N/A – elsewhere	N/A	Space last used as toilets. Extensively modernised. Cornice simple & removal partly required to facilitate approved plan change.
Proposal	Remove/ replace – all	Remove/ replace –all	Remove/ replace – all	Remove/ replace – all	N/A	Remove/ replace – all in part to facilitate approved plan change	N/A	
Room 19 Master Bedroom	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Existing	Modern - all	Modern - all	Historic – to cantered bay window	Historic – to cantered bay window	N/A	N/A – suspended ceiling but cornice not visible through holes created by removal of ceiling tiles	N/A	Condition & circumstances similar to Sitting Room below to ground floor.
Proposal	Remove/ replace – all	Remove/ replace –all	Retain – all	Retain – all	N/A	New – (optional)	N/A	

Table 2: Outbuilding – Other Internal Joinery & Decorative Plasterwork

Room	Door architraves	Skirting boards	Window architraves	Window panelling	Other joinery	Ceiling cornice	Other Plasterwork	Comments
Room 20 West End (g. floor)								
Existing	Modern - all	Modern - all	Historic – to west gable end only	Historic? – plain panelling to west gable end only N/A – to other window	N/A	N/A	N/A	Modernisation, including internal insulation makes retention of existing internal joinery difficult
Proposal	Remove/ replace - all	Remove/ replace - all	Remove/ replace – all	Remove/ replace – all	N/A	New – to Applicant's specification (optional)	N/A	
Rooms 21 & 24 Stairs (g. & 1 st floor)								
Existing	Modern - all	Modern - all	N/A	N/A	N/A – stairs discussed separately above	N/A	N/A	Modern space & staircase created when previously converted, probably in the 1970s
Proposed	Remove/ replace - all	Remove/ replace - all	N/A	N/A	N/A	New – (optional)	N/A	
Room 22 East End (g. floor)								
Existing	Modern - all	Modern - all	N/A	N/A	N/A	N/A	N/A	
Proposed	Remove/ replace - all	Remove/ replace - all		N/A	N/A	New – (optional)	N/A	
Room 23 West End (1 st floor)								
Existing	Modern - all	Modern – majority Historic – only within storage room, at least partly re-used from elsewhere as room is modern.	Historic – all	Historic – plain panelling to all	N/A – roof trusses discussed above	Historic – all	N/A	Modernisation, including internal insulation makes retention of existing internal joinery difficult
Proposed	Remove/ replace - all	Remove/ replace – all	Remove/ replace – all	Remove/ replace – all	N/A – roof trusses discussed above	Remove – all	N/A	
Room 25 East End (1 st floor)								
Existing	Modern - all	Modern – all	N/A	N/A	N/A – roof trusses discussed above	N/A	N/A	
Proposal	Remove/ replace - all	Remove/ replace - all	N/A	N/A	N/A – roof trusses discussed above	N/A	N/A	

4.0 CONCLUDING REMARKS

The demolition of the 1970s link extension and works to the outbuilding will yield a good supply of well matched stone to make good the buildings once the link extension has been removed. It is recognised that this work must be completed to a high standard.

For a building of its age, size and external quality, Acre House is internally modest. Previous uses have resulted in many alterations and significant losses of historic fabric, particularly to the northern section of the building that adjoins the link extension to be demolished. However, some internal spaces retain many historic features and details.

The general approach taken for Acre House is to retain and match existing decorative historic features and details, except where this is not possible due to approved plan changes. As the proposed layout seeks to work with the fabric of the building these conflicts are limited. New decorative features and details are generally matched to old where existing. However, where decorative features and details are modern or there is very limited old work to match it is proposed that the Applicant is permitted to replace or install new to their own specifications.

The outbuilding was likely built as a coach house and stable block. It has been converted and extensively modernised, probably in the 1970s when the link extension was constructed. It therefore retains few decorative historic features and details. This less sensitive building is proposed for another comprehensive overhaul, including the incorporation of internal wall insulation that necessitates and justifies a limited loss of historic fabric.

APPENDIX 1 - ROOM REFERENCE PLANS (NTS)



APPENDIX 2 – PHOTOGRAPHS

External

Photo A: Front elevation from grounds



Photo C: Close-up of join between Acre House & link extension to front, which shows that the north elevation of Acre House is/ was faced with random coursed stone



Photo E: Close-up of join between Acre House & link extension to rear, illustrating well matched stone that is to be re-used



Photo B: Front elevation of link extension that potentially provides a good supply of well matched sawn stone for new lintels & sills to north elevation of Acre House & outbuilding



Photo D: Rear elevation of link extension that provides a good well matched supply of random coursed stone to make good the north elevation of Acre House



Photo F: Typical window detail to outbuilding, including simple chamfered lintel



Photo G: Small section of existing (probably cast iron) gutter to Acre House adjacent to front elevation. New aluminium gutter of similar ogee profile to be fitted & continued



Photo I: Existing metal gutter to outbuilding adjacent to front elevation of acre house to be matched & continued



Photo K: Example of a discrete buff coloured weep hole

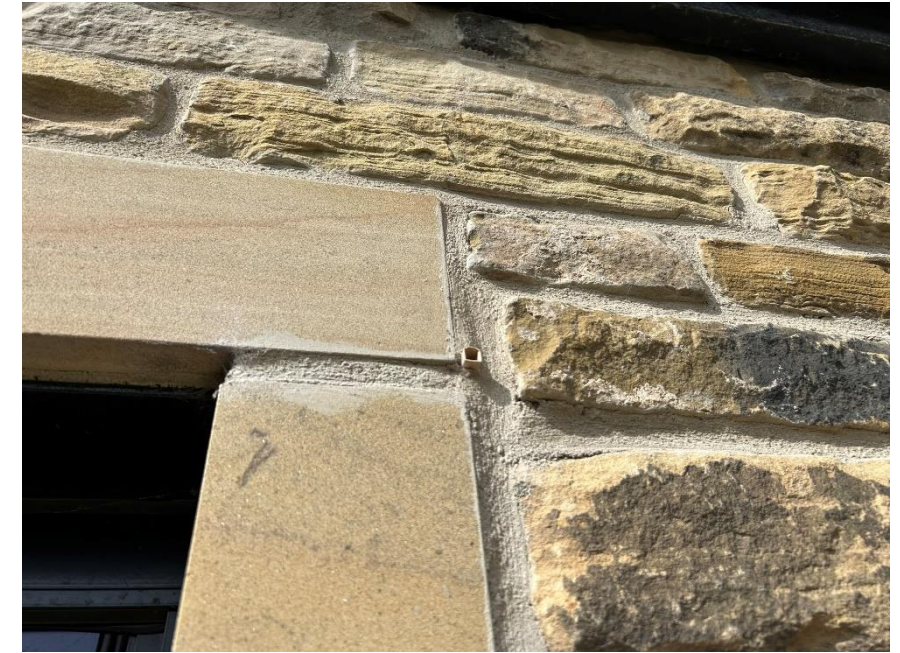


Photo H: Existing plastic gutter to Acre House adjacent to rear elevation to be replaced with new ogee profile aluminium gutter



Photo J: Existing plastic gutter to outbuilding adjacent to rear elevation of Acre House to be replaced to match the above



Main Front Staircase

Photo L: General view (wide angle)



Photo N: Hardwood handrail & painted spindles with modern cladding removed



Photo P: Historic stringer & skirting board to intermediate landings



Photo M: Overclad newel post

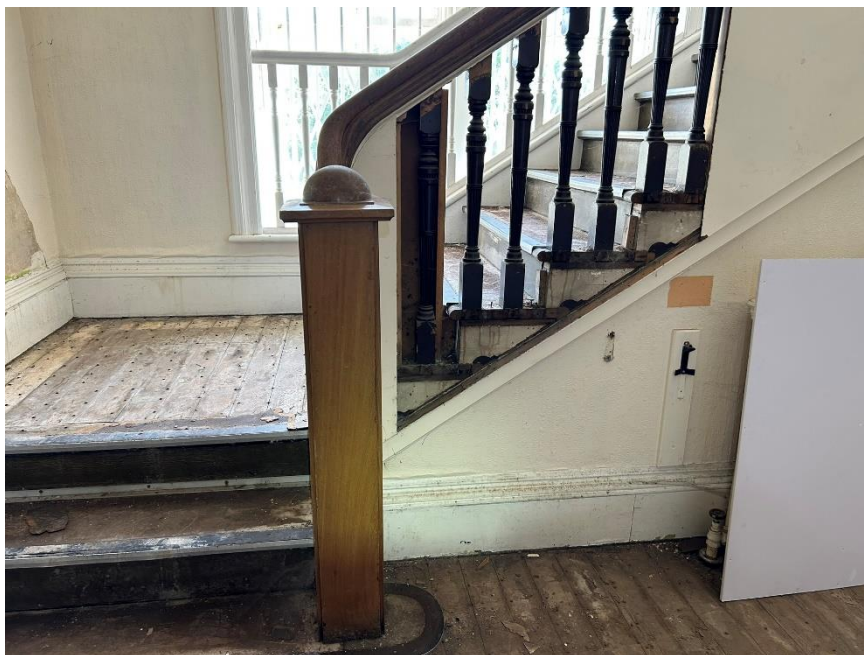
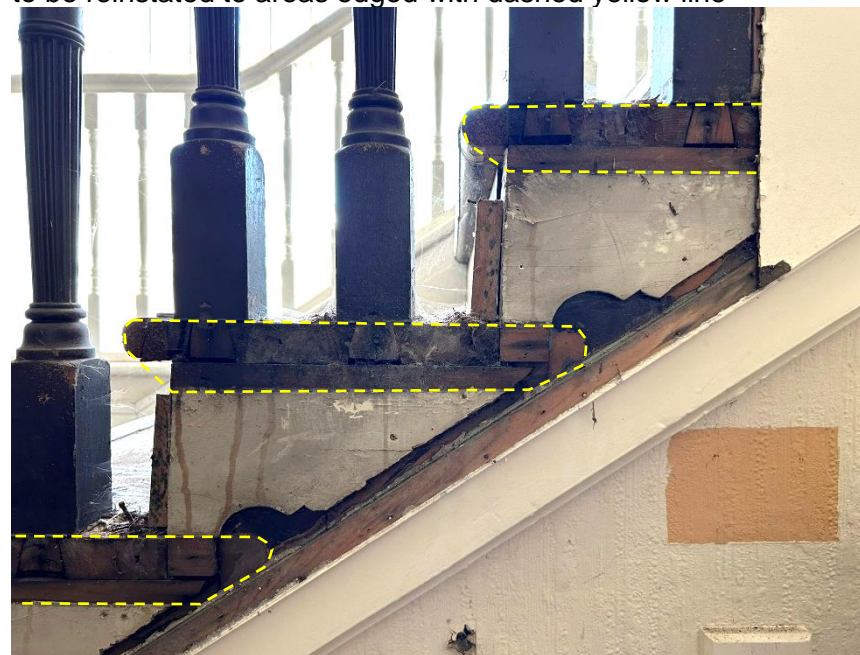


Photo O: Side of stairs with cladding removed, painted timber trim to be reinstated to areas edged with dashed yellow line



Secondary Rear Staircase

Photo: Q: General view



Photo: R: Cast iron spindles & wooden handrail



Photo S: Historic stringer along with vinyl clad treads & risers



Room 1 – Lobby

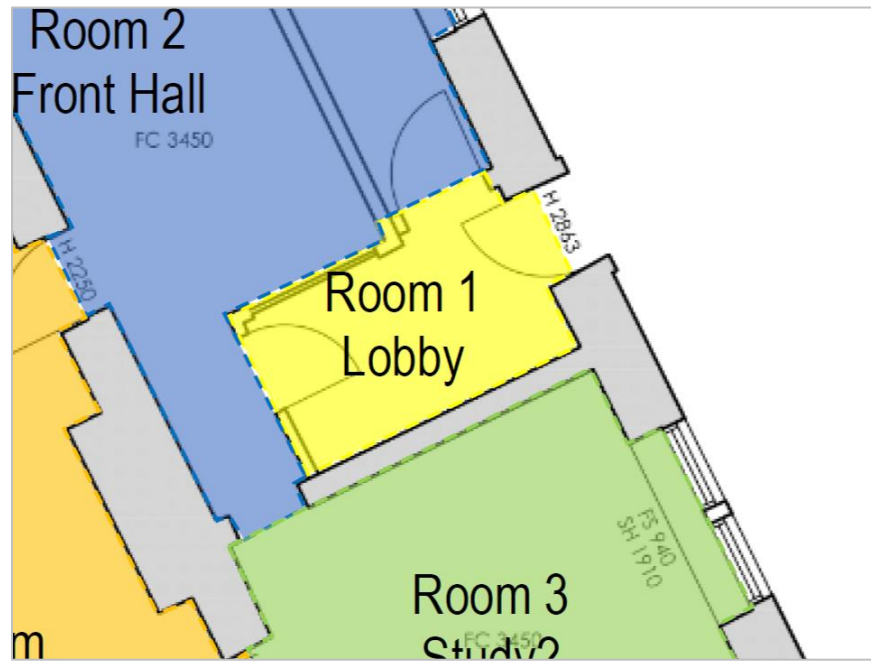


Photo 1.1: General view (wide angle)

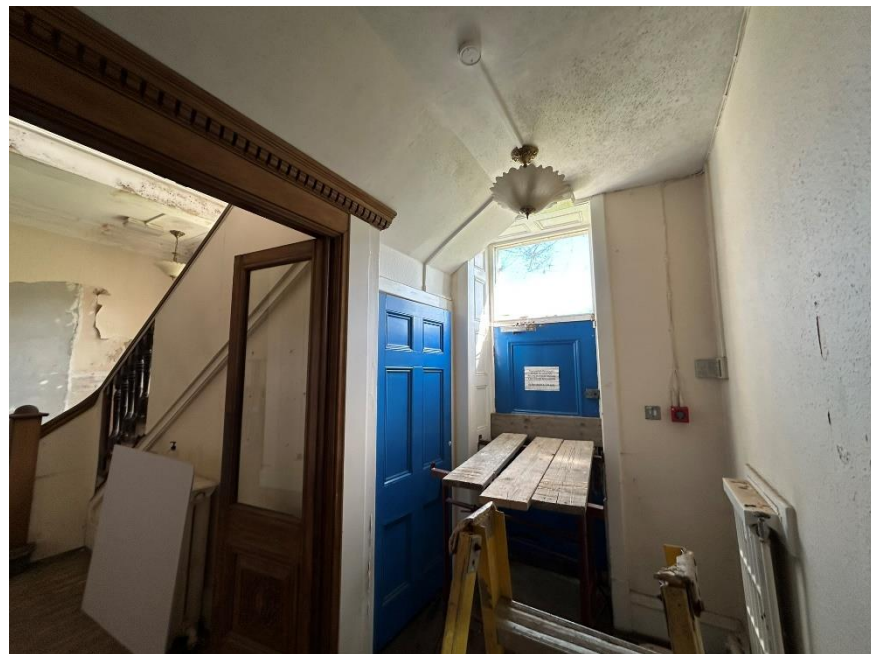


Photo 1.2: Double doors – probably historic but not in original location. Door to left modern



Photo 1.3: Entrance door, panelling & 6 panel door to cupboard under stairs



Room 2 – Front Hall

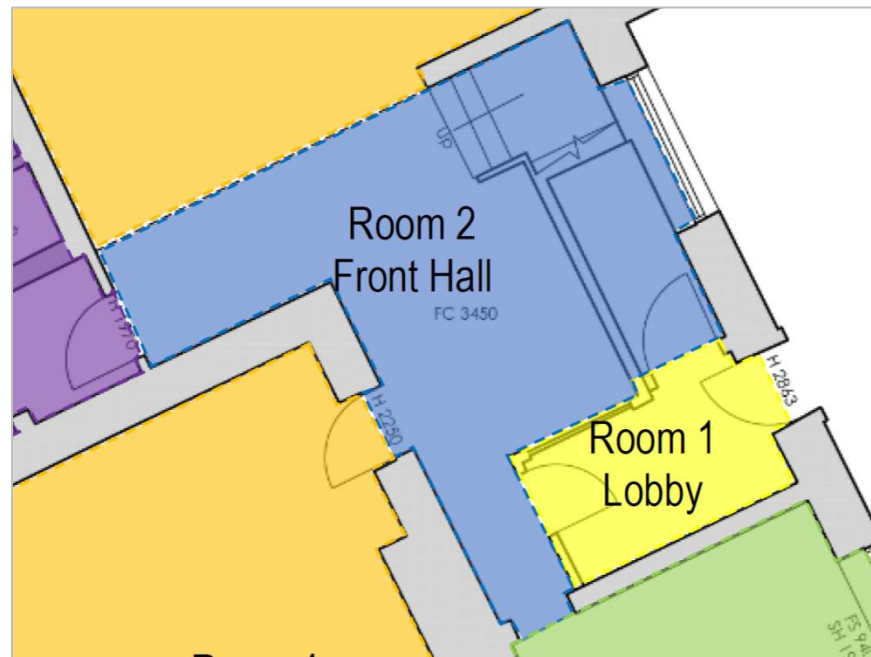


Photo 2.1: General view (wide angle)

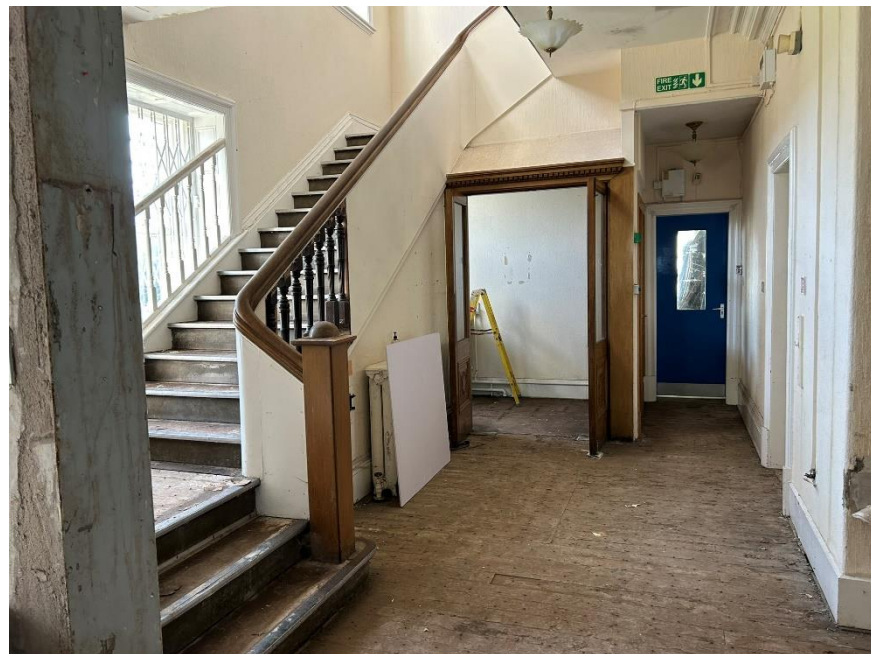


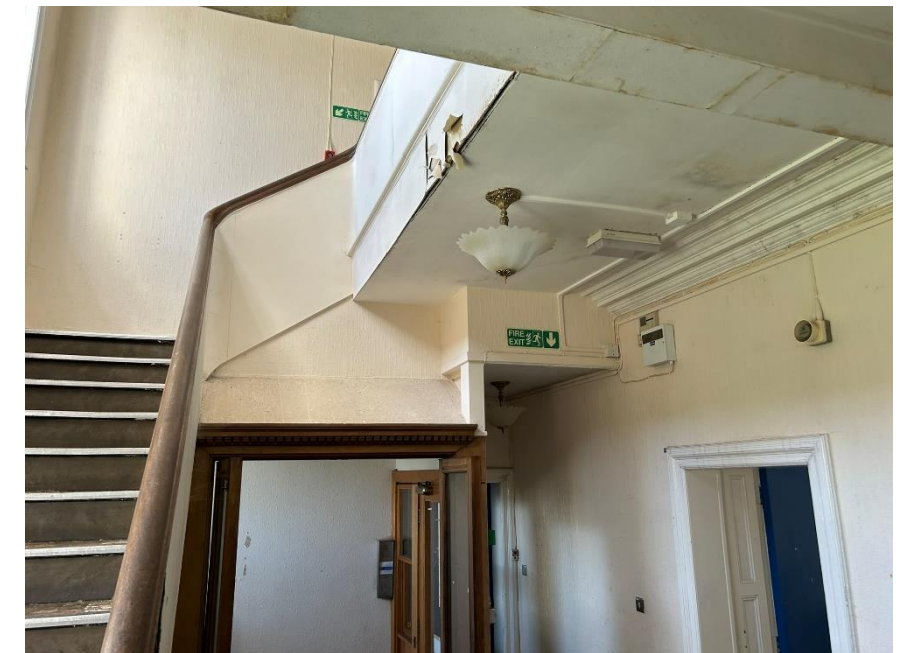
Photo 2.2: Historic architrave to dining room door along with historic & modern skirting boards



Photo 2.3: Stair window with historic architrave & panelling



Photo 2.4: Modern entrance lobby that cuts across cornice



Room 3 – Study?

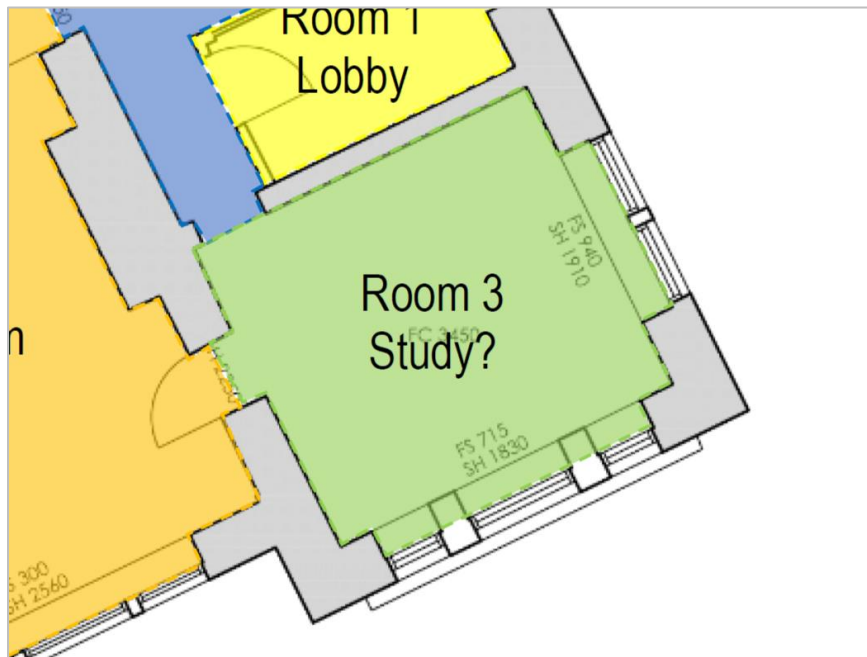


Photo 3.1: General view (wide angle)



Photo 3.2: Historic architrave to hall door along with historic skirting boards

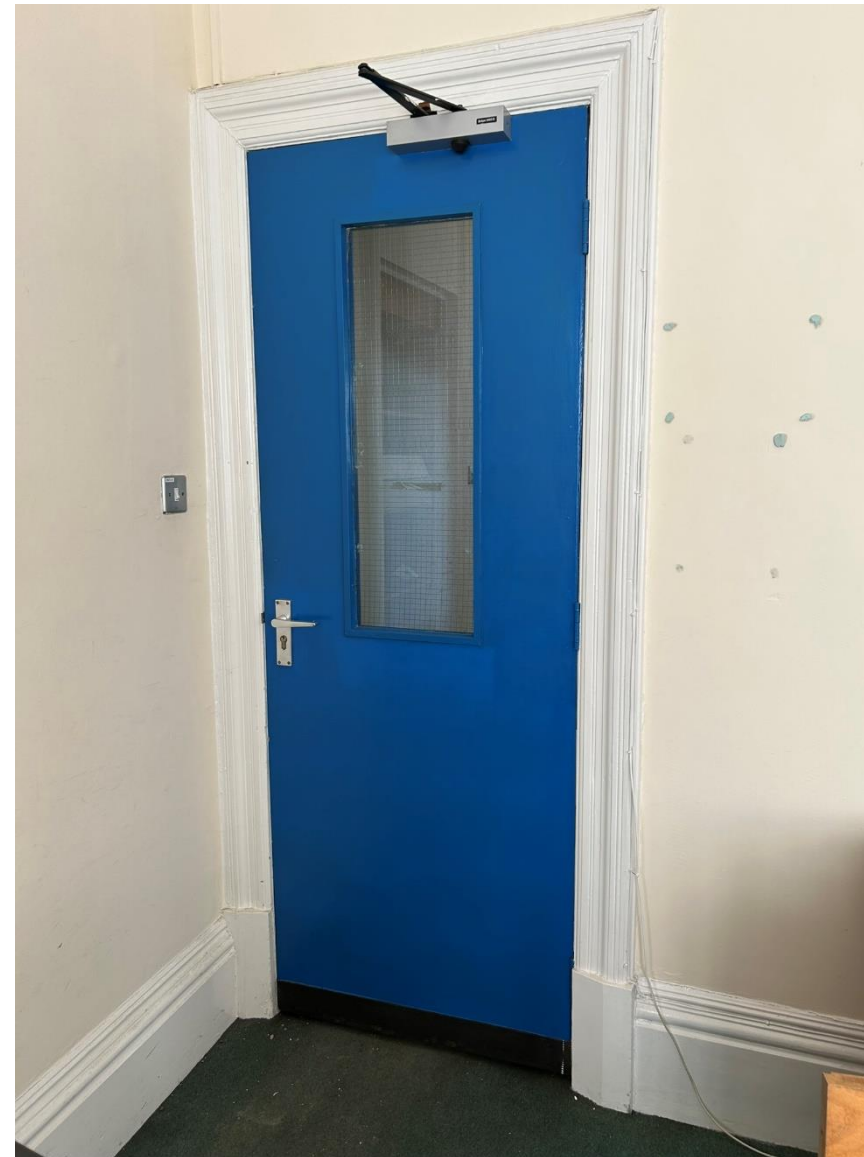


Photo 3.3: Historic architrave & panelling to window



Room 4 – Dining Room

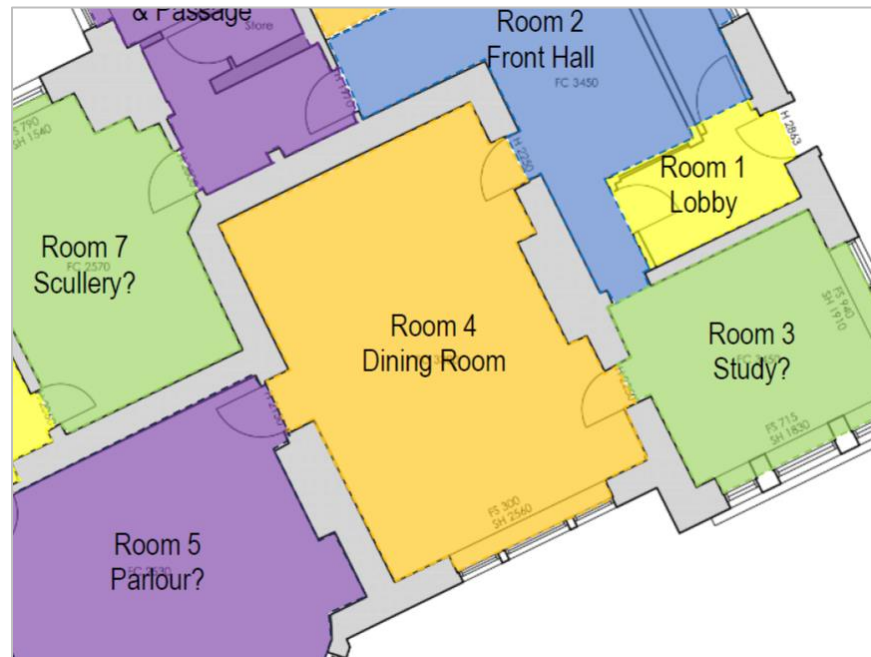


Photo 4.1: General view (wide angle)



Photo 4.2: Door to parlour along with historic architrave & plain panelling door is to be blocked-up to but architrave retained

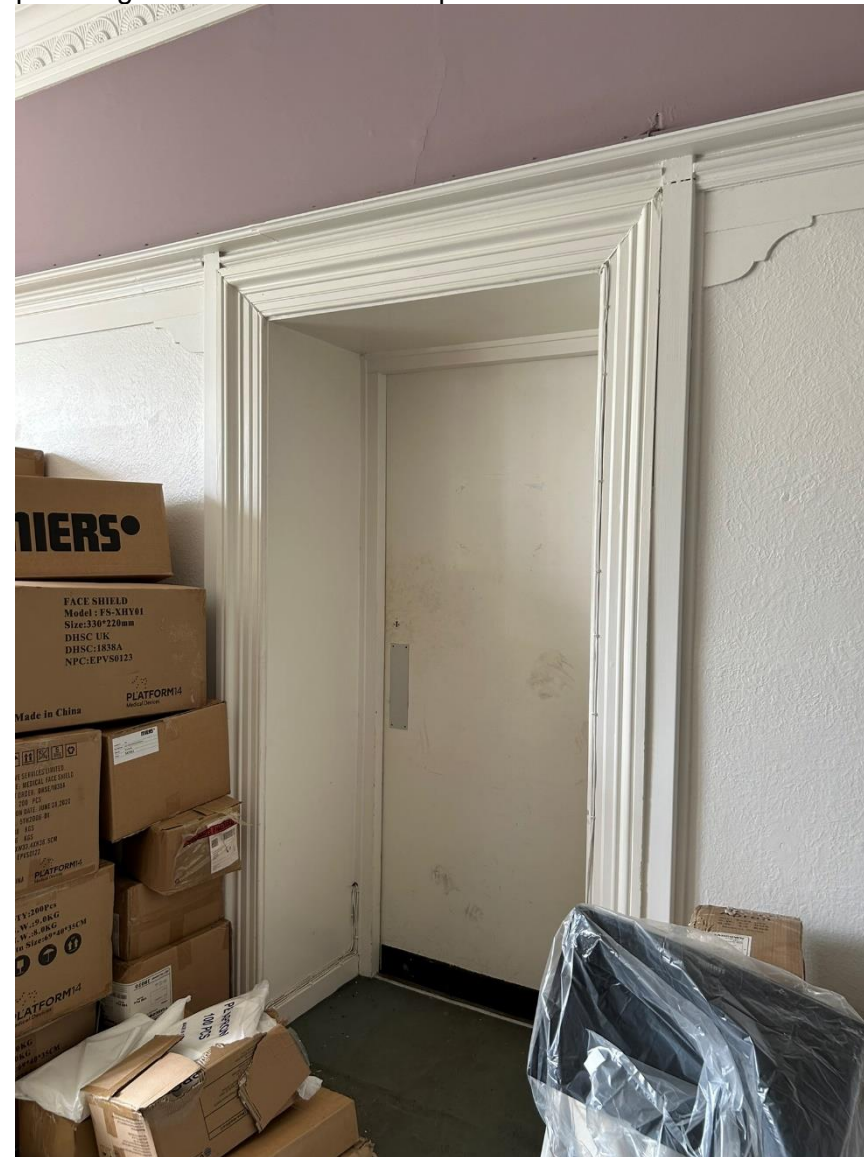
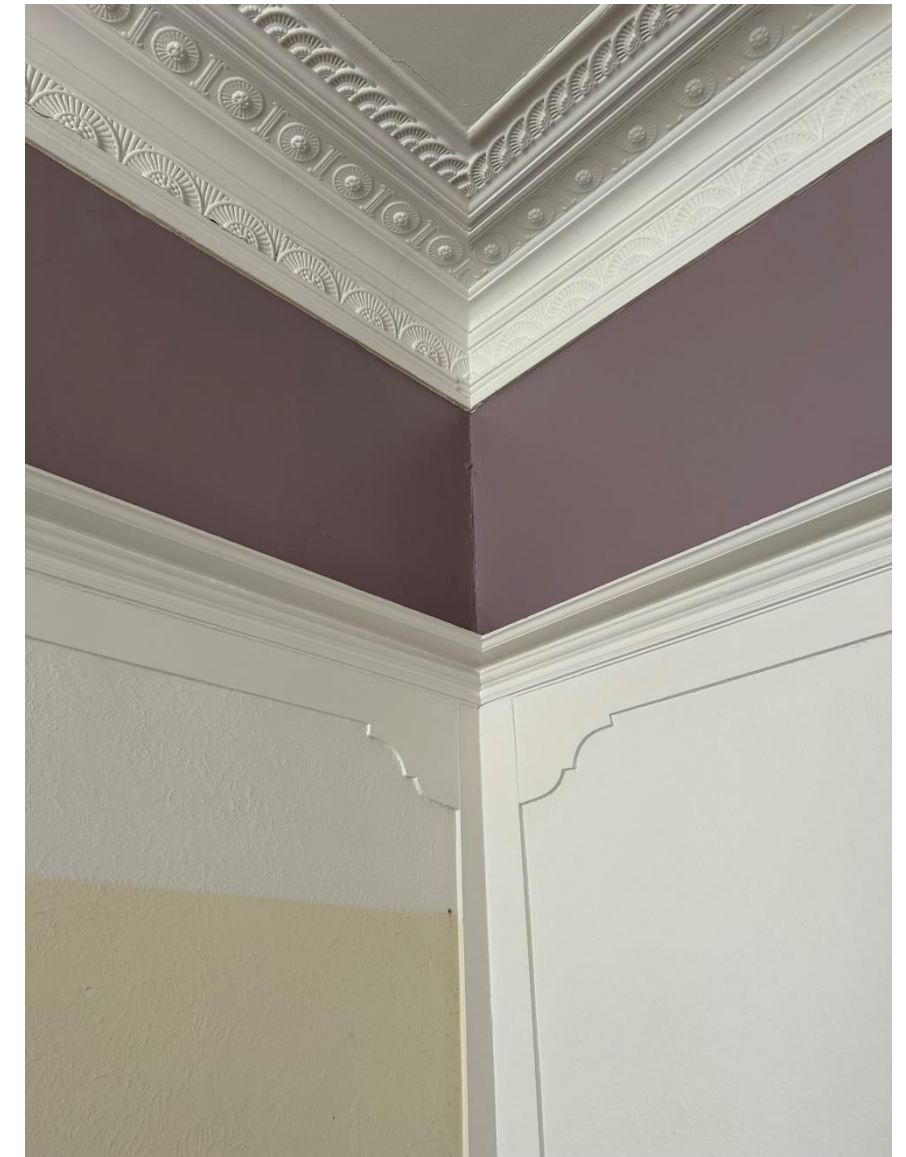


Photo 4.3: Historic cornice, plate rail, picture rail & panelling detail in corner of room



Room 5 – Parlour?

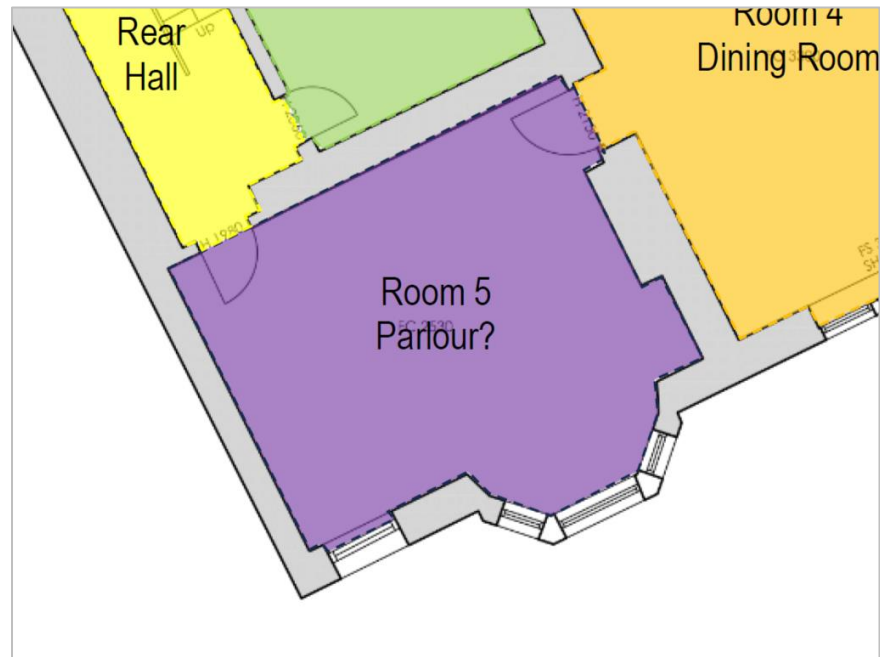


Photo 5.1: General view (wide angle)



Photo 5.2: Door to rear hall along with historic architrave & skirting board



Photo 5.3: Older architrave detail to former front door (now window)



Photo 5.4: Cantered bay window including historic architraves and panelling under



Room 6 – Rear Hall

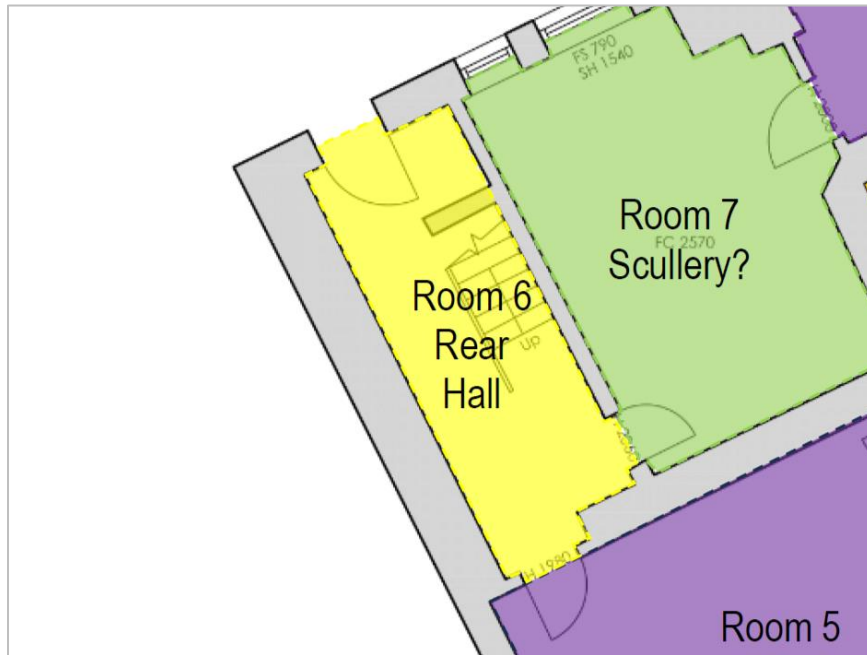


Photo 6.1: General view (wide angle)



Photo 6.2: Door to scullery along with historic architrave & skirting board



Photo 6.3: External door along with historic architrave & modern/low skirting boards



Room 7 – Scullery

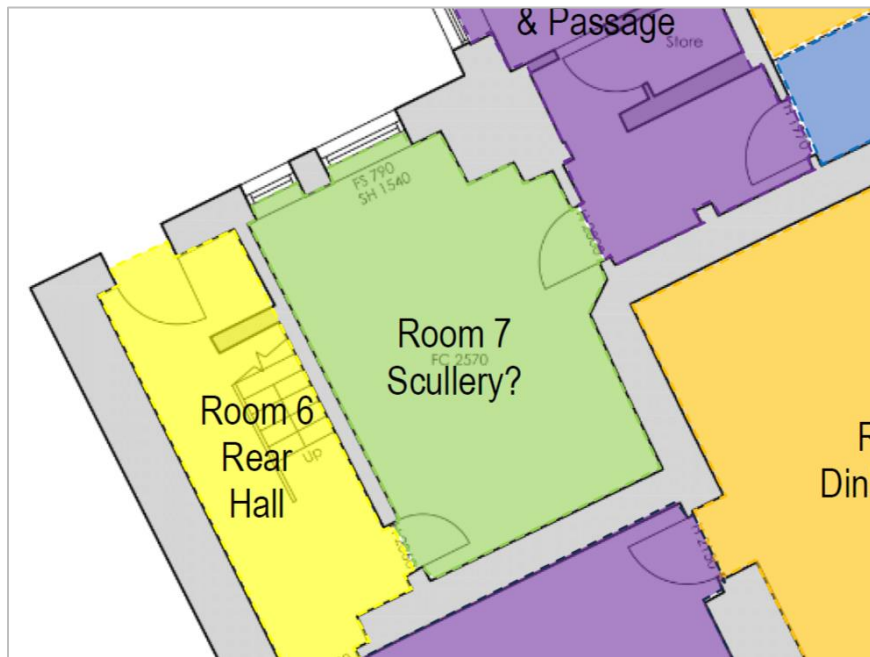


Photo 7.1: General view (wide angle)



Photo 7.2: Door to kitchen/ passage along with historic architrave & modern skirting boards



Photo 7.3: Windows with differing style of architrave and panelling (right more decorative & older than left)



7.4: Modern skirting boards



Room 8 – Kitchen & passage

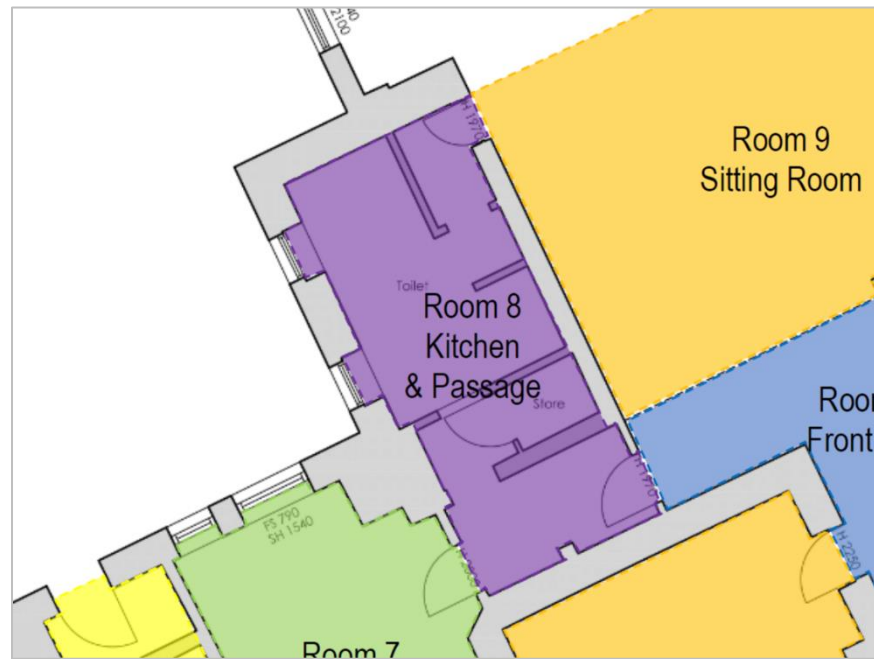


Photo 8.1: General view of passage (wide angle) that was once part of the hall with cornice remaining



Photo 8.2: Door to toilet & cupboard along with modern architrave & skirting boards



Photo 8.3: Modern architraves & panelling to window



Photo 8.4: Modern plasterboard suspended ceiling, largely collapsed due to water damage



Room 9 – Sitting Room

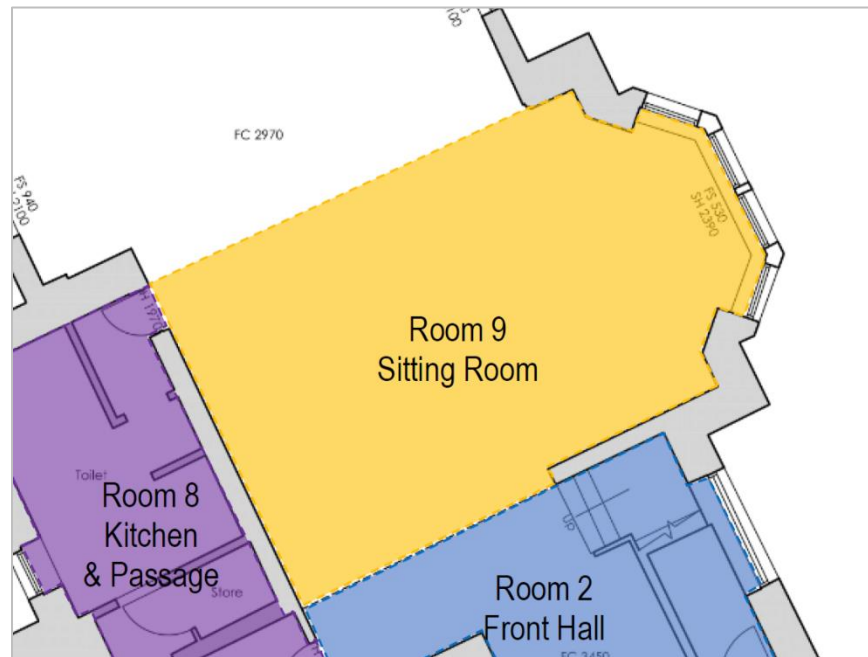


Photo 9.1: General view (wide angle)



Photo 9.2: Cantered bay window including historic architrave & panelling



Photo 9.3: Close-up of window architrave & panelling alongside modern skirting boards



Photo 9.4: Section of surviving cornice over cantered bay window to be exposed



Photo 9.5: Damaged & missing section of cornice to be concealed with replacement suspended ceiling



Room 11 – Nursery?

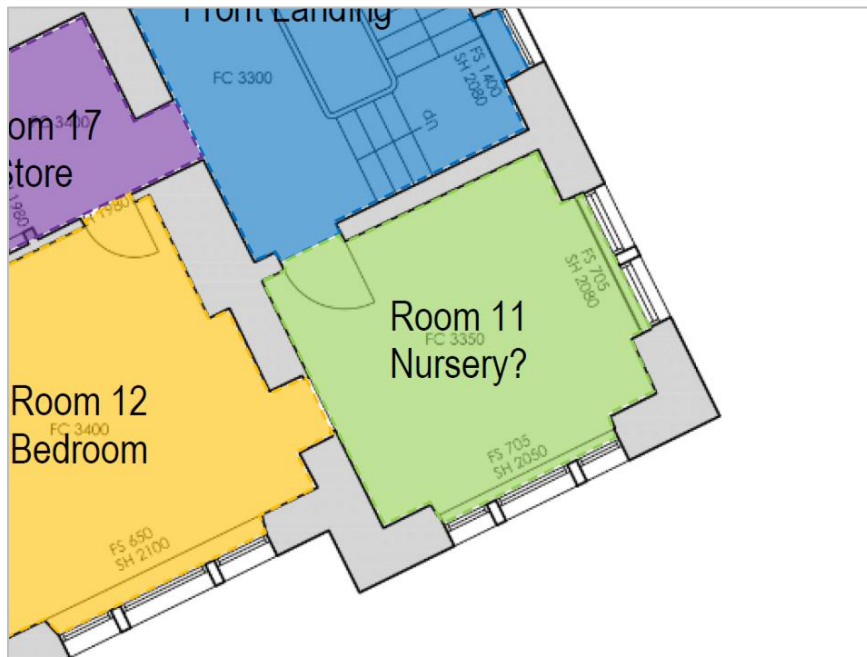


Photo 11.1: General view (wide angle)



Photo 11.2: Door to bedroom along with historic architrave & skirting board

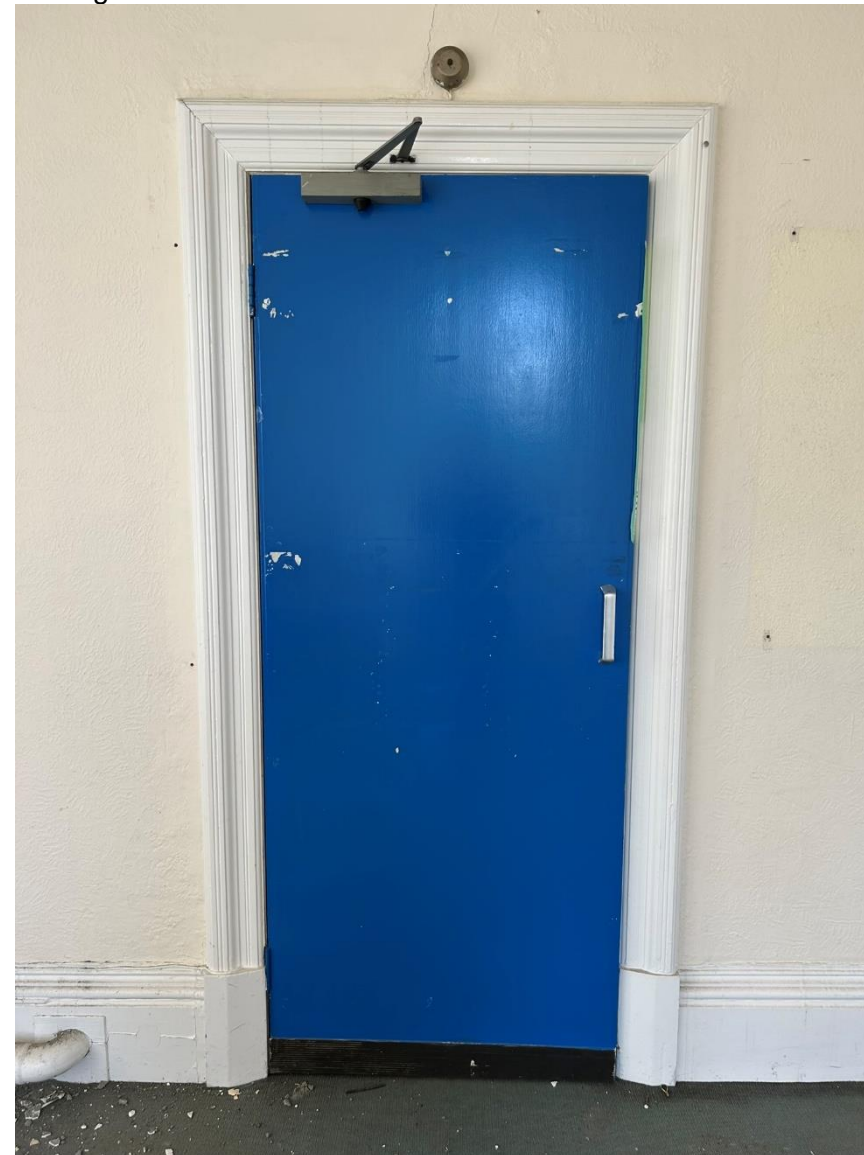


Photo 11.3: Close-up of window architrave & panelling alongside cornice



Room 12 – Bedroom

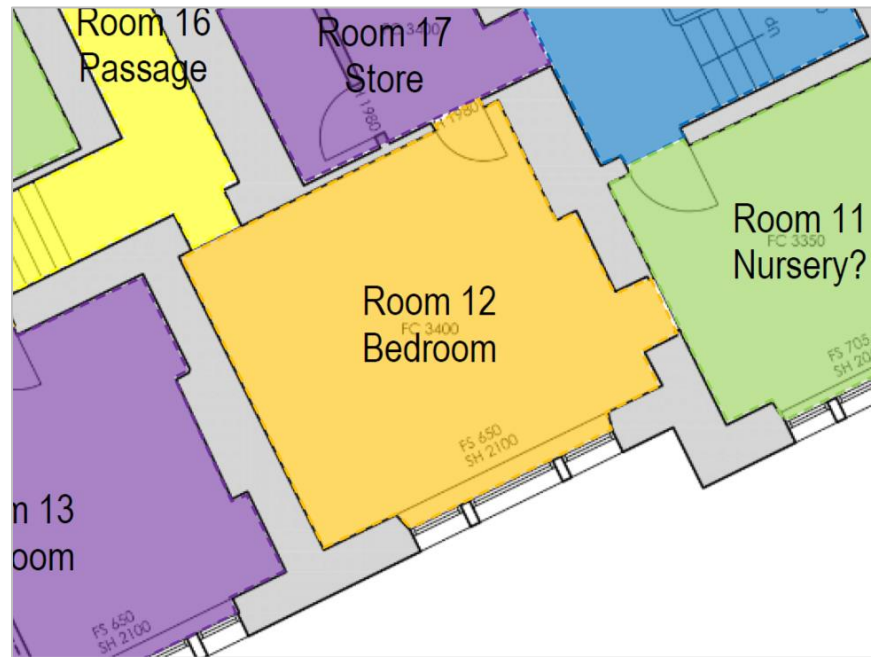


Photo 12.1: General view (wide angle)



Photo 12.2: Door to nursery along with modern architraves but historic skirting boards



Photo 12.3: Former door to passage along with modern architraves but historic skirting boards



Room 13 – Bedroom

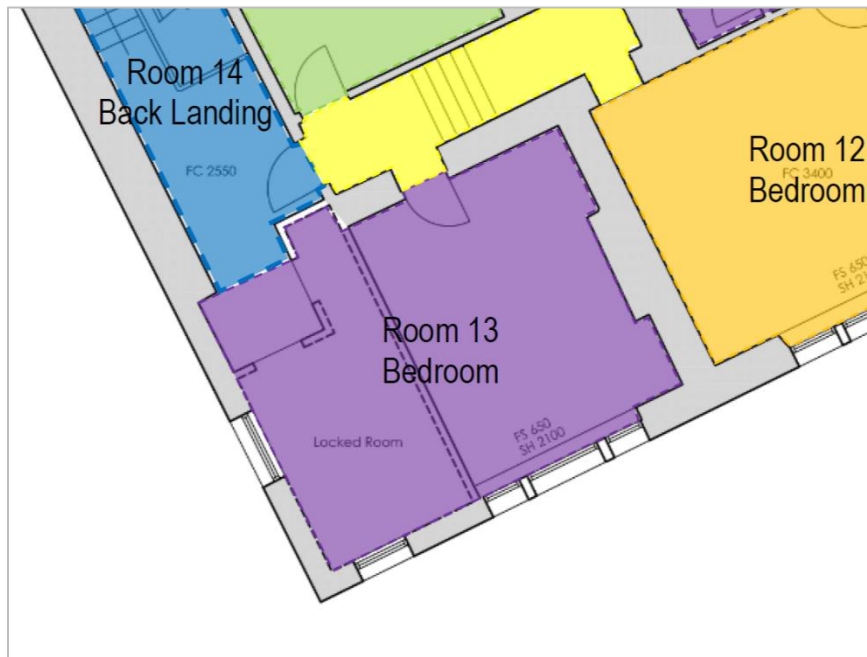


Photo 13.1: General view (wide angle)



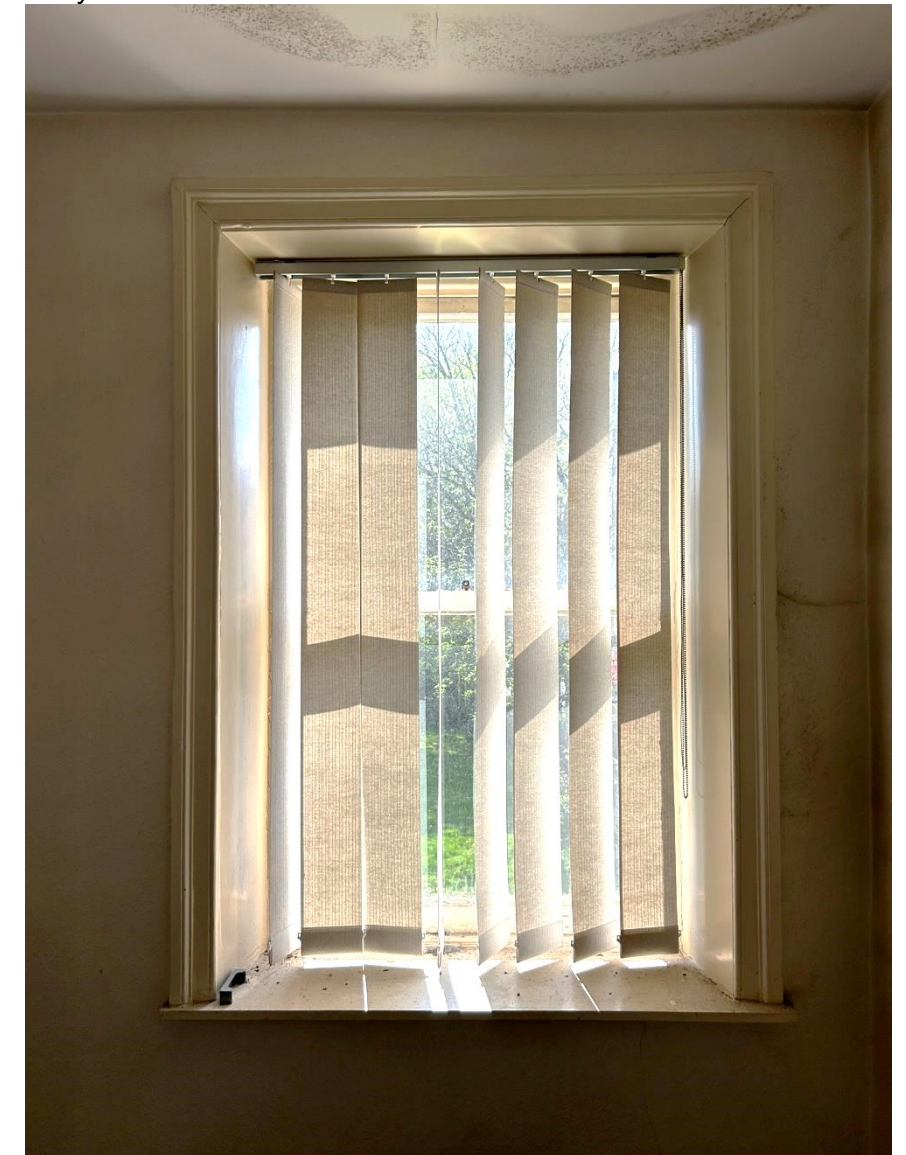
Photo 13.2: General view (wide angle)



Photo 13.3: Close-up of modern architraves & skirting boards



Photo 13.4: Only window to include architrave & panelling that are likely modern



Room 14 – Back Landing

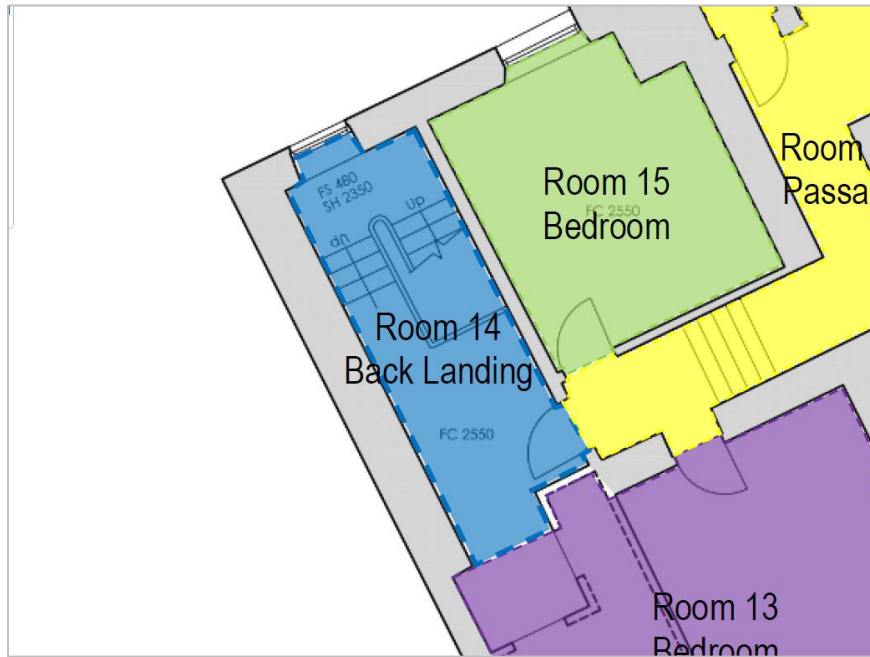


Photo 14.1: General view (wide angle)



Photo 14.2: General view (wide angle)



Photo 14.3: Close-up of historic skirting boards



Photo 14.4: Modern door & modern architraves but with historic or replica skirting boards



Photo 14.5: Historic cornice



Room 15 – Bedroom



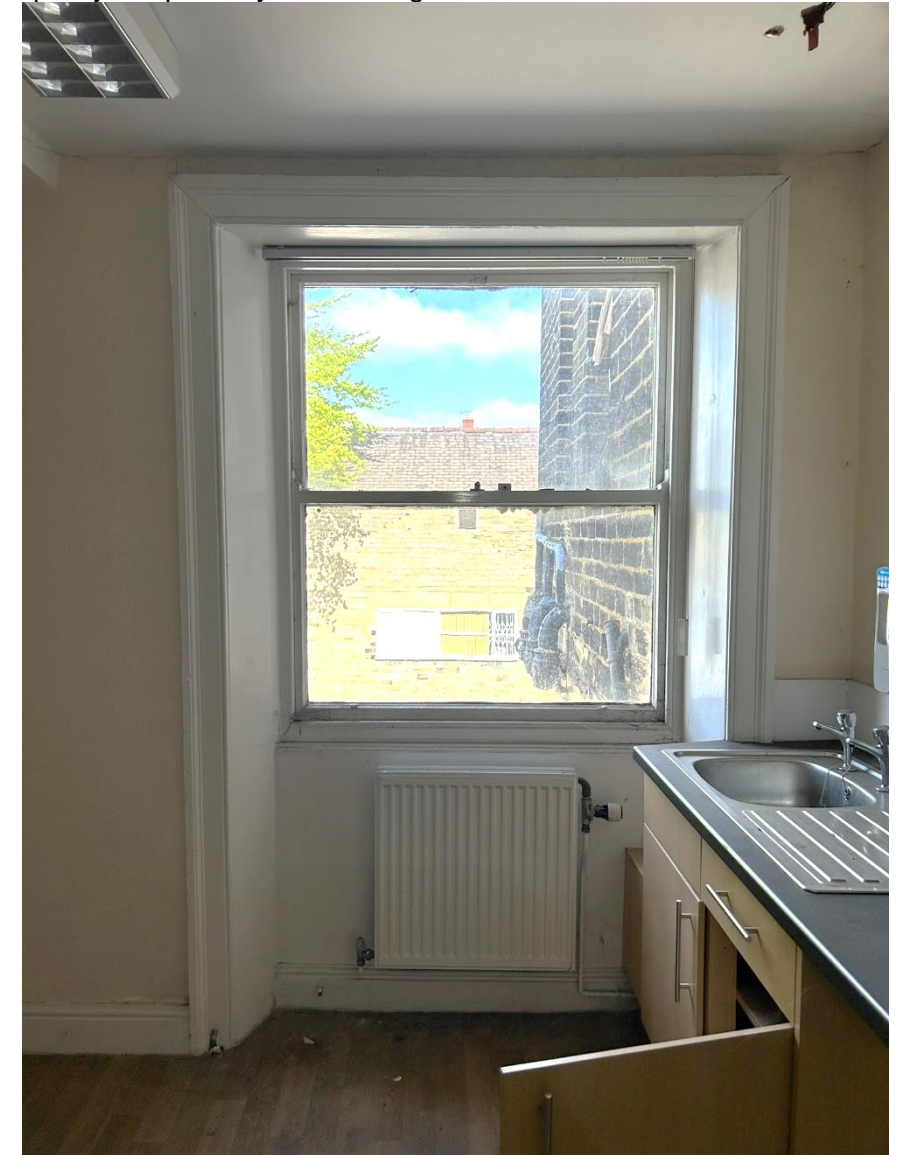
Photo 15.1: General view (wide angle)



Photo 15.2: Door to passage, architrave not original & of limited quality but possibly of some age



Photo 15.3: Window architrave & panelling not original & of limited quality but possibly of some age



Room 16 – Passage

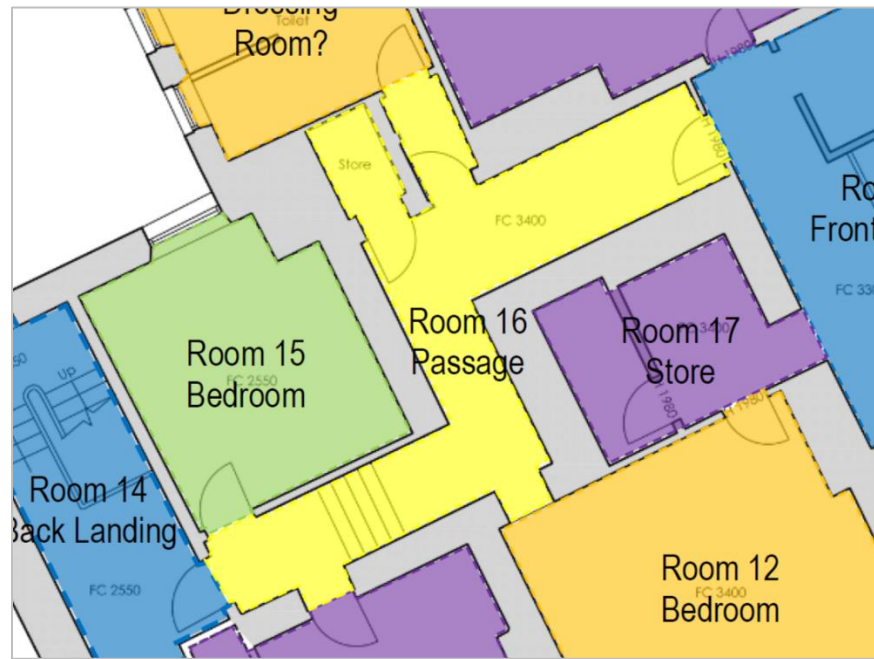


Photo 16.1: General view (wide angle)

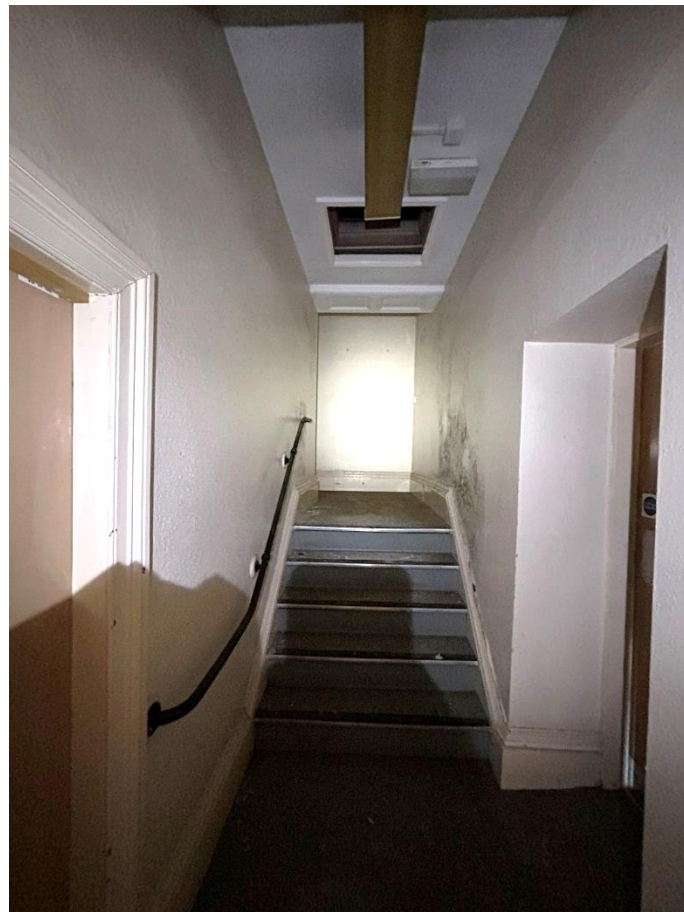


Photo 16.2: General view (wide angle)

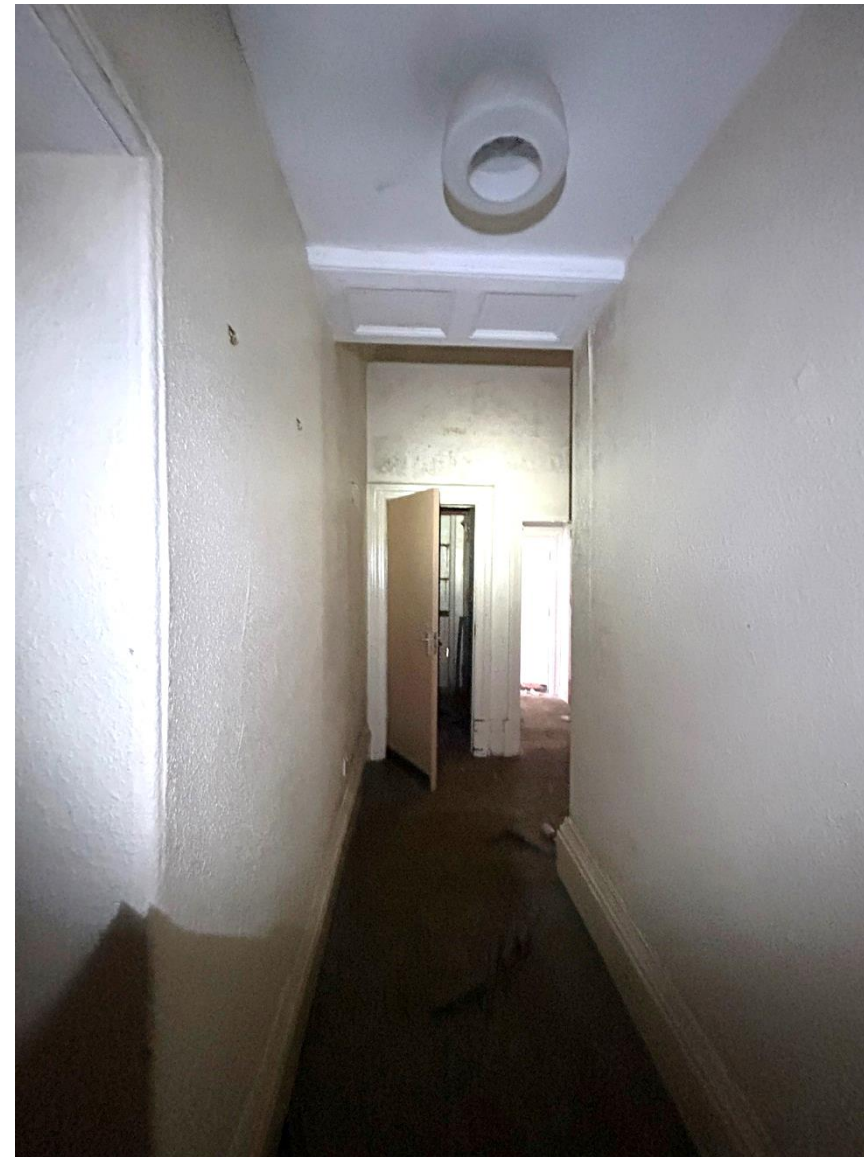
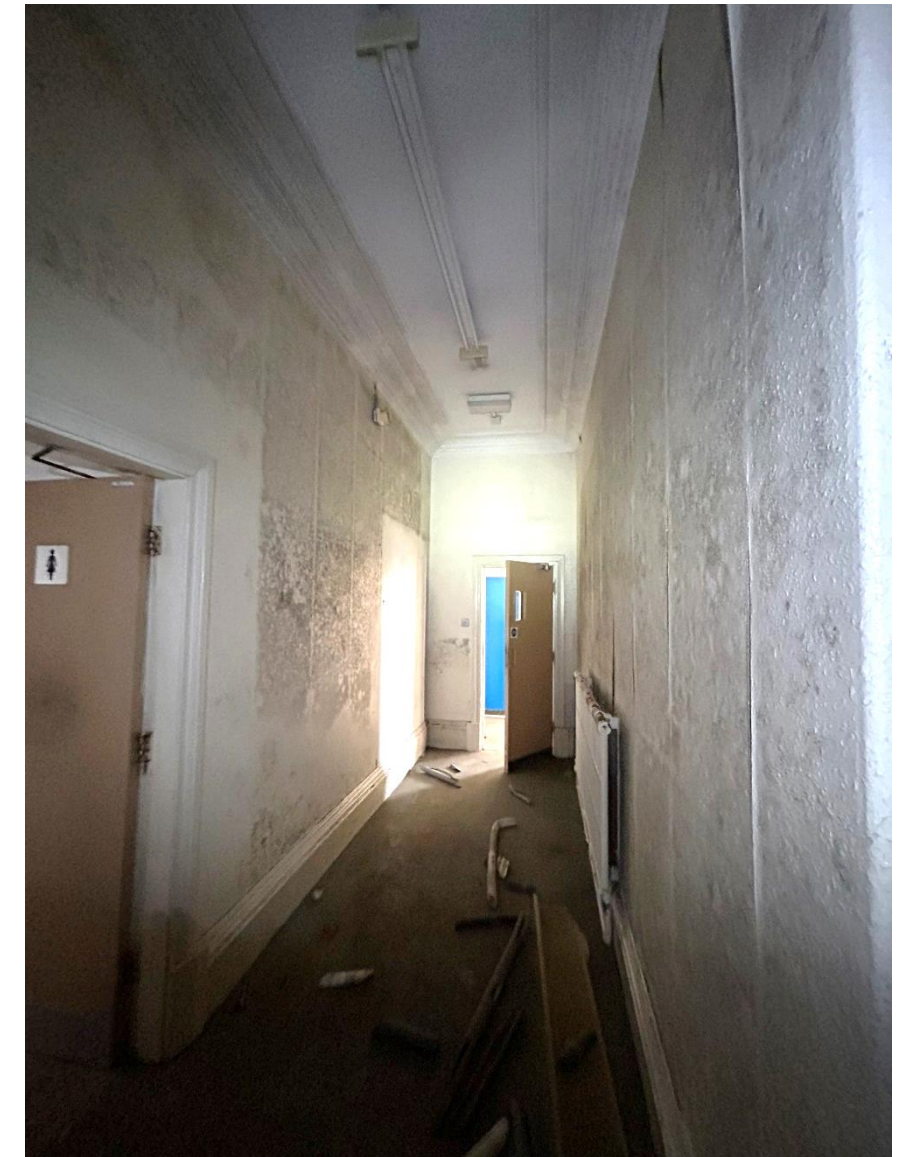


Photo 16.3: General view (wide angle)



Room 17 – Store?

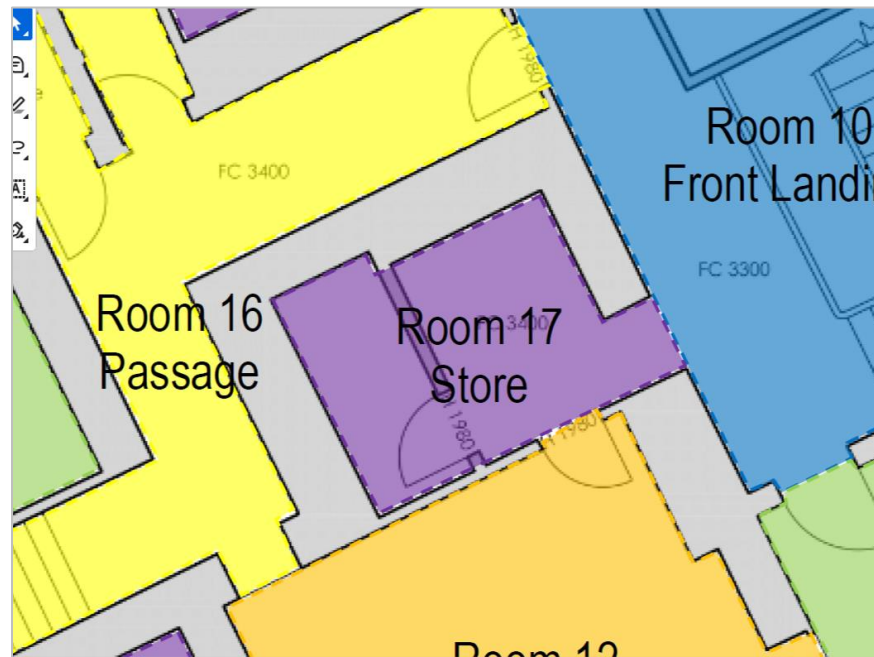


Photo 17.1: General view (wide angle)

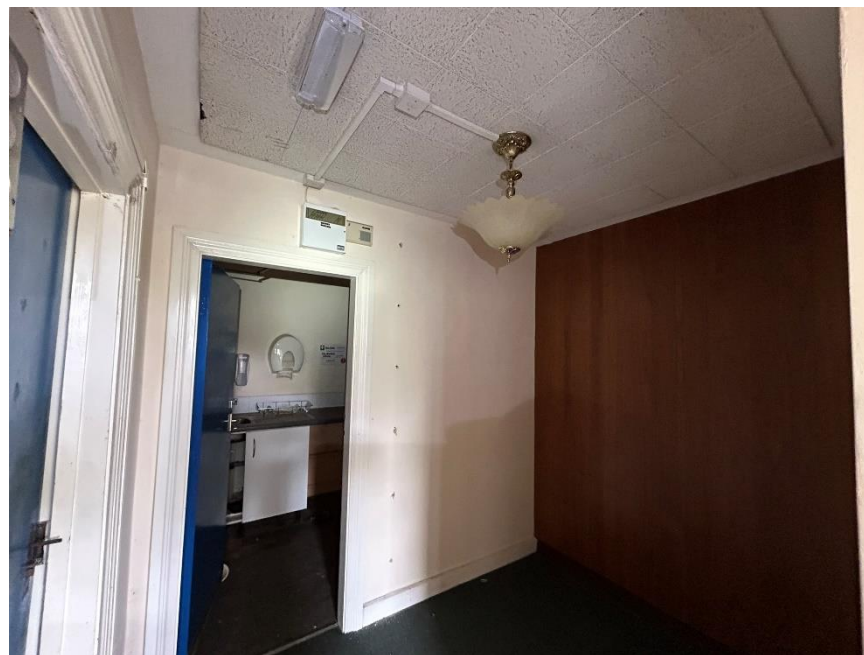
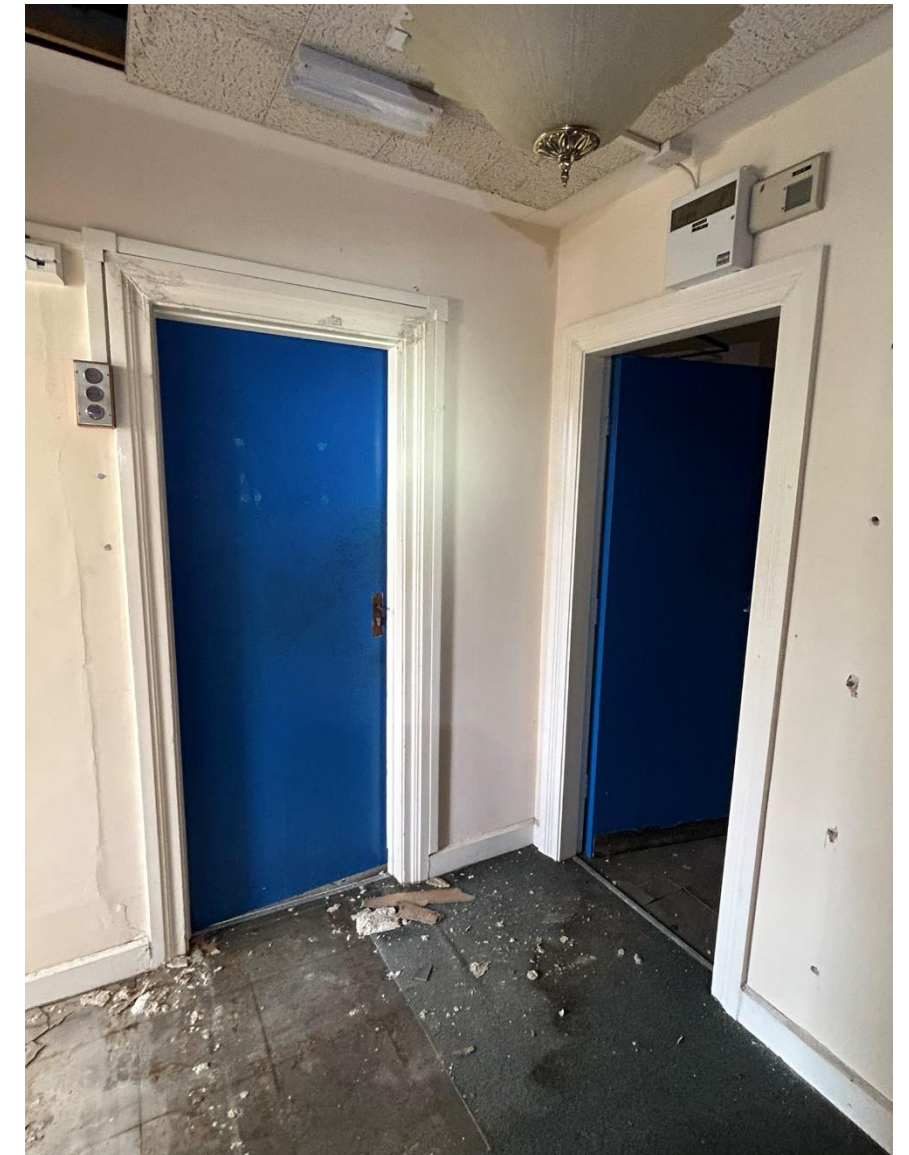


Photo 17.2: General view (wide angle)



Photo 17.3: Modern doors, architraves & skirting boards



Room 18 – Bathroom?

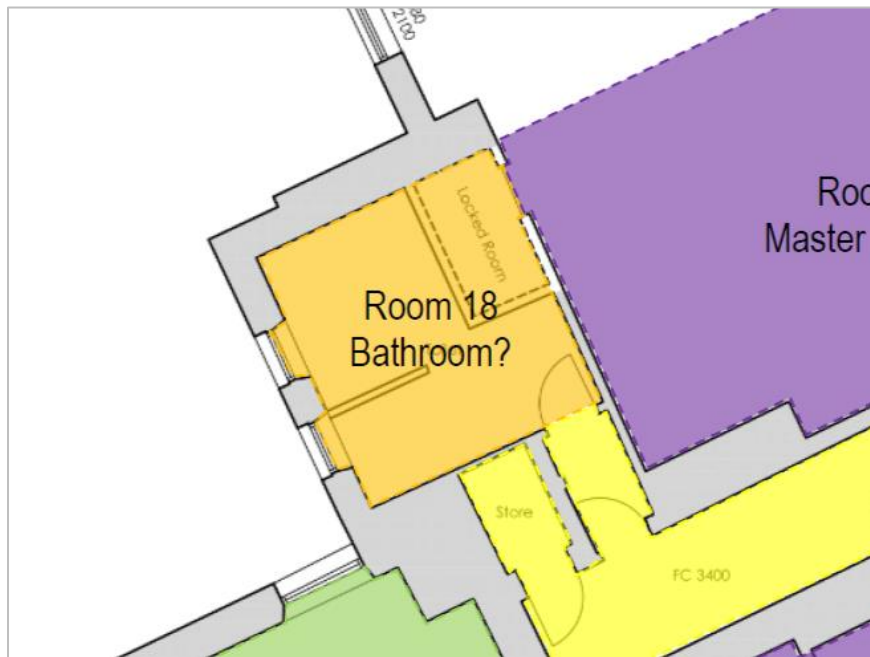


Photo 18.1: General view (wide angle)



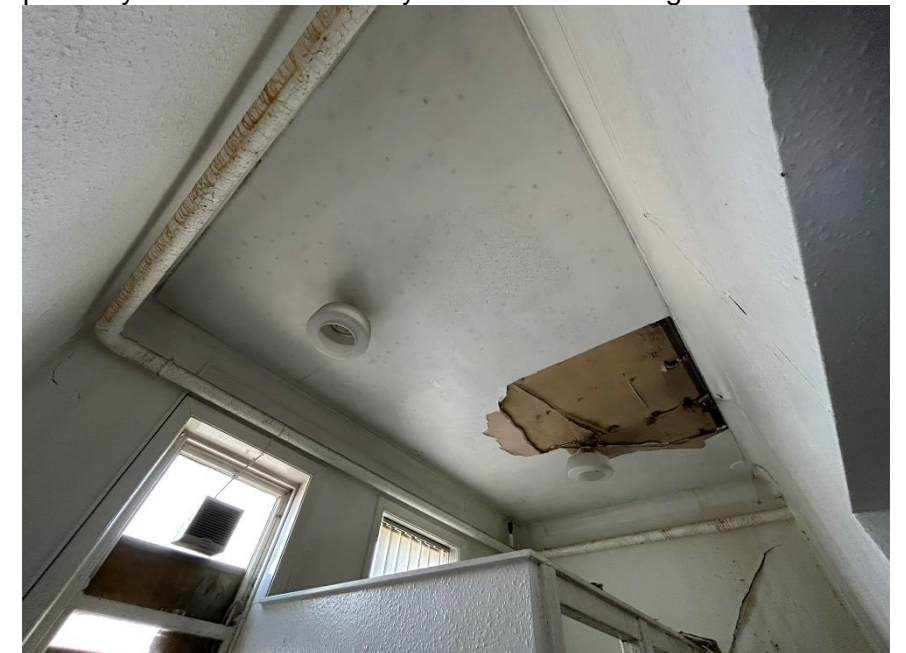
Photo 18.2: Modern & crude joinery to window



Photo 18.3: Modern skirting boards (where existing)



Photo 18.4: Simple & likely historic cornice to main part of room, probably extended in the early C20 to create a larger bathroom



Room 19 – Master Bedroom

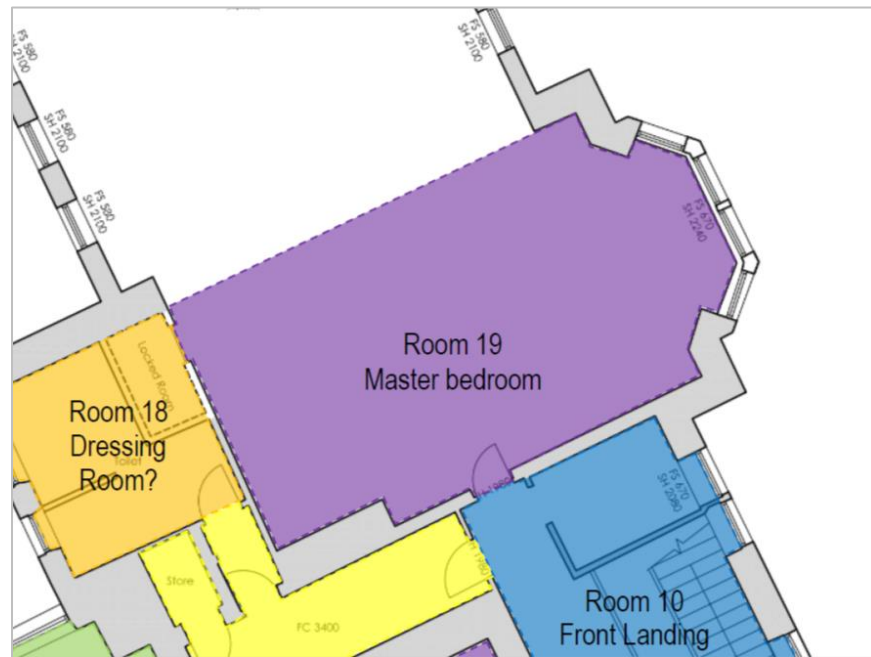


Photo 19.1: Cantered bay window including historic architrave & panelling (no other decorative historic features survive)



Photo 19.2: Close-up of panelling to cantered bay window



Photo 19.3: Close-up of modern architrave & skirting boards



Photo 19.4: Removed ceiling tiles reveal no historic cornice or other plasterwork



Rooms 20,21 & 22



Photo 20.2: General view (wide angle)



Photo 21.1: General view (wide angle) of room 21

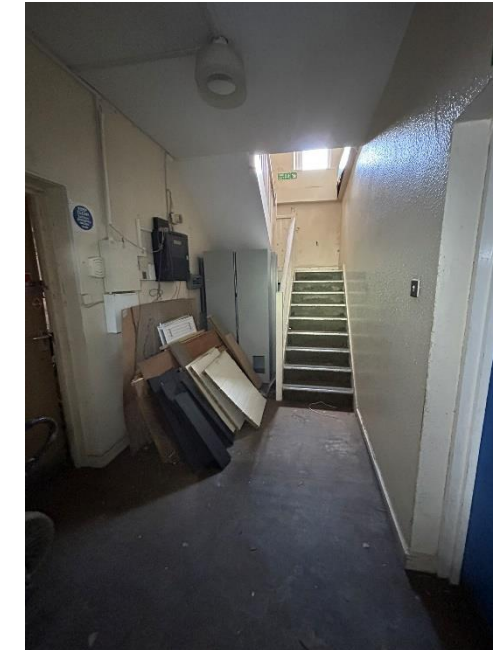


Photo 20.1: General view (wide angle)



Photo 20.3: The architraves & panelling to this window are the only internal historic features & details visible to the entire ground floor



Photo 22.1: General view (wide angle) which is representative of modernised condition of room 22



Rooms 23, 24 & 25



Photo 23.1: General view (wide angle)



Photo 23.2: Gable window with historic architraves & plain panelling, one of three similar windows within room



Photo 23.3: Cornice & truss



Photo 23.4: General view (wide angle)



Photo 23.5: Cornice & truss



Photo 23.6: Storage room



Photo 25.1 General view (wide angle)



Photo 24.1: General view (wide angle)

