

Architecture
Planning
Urban Design
Landscape



PROPOSED RESIDENTIAL DEVELOPMENT

Land off Hermitage Park, Lepton

Design and Access Statement

V.02: May 2025

millerhomes

Contents Amendment Record

Project: Lepton

Date of Issue	Rev	Notes	Status	Completed By	Checked and Approved By		
					Designer	Landscape	Planner
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01 Introduction



1.0 Introduction

1.1 Document Introduction

This Design and Access Statement has been prepared by John R Paley Associates in support of a planning application for residential development on land at Hermitage Park, Lepton.

Outline planning permission for a residential development of 80 units has previously been granted on part of housing allocation HS3, specifically the section accessed from Hermitage Road. This was via application ref: 2022/91735. The outline approval included the consideration of access and layout.

The reserved Matters application therefore seeks approval for landscape, scale and appearance.

1.2 Purpose

This Statement responds to the requirements of The Town and Country Planning (Development Management Procedure) (England) Order 2015 for applications of this type to be accompanied by a Design and Access Statement.

The aims of the statement are to ensure design is integral to the creation of this development as far as possible.

1.3 Content

The content of the design element of the statement aims to demonstrate how the physical characteristics of the scheme have been influenced by a thorough process. The process undertaken includes:

Assessment
Involvement
Evaluation
Design

The statement also seeks to address the following factors:

- Explain the design principles and concepts that have been applied to the development;
- Demonstrate the steps taken to appraise the context of the development and how the design of the development takes that context into account;
- Explain the policy adopted as to access, and how policies relating to access in relevant local development documents have been taken into account;
- State what, if any, consultation has been undertaken on issues relating to access to the development and what account has been taken of the outcome of any such consultation; and
- Explain how any specific issues which might affect access to the development have been addressed.

The access element of the statement also includes two aspects of access to the development:

Vehicular and transport links

Why the access points and routes have been chosen, and how the site responds to road layout and public transport provision.

Inclusive access

How everyone can get to and move through the place on equal terms regardless of ages, disability, ethnicity or social grouping.

1.4 Brief

The following points summarise the brief at an early stage of the design process:

- Deliver a high quality design which is sympathetic to the wider locality
- Employ innovations which are a model for environmentally sensitive development.
- Create a scheme which is viable, sustainable and maintainable
- Design a scheme that is in accordance with the requirements of the outline planning permission and more specifically the access and layout designs granted under permission 19/00444/OL.

1.5 Aspirations

To achieve the brief through careful design and communication with the local authority without preconception of the possibilities for this site.



02 Development Framework

2.1 Planning Policy Context

This section of the Design and Access Statement reviews both National and Local Planning policies in relation to the design aspects of the scheme.

While more recent changes to the planning system have confused certain areas of policy, Section 38(6) of the Planning and Compulsory Purchase Act (PCPA) 2004 remains and states:

"If regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts the determination must be in accordance with the plan unless material considerations indicate otherwise".

2.1.1 National Planning Policy Statement

National Planning Policy Framework, 2025

The National Planning Policy Framework sets out the Government's planning policies for England and how these should be applied. It provides a framework within which locally-prepared plans for housing and other development can be produced.

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The National Planning Policy Framework must be taken into account in preparing the development plan, and is a material consideration in planning decisions. Planning policies and decisions must also reflect relevant international obligations and statutory requirements.

The purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs.

Paragraph 8 states the overarching objectives of the planning system is to achieve sustainable development. The objectives are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;

b) a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and

c) an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including

moving to a low carbon economy.

In achieving well-designed places the NPPF states:

Paragraph 132. Plans should, at the most appropriate level, set out a clear design vision and expectations, so that applicants have as much certainty as possible about what is likely to be acceptable. Design policies should be developed with local communities so they reflect local aspirations, and are grounded in an understanding and evaluation of each area's defining characteristics. Neighbourhood planning groups can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development, both through their own plans and by engaging in the production of design policy, guidance and codes by local planning authorities and developers.

Paragraph 133. To provide maximum clarity about design expectations at an early stage, all local planning authorities should prepare design guides or codes consistent with the principles set out in the National Design Guide and National Model Design Code, and which reflect local character and design preferences. Design guides and codes provide a local framework for creating beautiful and distinctive places with a consistent and high quality standard of design. Their geographic coverage, level of detail and degree of prescription should be tailored to the circumstances and scale of change in each place, and should allow a suitable degree of variety.

Paragraph 134. Design guides and codes can be prepared at an area-wide, neighbourhood or site specific scale, and to carry weight in decision-making should be produced either as part of a plan or as supplementary planning documents. Landowners and developers may contribute to these exercises, but may also choose to prepare design codes in support of a planning application for sites they wish to develop. Whoever prepares them, all guides and codes should be based on effective community engagement and reflect local aspirations for the development of their area, taking into account the guidance contained in the National Design Guide and the National Model Design Code. These national documents should be used to guide decisions on applications in the absence of locally produced design guides or design codes.

Paragraph 135. Planning policies and decisions should ensure that developments: a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities); d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit; e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users⁵²; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Paragraph 136. Trees make an important contribution to the character and quality

of urban environments, and can also help mitigate and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined, that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users.

Paragraph 137. Design quality should be considered throughout the evolution and assessment of individual proposals. Early discussion between applicants, the local planning authority and local community about the design and style of emerging schemes is important for clarifying expectations and reconciling local and commercial interests. Applicants should work closely with those affected by their proposals to evolve designs that take account of the views of the community. Applications that can demonstrate early, proactive and effective engagement with the community should be looked on more favourably than those that cannot.

Paragraph 139. Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to: a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and **layout of their surroundings**.

Paragraph 140. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme

National Design Guide, 2019

The National Planning Policy Framework makes clear that creating high quality buildings and places is fundamental to what the planning and development process should achieve. The National Design Guide published 1st October 2019, by the Ministry of Housing, Communities & Local Government seeks to illustrate how well-designed places that are beautiful, enduring and successful can be achieved in practice. It forms part of the Government's collection of planning practice guidance and should be read alongside the separate planning practice guidance on design process and tools.

The focus of the design guide is on good design in the planning system, so it is primarily for:

- Local authority planning officers, who prepare local planning policy and guidance and assess the quality of planning applications;
- Councilors, who make planning decisions;

2.1 Planning Policy Context

- Applicants and their design teams, who prepare applications for planning permission; and
- People in local communities and their representatives.

The 10 characteristics of well-designed places

The design guide introduces 10 characteristics for well designed places as set out in the diagram and explained in depth in the design guide.

The Design Guide states that a National Model Design Code, will be published setting out detailed standards for key elements of successful design. This will be subject to consultation and consider the findings of the Building Better, Building Beautiful Commission who are due to publish their final report in December 2019.

The National Model Design Code will set a baseline standard of quality and practice across England which local planning authorities will be expected to take into account when developing local design codes and guides and when determining planning applications.



Kirklees Council

Local Planning Policy

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that planning applications are determined in accordance with the Development Plan unless material considerations indicate otherwise. The statutory Development Plan for Kirklees is the Local Plan (adopted 27/02/2019).

Kirklees Local Plan (KLP)

The application site is part of housing allocation HS3 within the Kirklees Local Plan. Allocation HS3 has an indicative housing capacity of 312 dwellings.

Site allocation HS3 identifies the following constraints relevant to the site:

- Public rights of way run across the site.
- Site lies adjacent to Lepton Great Wood Local Wildlife Site.
- Site contains Habitats of Principal Importance.
- Protected trees on part of this site.
- Site is close to an area of archaeological interest.
- Part/all of site is within a High-Risk Coal Referral area.
- The site lies close to a Grade II listed building.
- The trees alongside the public footpath are protected by a TPO.

Site allocation HS3 identifies the following "Other site-specific considerations":

- The primary access to this site would be via adjacent site allocation HS2 to the south with a secondary access via Hermitage Park.
- Site layout should provide 20m standoff distance from Lepton Great Wood and maintain hedgerows and protected trees within the site ideally through public open space.
- A joint master plan is required with adjacent site HS2 to be prepared in accordance with policies in the Local Plan
- Avoidance, mitigation and/or compensation measures may be required to address any identified adverse ecological impacts in line with Policy LP30. Such measures may involve the retention of habitats and provision of a habitat corridor to be included within a masterplan for the site.
- In order to safeguard the setting of the Grade II Listed Building known as Crow Trees, no development shall take place on the field/area marked as moderate significance in Councils HIA to the west of the public footpath that runs across the site
- Proposals would identify an appropriate layout, scale, appearance and materials of the proposed residential development to minimise harm to the setting of heritage assets, taking into account the evidence presented in the Council's Heritage Impact Assessment or any updated Heritage Impact Assessment submitted by the applicant as part of the planning application process.
- The public footpath, the historic field boundary and the trees protected by TPOs to the south of Crow Trees shall be retained as part of any development proposals

Kirklees Local Plan, 2019

The relevant policies are:

- LP1 – Presumption in favour of sustainable development
- LP2 – Place shaping
- LP3 – Location of new development
- LP7 – Efficient and effective use of land and buildings
- LP11 – Housing mix and affordable housing
- LP19 – Strategic transport infrastructure
- LP20 – Sustainable travel
- LP21 – Highways and access
- LP22 – Parking
- LP23 – Core walking and cycling network
- LP24 – Design
- LP27 – Flood risk
- LP28 – Drainage
- LP30 – Biodiversity and geodiversity
- LP32 – Landscape
- LP33 – Trees
- LP35 – Historic environment
- LP38 – Minerals safeguarding
- LP47 – Healthy, active and safe lifestyles
- LP51 – Protection and improvement of local air quality
- LP52 – Protection and improvement of environmental quality
- LP53 – Contaminated and unstable land
- LP61 – Urban green space
- LP63 – New open space
- LP65 – Housing allocations

Kirklees Supplementary Planning Documents (SPD)

These SPDs aim to provide clarity and deliver a higher standard of design in developments within Kirklees as part of the council's aspiration to promote the delivery of high-quality places. The detailed guidance is to be used early in the design, layout and planning of new developments.

When applying the guidance set out in the SPDs a "comply or justify" approach will be used. Proposals which comply with the guidance are more likely to progress through the planning process quickly and successfully. Proposals which depart from the guidance will need to provide full justification. For new developments, the council will welcome innovative and contemporary designs which are appropriate to the site context and which make a positive contribution to the appearance and character of the area.

- Highway Design Guide SPD (2019)
- Housebuilders Design Guide SPD (2021)
- Open Space SPD (2021)

2.1 Planning Policy Context

- Affordable Housing and Housing Mix SPD (2023)

Other Kirklees guidance and advice documents

The following guidance and advice notes are deemed relevant to this proposal:

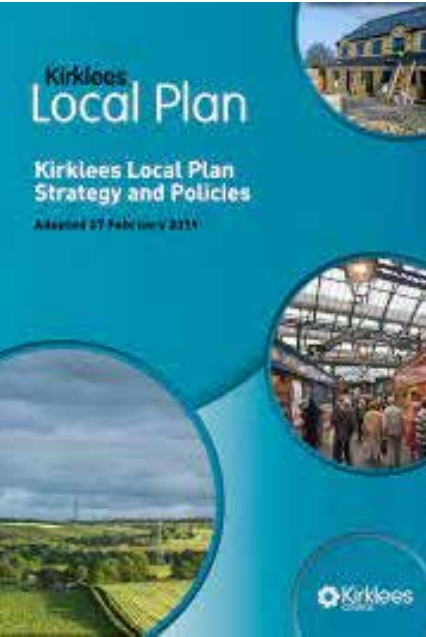
- Biodiversity Net Gain Technical Advice Note (2021)
- Planning Applications Climate Change Guidance (2021)
- West Yorkshire Low Emissions Strategy and Air Quality and Emissions Technical Planning Guidance (2016)
- Waste Management Design Guide for New Developments (2020, updated 2021)
- Green Streets Principles for the West Yorkshire Transport Fund (2017)
- Kirklees Interim Housing Position Statement to Boost Supply (2023)

Neighbourhood Planning

The Lepton Neighbourhood Area was designated on 18/09/2018 in accordance with the Town and Country Planning Act 1990, the Localism Act 2011 and the Neighbourhood Planning (General) Regulations (2012) as amended. Your enquiry site falls within the defined area.

Lepton Vision Steering Group were producing a Neighbourhood Development Plan for Lepton on behalf of Kirkburton Parish Council. At the Kirkburton Parish Council Neighbourhood Plans Committee meeting held on 20/10/2022, the steering group stepped down from producing a Neighbourhood Plan for the Lepton area. The plan is therefore on hold.

In light of the above, at the time of the approval of the site's original outline permission (ref: 2022/91735) there was no adopted neighbourhood plan which carried material weight in the decision-making process. Officers are not aware of any change to this since that date, at the time of writing. Nonetheless, such matters can change, and you are advised to keep appraised of the situation.



03 Site Area and Analysis

3.1 Site Area and Analysis

INTRODUCTION

This document has been completed on behalf of Miller Homes as a means of understanding the wider locality of the development site.

PLANNING HISTORY

2022/91735: Outline application, with access and layout, for the erection of 80 dwellings and associated work – Granted.

Surrounding Area

Penistone Road / Rowley Lane, Fenay Bridge (allocation HS2)

2020/92307: Outline application, including the consideration of access, for erection of residential development (up to 75 units) – Granted.

2024/90058: Reserved Matters application, including the considerations of appearance, scale, layout, and landscaping, for the erection of 67 dwellings, pursuant to outline permission 2020/92307 for the erection of residential development (up to 75 units) and the discharge of conditions 7 (include a Written Scheme of Archaeological Investigation (WSI) and Designer's Response), 8 (Foul and Surface Water Drainage Strategy), 9 (flood routing), 10 (mitigatory tree-planting), 11 (cycle parking), 12 (Arboriculture Assessment), 13 (Ecological Design Strategy), 14 (Ecological Impact Assessment), 15 (noise impact assessment) – Ongoing.

As per the Local Plan and as detailed in the site's approved outline permission, development at allocated sites HS2 and HS3 is to be masterplanned, essentially forming a single, integrated, co-ordinated development.

Land at Penistone Road, Fenay Bridge (allocated HS1)

2020/90725: Erection of 68 dwellings with associated access, parking and open space (revised plans) – Granted.

2022/93154: Erection of 68 dwellings with associated access, parking, open space, landscaping and infrastructure works (including installation of surface water attenuation tank) – Granted.

32 Rowley Lane, HD8 0JD

2021/91624: Erection of first floor rear extension, conversion of garage to living accommodation and exterior alterations – Granted.



3.1.1 Site Area and Analysis

LOCAL CONTEXT

The site is bound by established existing housing to the North and North-West, Lepton Great Wood to the East and South-East, and fields to the South-West which are allocated for housing development.

The existing residential properties to the North sit adjacent to Rowley Lane, beyond which is the grounds of Rowley Lane Junior, Infant and Nursery School.

Adjacent to the North-Western boundary are existing residential dwellings located off Hermitage Park, a cul-de-sac, and an unnamed shared access road which connects to the PROW which crosses the site.

The surrounding areas of Fenay Bridge and Lepton include a variety of structures and styles of architecture.

The site is surrounded mostly by residential buildings with the majority of them developed after 1960. The houses are predominantly detached or semi-detached in light brick or stone with slate roofs and simple shape. Some of them have original historic details though most appear to have modern elements such as bay windows, small porches or wooden cladding to add interest and decoration to the front façades. The plots include both forecourts and backyards of different sizes, typically with a garage on the side. To the South of the site, there are a few commercially used buildings which are generally kept in the similar style as well as showing some of the historic details.

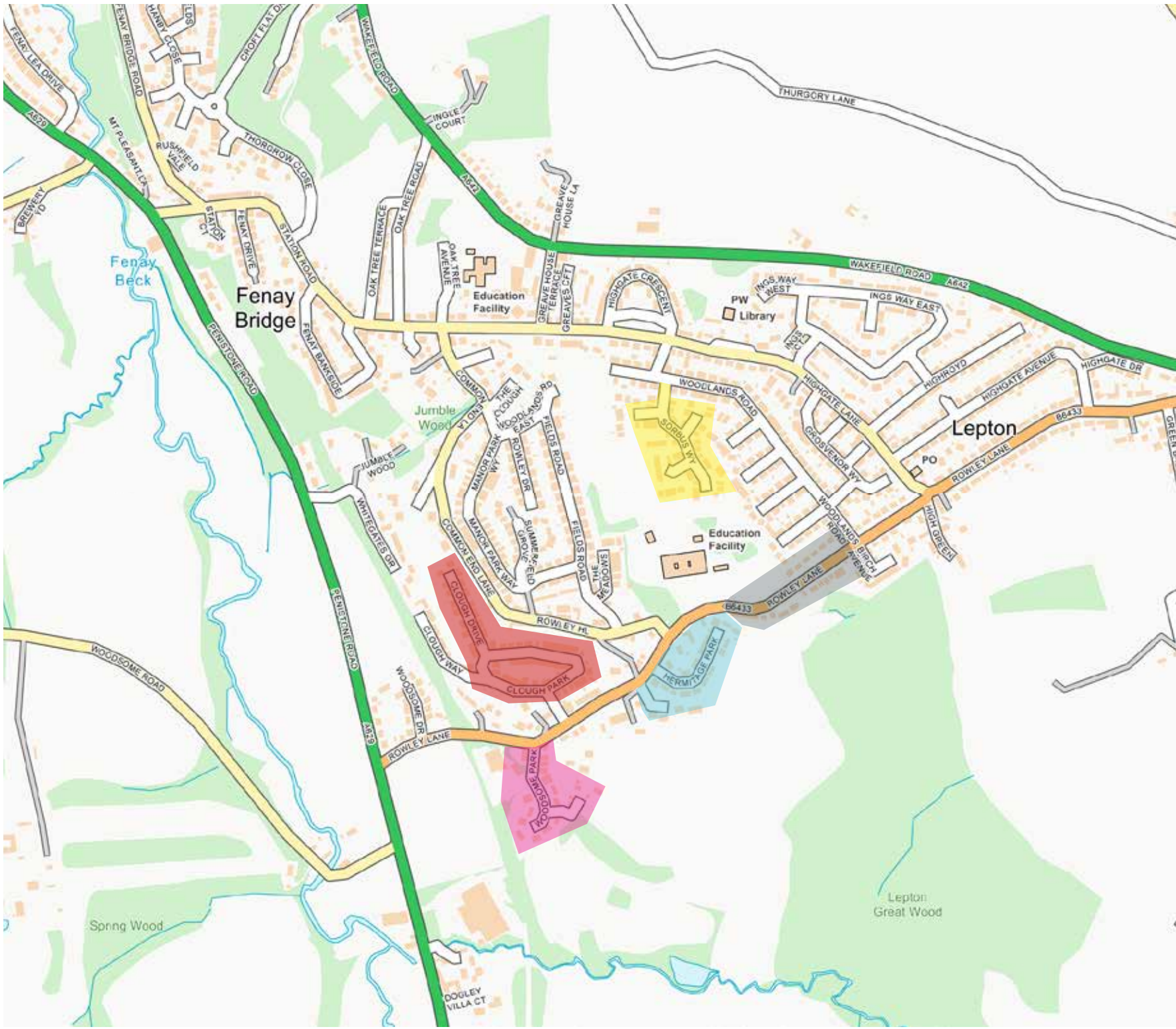
There is no predominant materials palette or character in the surrounding area, with a wide range of materials used including stone, reconstituted stone, red brick, and some rendered dwellings.

The dwellings nearest to the periphery of the site however tend to be modern constructions in reconstituted stone, maintaining the countryside edge to the settlement areas, and reflecting the traditionally available materials within the wider area of Huddersfield.

Principle 2 of the Housebuilder Design Guide requires that:
New residential development should respect and enhance the local character of the area by:

- Taking cues from the character of the built and natural environment within the locality
- Creating a positive and coherent identity, complementing the surrounding built form in terms of its height, shape, form and architectural details
- Illustrating how landscape opportunities have been used and promote a responsive, appropriate approach to the local context.

The Site Area and Analysis sections provide this background and inform the concept design proposals.



The site is surrounded mainly by farmland made up of open fields and some wooded areas including Lepton Great Wood and Spring Wood.

The open fields are generally surrounded by lines of trees and hedgerows, occasionally joining up to larger areas of woodland as above.

The allocation sites terrain slopes gradually from West to East providing great views from the elevated points, towards the south-west.

Besides some areas being developed, there is still a generous amount of green space remaining which results in an open, countryside feel to the neighbourhoods.

3.1 Site Area and Analysis

The areas annotated on the photograph and on the image oppoposite have been reviewed in more detail in order to gain a greater understanding of the wider context.



3.1.1 Site Area and Analysis

HERMITAGE PARK

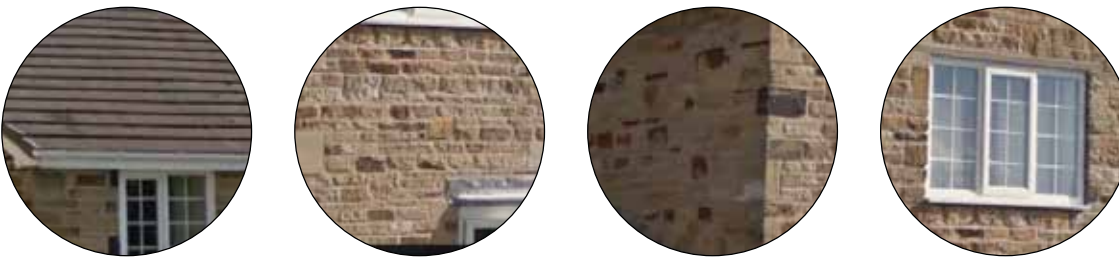
Hermitage Park lies immediately to the east of the development site.

These dwellings would have been constructed around the 1970s to early 1980s, and materially are constructed with sandstone, reconstituted stone elevations and grey roof tiles.

The dwellings are detached in form set back from the street with either attached side or integral garages.

Window styles are horizontal in emphasis and constructed of White UPVc. Front porches are common with arched entrances being a common feature within this street.

Narrow stone heads are present to the ground floor however the first floor windows are set below the eaves.



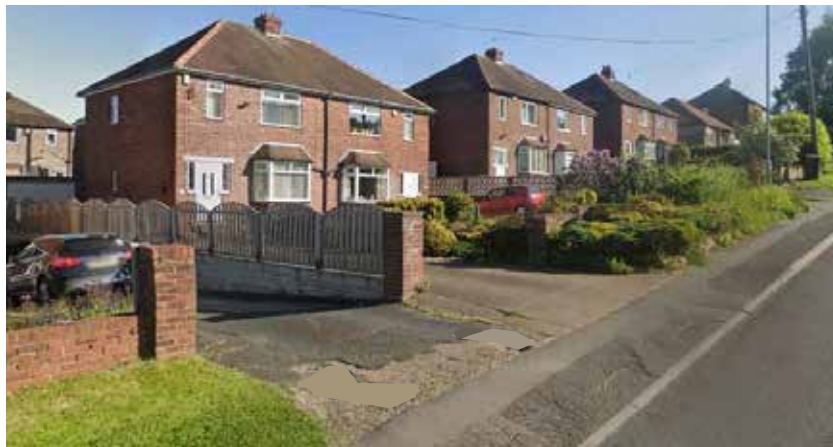
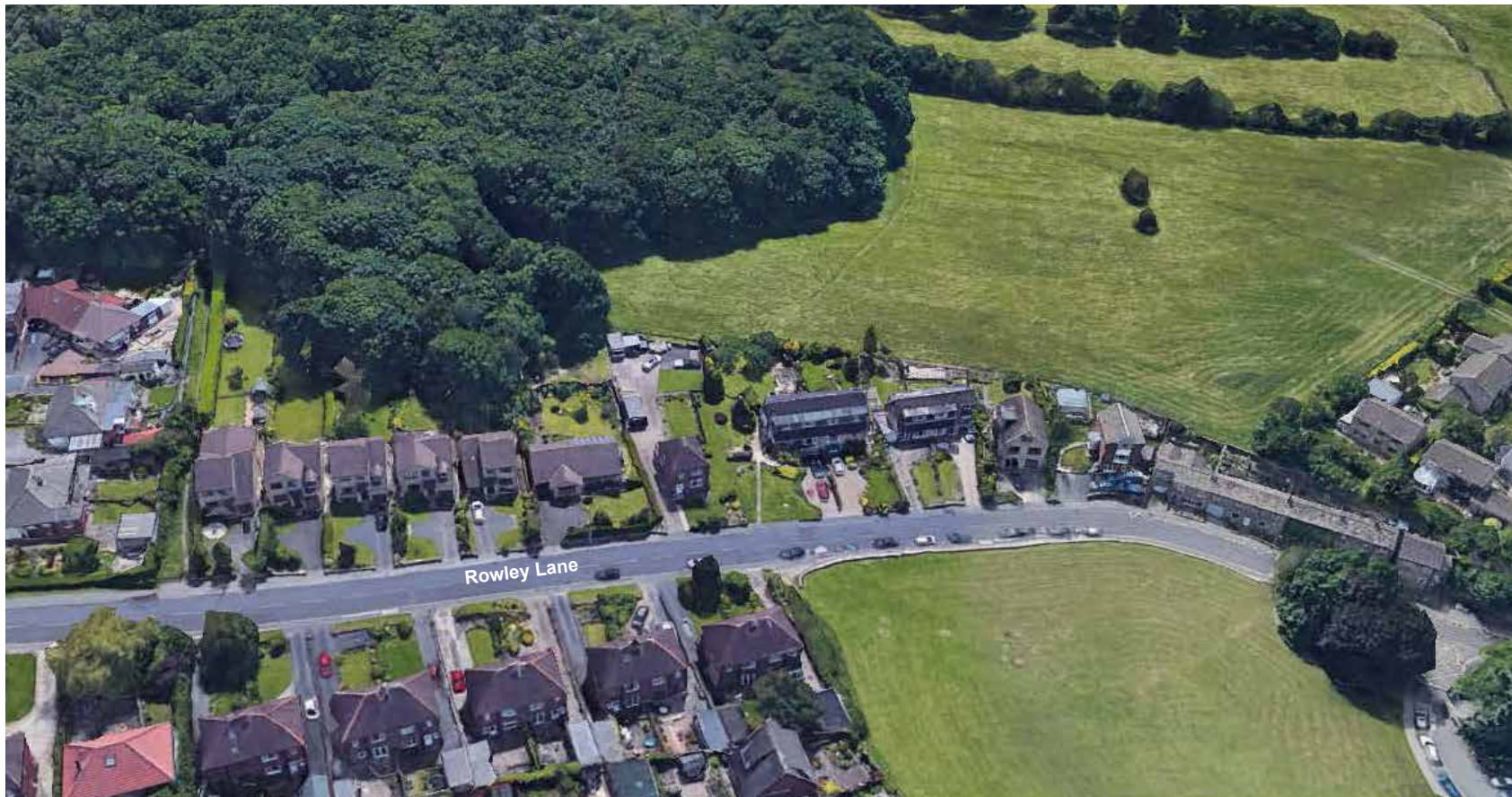
3.1 Site Area and Analysis

ROWLEY LANE

Dwellings along Rowley Lane to the North of the site are comprised of a stone terrace and a number of detached and semi-detached brick dwellings of a similar age to those seen on Hermitage Park.

Window styles to the stone terrace are vertically emphasised to the first floor and horizontal to the ground floor with low window to wall ratios. Stone surrounds to the windows.

Materiality varies with the presence of red brick, stone within the terrace and additional cladding walling as seen below. The architectural styles vary close to the development site but become more uniform as you move away from the development site with regular spaced semi detached dwellings.



3.1.1 Site Area and Analysis

SORBUS WAY

Different to the more regimented developments, Sorbus Way is set within cul de sac setting typical of the late 1980s / early 1990's.

The dwellings are predominantly detached in form and constructed of red brick, render and elements of boarding and artificial stone. The brown windows provide a distinctive character to this street. Roof tiles vary with brown and red tiles present.

Contrasting brick detailing are utilised for the heads and cills or render / boarding is utilised to the first floor.

The dwellings are detached in form set back from the street with integral garages and driveways.

Window styles are horizontal in emphasis.



3.1 Site Area and Analysis

Woodsome Park / Beldon Brk Grn

This represents the more recent development within Lepton, comprising of large detached dwellings constructed of natural stone.

Architectural features vary with horizontal emphasis to the most recent and vertical window proportions to those of older construction.

Stone surrounds are utilised and features such as stone detailing, feature round windows are utilised.

Grey roof tiles dominate within this location.



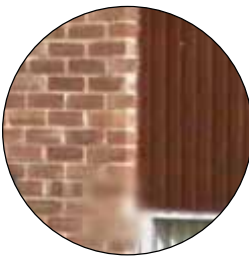
3.1.1 Site Area and Analysis

CLOUGH DRIVE / CLOUGH PARK

Positioned to the west of the development site, Clough Lane and Clough Drive comprise of detached properties which are a mix of single and 2 storey dwellings.

Architectural styles and materiality varies as identified on the images below and opposite. Examples of artifical stone, red brick and boarding.

Horizontal emphasis can be seen to the windows. Boarding surrounds windows to some dwellings. Some stone dwellings have thin provide stone heads and cills. Others do not have this feature at all.





04 **Design Evolution**

4.1 HS3 Masterplan Document

Principle 3 of the Housebuilder Design Guide requires that:

Developers are expected to clearly identify and map out site opportunities and constraints in the Design and Access Statement. This can help understand what constraints impact upon the developability of the site and ensure that they are fully embedded into the design of the site and that the site can be developed to make the efficient and effective use of land. A Site Framework will identify the purpose of each part of the site and help guide the site's development, setting the development parameters early in the planning process.

The image opposite identifies the overall masterplan which was established and agreed for this parcel and the wider HS2 and HS3 allocation.

This plan sets out the development framework which should be followed to ensure a holistic design solution.

The site subject to this application is identified with a thicker red line. Key elements to consider:

- Development parcels for residential use
- Structure planting required to the northern boundary
- Location and type of open space - Play
- Existing mature trees to be retained
- Position and quantum of green open space and the central swathe free from development
- 20m buffer to the Ancient Woodland
- Dedicated route for the off road footpaths
- Access Road into the development
- Sustainable drainage requirements
- Pumping Station required for the drainage solution.
- Existing hedgerows to be retained.

HS2 & HS3- Masterplan Framework Development Plan



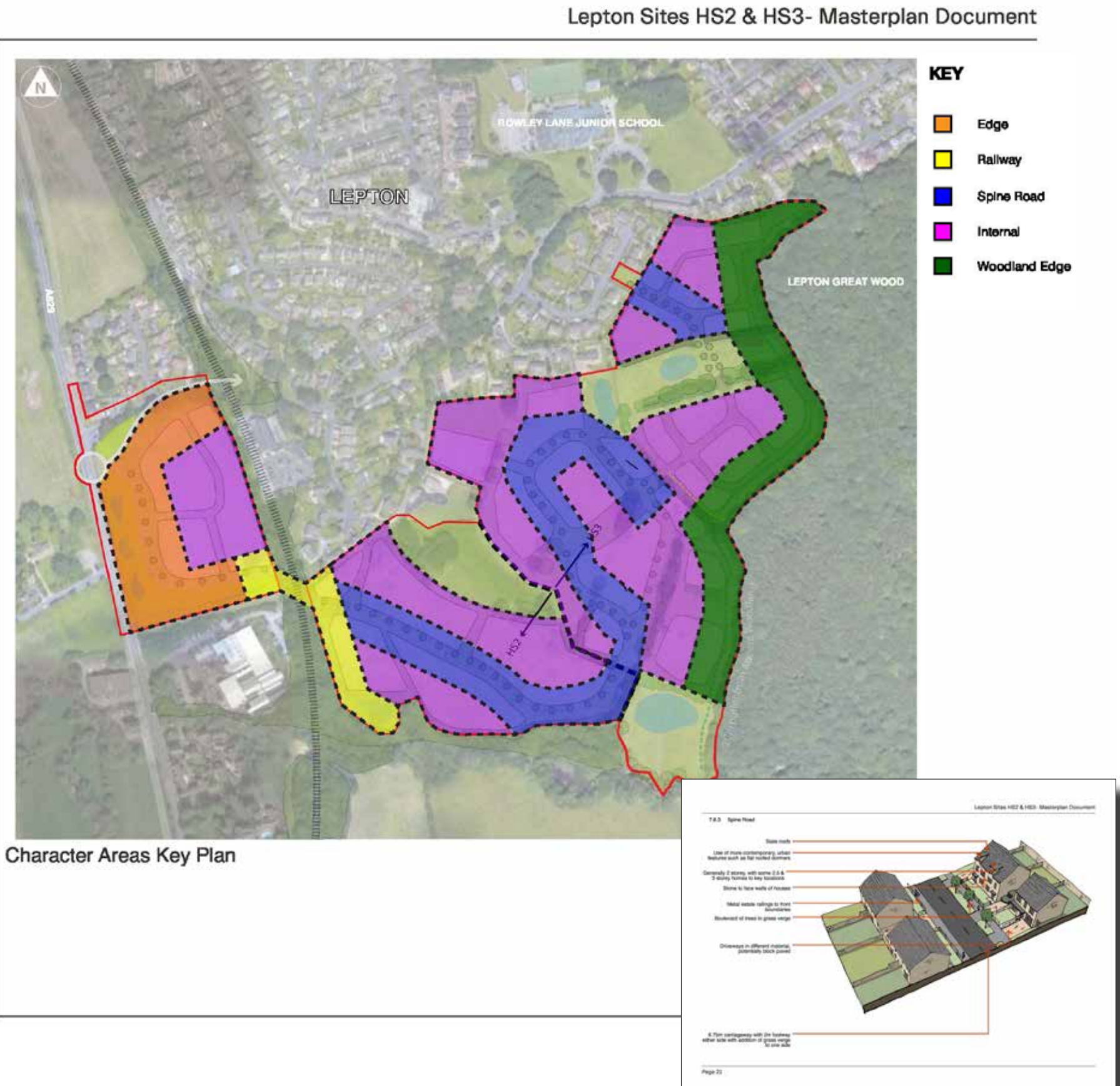
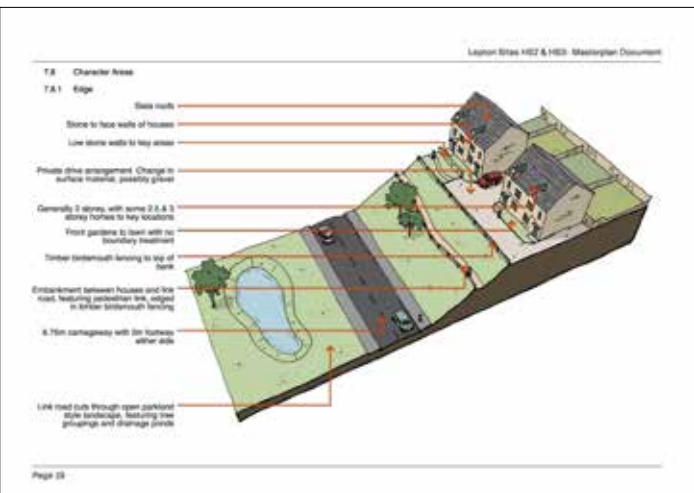
4.1.1 HS3 Masterplan Document

In addition to the masterplan, the Framework identified a number of design standards which must be considered. These elements are identified below and opposite as a means of informing the development proposals:

Character Areas

A number of character areas were developed which help to broadly determine the approach through different areas of the site.

For the site subject to this application, this includes Spine Road and Internal and Woodland Edge.



4.1 Approved Site Layout

This application applies for the approval of Reserved Matters, pursuant to Outline consent reference 2022/60/91735/W.

The Outline consent fixed the layout of the development, which is subject to a minor amendment as a result of the development proposals.

A copy of the approved Site Layout is identified opposite.



4.1.1 Pre-Application Layout



An evolution from the approved layout can be seen opposite.

- ① Access to the site is in line with the existing access. This is in complete accordance with the outline consent.
 - ② In line with Condition 2, the public open space which was to the west of Plot 78 has been removed and incorporated into the garden of Plot 78.
 - ③ The grass verges to the streets have been designed to be of an acceptable width to enable tree planting to be carried out in accordance with the Local Highway Authority's specification.
 - ④ Larger detached house plots to the periphery of the site to take advantage of existing mature landscaping and distant views. Dwellings to boundaries and large detached plots have a generous garden which backs onto existing tree planting.
 - ⑤ Retain significant area of public open space to the east of the site.
 - ⑥ Proposed drainage pond - position in line with the outline proposals.
- This plan was subsequently submitted to the Local Authority as part of a formal pre-application process.

Overall, numbers remain at 80 dwellings and the general form / design principles are maintained when compared to the original layout.

4.1.2 Pre-Application Comments

Some comments raised towards the pre-application submission:

From a general urban design perspective, officers consider that the differences between the approved and (amended) proposed layouts would be limited, as would the impacts of the latest proposals when compared with the approved scheme. The following should, however, be noted:

- 1. Concerns expressed over the initial amended layout's relationship with properties on Hermitage Park - this should be reverted back to an arrangement similar to the original proposal.
- 2. Due to uncertainty on levels, the relationship with properties to the north of the site (fronting onto Rowley Lane) is unclear. Detailed sections, at several points, would be expected at Reserved Matters stage. To be clear, this would be sought regardless of whether the Section 73 application is submitted.
- 3. Possible encroachment of plots 48 and 49 into the central corridor,
- 4. The layout complies with Policy LP22 by providing two parking spaces for 2-3 bedroom properties and three spaces for 4-bedroom properties", yet officers note that plot 58 and 66 still only have one parking space each.
- 5. Adequate swept path turning needs be demonstrated for plots 37 and 38. There are concerns that the proposed turning area is inadequate, and the actual use of these spaces would be impractical. Given the layout of the road, reversing onto the highway would also be an exaggerated and awkward manoeuvre.
- 6. Officers question whether the proposed use of hedgerow, to define boundaries between the proposed Public Open Space and curtilage of properties, is appropriate. The combination of a hedge and knee rail would be more substantial and is recommended.
- The Mining Remediation Authority (formally the Coal Authority) would be reconsulted as part of any Section 73 or Reserved Matters submission. You are advised to ensure that any amended layout would not prejudice the previous assessment or any design concessions (i.e., avoiding shafts) which may have been previously secured.



4.1.3 Pre-Application Response

In line with the comments raised, the scheme was evolved and comments provided below:

- Concerns expressed over the initial amended layout's relationship with properties on Hermitage Park have been addressed via the updated layout. The scheme has now reverted back to an arrangement similar to the original proposal.
- Detailed sections, at several points, have been prepared and are found within the scale and appearance section of this statement.
- Following an update, further comment was sought where it was determined that the encroachment of plots 48 and 49 into the central corridor, compared to that of the approved plots 67 and 68, is on balance considered acceptable. No further encroachments should be considered.

Given the concerns raised that the proposed turning area is inadequate, and the actual use of these spaces would be impractical, the layout of the road has been altered for Plots 38 and 39.





05 **Design Solution**

5.1 Proposed Site Layout

Following a detailed assessment of the pre-application comments, the scheme opposite has been developed.

The outward facing development allows natural surveillance to the areas of green space. These dwellings are looser in form and provides a soft edge to the scheme, increasing in density as you progress towards the centre of the site.

Adequate space between dwellings has been achieved ensuring a high quality environment for future residents.

Rear gardens are primarily sited against other rear gardens ensuring the creation of secure, defensible private amenity space. These are further emphasised through a careful boundary treatment solution.

Although the buildings are reflective of their residential use, the spaces and design allows future conversion, adaptation and extension in order to address future needs of occupants.

Buildings are orientated to ensure that there is sufficient light to habitable rooms and gardens and occupants have a pleasant outlook.

Sufficient buffer has been created to the Ancient Woodland to the eastern boundary. This is through a high quality landscape strip. Dedicated routes have been created within these areas for the off road footpaths

Play area has been created to the central area of the site in line with the wider development Framework.

The basin provides a sustainable drainage solution, working with the levels of the site and in line with the wider strategy for the allocation.

Development Summary

No. of Dwellings: 80
House Type Mix: Detached, semi-detached and short terraces.
Bedroom Range: 2, 3, 4 and 5 bedroom properties
Storey Heights: 2 storeys

As demonstrated opposite and as established through the pre-application process, the layout remains in general accordance with that approved at the outline stage



5.2 Residential Amenity

Continuous frontages have been created by arranging dwellings, in general terms, into perimeter blocks. These will enclose rear space to provide private and secure gardens facing onto each other and an attractive public realm. The related issues of privacy and massing have each been key drivers of the scheme, both in terms of protecting levels of existing amenity, as well as internal privacy and aspect within the proposed development. The development will satisfy and mostly exceed standard separation distances between dwellings to protect privacy and prevent over-looking whilst ensuring an efficient use of land.

Appropriate boundary treatments have been proposed within the site to ensure clear definition between the public and private realm and to protect the amenity of all residents. Gardens are sited against other rear gardens to prevent casual access. The orientation and space about dwellings created will ensure a high quality amenity and living environment for all.

Dwellings orientated to face onto key pedestrian routes. Dwellings in this area have been sited to face onto the existing trees which are retained in the public realm.



Principle 5 of the Housebuilder Design Guide requires that:

Buildings should be aligned and set-back to form a coherent building line and designed to front on to the street, including corner plots, to help create active frontages. The layout of the development should enable important views to be maintained to provide a sense of places and visual connections to surrounding areas, and seek to enable interesting townscape and landscape features to be viewed at the end of streets, working with site topography. The arrangement of buildings should consider maintaining privacy and residential amenity. Effective boundary treatments should be used to form defensible space and delineate between public and private realm. Buildings should be arranged to take account of weather and microclimates.

Principle 6 of the Housebuilder Design Guide requires that: Residential layouts must ensure adequate privacy and maintain high standards of residential amenity, to avoid negative impacts on light, outlook and to avoid overlooking.

Key views are created within the site to allow visual connections to the peripheral open space. Dual aspect dwellings and focal point buildings are also designed to ensure visual interest and legibility within the development.

All open space areas are well-overlooked where appropriate by a number of dwellings providing frontage onto key spaces. This seeks to form a good foundation for the ultimate creation and delivery of a highly successful network of public space and green links which will each complement proposed housing to provide a clear and enduring sense of place.

5.3 Urban Design Principles

Building on the already established layout as part of the outline consent, the proposals demonstrate sound urban design principles. These include the following:

- Buildings are positioned to create focal points, which guide the visitor through the site and create visual stops.
- Developing a clear distinction between public and private spaces avoiding confusion. Taking inspiration from the wider locality this would be achieved through careful landscape treatments and / or appropriate boundary treatments.
- Entrances to properties are located along the main elevations and clearly visible making it easier for residents and visitors to find their way around and to ensure the creation of active streetscenes
- Clear paths along desire lines help to lead pedestrians across the site with minimal effort, vehicle speeds are kept to a minimum via the use of highway design, this gives more time for motorists to locate their routes in a clear and safe manner.
- Gables are appropriately treated with windows to ensure surveillance and true dual aspect dwellings should be employed at key corners

Key

True dual aspect dwelling

Vista stops

Key Vistas



5.4 Landscape Design

It is important to ensure that landscape including all external works from the building envelope to the site boundary, and the setting of the development in the context of the surrounding environment is considered fully from the outset as part of site layout planning and design development. Amongst other considerations, it is important that proposals demonstrate biodiversity gain; maintain, extend and enhance green infrastructure; and help plan for climate change.

It will be important to establish what the scheme is trying to achieve and how it will deliver this. The indicative layout aims to:

- Make the most of existing landscape, vegetation or habitat, and topography;
- Integrate the development with its surroundings in a sympathetic manner and be appropriate to the character of the area, contributing to local identity;
- Promote biodiversity;
- Enhance the setting of the development, and/or provide screening to lessen visual, noise or other impacts;
- Add to the market value of the site or plot.
- Create a quality environment in which to live and play. Where landscapes for recreation are concerned, the needs of users and local residents should be a key consideration in the choice of site and its design;
- Plan for management and maintenance, ensuring this is affordable and that the benefits of the scheme can be sustained in the long-term.



Elements which would be considered when undertaking the detailed designs for the scheme are as follows: -

Biodiversity - The design of all new development must be based on an appraisal that identifies existing vegetation and habitat on the site and its surroundings and assesses the advantages and disadvantages of retention

Existing vegetation - Existing trees and vegetation can help to create a high quality environment and add value to a development. Incorporating existing vegetation, natural habitats or features within site and landscape proposals will give schemes an instant maturity and assist their integration into the local area.

Secured By Design - The provision of high quality landscape settings for new development and refurbishment, where external spaces are well designed and well integrated with the buildings, can help create a sense of place and strengthen community identity. It will be important to consider the relationship between open space and houses, roads, open water etc, as well as the layout of planting, footpaths and play areas within open spaces

Species selection and spatial requirements - Landscape considerations must inform site layout planning to ensure that the areas allocated for planting or other treatments are fit for purpose



Responding to Climate Change

The detailed landscape proposals for the site will be developed to respond to climate change adaption initiatives. The impacts of climate change for the coming century have been established through comprehensive research, these include:

- Hotter, drier summers
- Warmer, wetter winters

An increase in the frequency of some extreme weather events such as prolonged dry spells, higher winds and increased precipitation.

All aspects of landscape at the detailed design stage will be designed to withstand these expected impacts. Responses may include:

- Species carefully selected to reduce water demand and withstand expected drier spells
- Species carefully selected to withstand higher winds
- Species carefully selected to withstand longer cold spells, including prolonged periods of frost and lying snow
- Use of alternative grass mixes and differential mowing regimes suited to prolonged dry or wet spells (where appropriate or desirable)



5.4.1 Landscape Design

The landscape strategy for the site aims to achieve the following:

- Retain existing trees and hedges wherever possible
- Provide public open space and equipped play space
- Provide an attractive and distinctive environment for residents through the use of ornamental tree, hedge and
- Shrub planting on internal streets and in front gardens
- Provide mitigation for the loss of vegetation through the native planting of new meadows, hedgerows, specimen trees, and scrub areas.

PLAY SPACE

A naturalistic area for play set amongst the trees and meadow, to include predominantly natural features such as a tunnel made from a natural tree trunk, boulders, embankment slide, mounding with a lookout and other timber play equipment, with natural loose fill safety surfacing.

Equipment includes:

- Tree tunnel
- Inclusive Swings
- Spinning Dish
- Glacial boulders
- Timber climbing feature
- Embankment slide & Lookout

Two seating areas are also created overlooking the playspace to provide for carers and social interaction.

Equipment is to be set within a safety surface of a depth and extent sufficient for the free fall height/impact area of the specific equipment. All installations to be in accordance with manufacturers recommendations and relevant British Standards, including but not limited to BS EN 1176.

LANDSCAPE TREATMENTS

TREE PLANTING

Extensive planting of semi mature and extra heavy standard and standard trees are proposed throughout the development to create a structure to the new housing which is in keeping with the scale and context of the development and helps to filter views into the site, breaking up the rooflines of the housing when viewed from a distance. Planting at the site entrance, the public open space areas and focal points will aid navigation within the scheme and complement the existing mature trees and hedgerows on site.

Where practical there will be an emphasis of native species which are locally provenant and trees will be procured and planted in accordance with BS8545:2014.

Over the area of each planting pit, the true topsoil shall be removed and set to one side for re-use. Pits for Extra Heavy Standard shall be excavated to

1000 x 1000 x 750mm. Pits for Standard trees shall be excavated to 800 x 800 x 600mm.

Trees shall have a sturdy, reasonably straight stem and a well-balanced head with a clearly defined straight and upright leader and no main branch crossing the crown. They shall be in a healthy condition with a strong fibrous root system and of a normal habit for the particular species.

All semi mature and extra heavy standard trees shall be guyed underground using a Platipus rootball disc system (available from Platipus Anchors Ltd) or other form of approved deadman anchor system with frame suitable for the purpose. All other trees, Heavy Standard and smaller, shall be double staked using two short stakes (1.5-1.8 metres long) driven into the ground to leave approximately 1 metre above ground and a cross rail secured across the top. Trees shall be firmly secured to the cross member with ties and spacers with a minimum life expectancy of 4 years. The stakes are to be placed to prevent damage to the trees. The stake must not cause rubbing of the tree trunk. All planting ties, cushions etc should be from sustainable sources and plastic free e.g. Green -tech : Natural tree tie is made entirely of natural fibres and is fully bio-degradable. The tree pits must include an irrigation tube with a cap. All trees to receive a minimum of 60 litres watering at time of planting. Adequate soil volume is one of the most critical aspects of tree establishment. Soil volume requirements are proportional to the mature size of tree species. Where the verge or planting area does not meet the area requirement a load bearing soil system is to be used beneath the footway to extend the rooting volume into garden areas. A product such as GreenBlue Urban Stratacell should be used, cells are to be filled with sandy loam topsoil to BS3882 or suitable site won soil. Module dimensions 500mm x 500mm x 250mm to be used 2 modules deep, providing 500mm depth of uncompacted rooting. Refer to tree pit detail P16 5043 113. Landscape proposals plans show the load bearing soil areas required as a blue cross hatch.

SHRUB PLANTING

A mix of evergreen and deciduous shrubs/ climbing plants and herbaceous perennials will be planted throughout the site to give enclosure and structure to the development and all year round interest. This follows the same principles as previously approved.

Medium/ large species will be planted against screen fences and walls where space permits and medium / low mixes will be planted into front gardens, mews courts and around parking areas.

ORNAMENTAL HEDGE PLANTING

Beech and Hornbeam hedges are proposed in various locations throughout the site to define plot frontages. Lower growing evergreen hedging is proposed in situations where demarcation between public and private space is required without the need for tall enclosure. Deciduous hedging will be planted as a double alternate row of 60-80cm transplants, or larger. The evergreen hedges will be planted in various sizes according to species

availability.

NATIVE HEDGE PLANTING

All existing hedgerows have been retained except for where access to the site is required. Native species hedging will be planted into frontages on the outward facing parts of the development to extend and continue the existing hedgerows. Native hedgerow will also be planted in selected areas of the site to gap up existing sections of hedgerow and introduce additional habitat value within the site.

GRASS TREATMENTS

A variety of grass treatments are proposed throughout the site to define different areas of space and use:

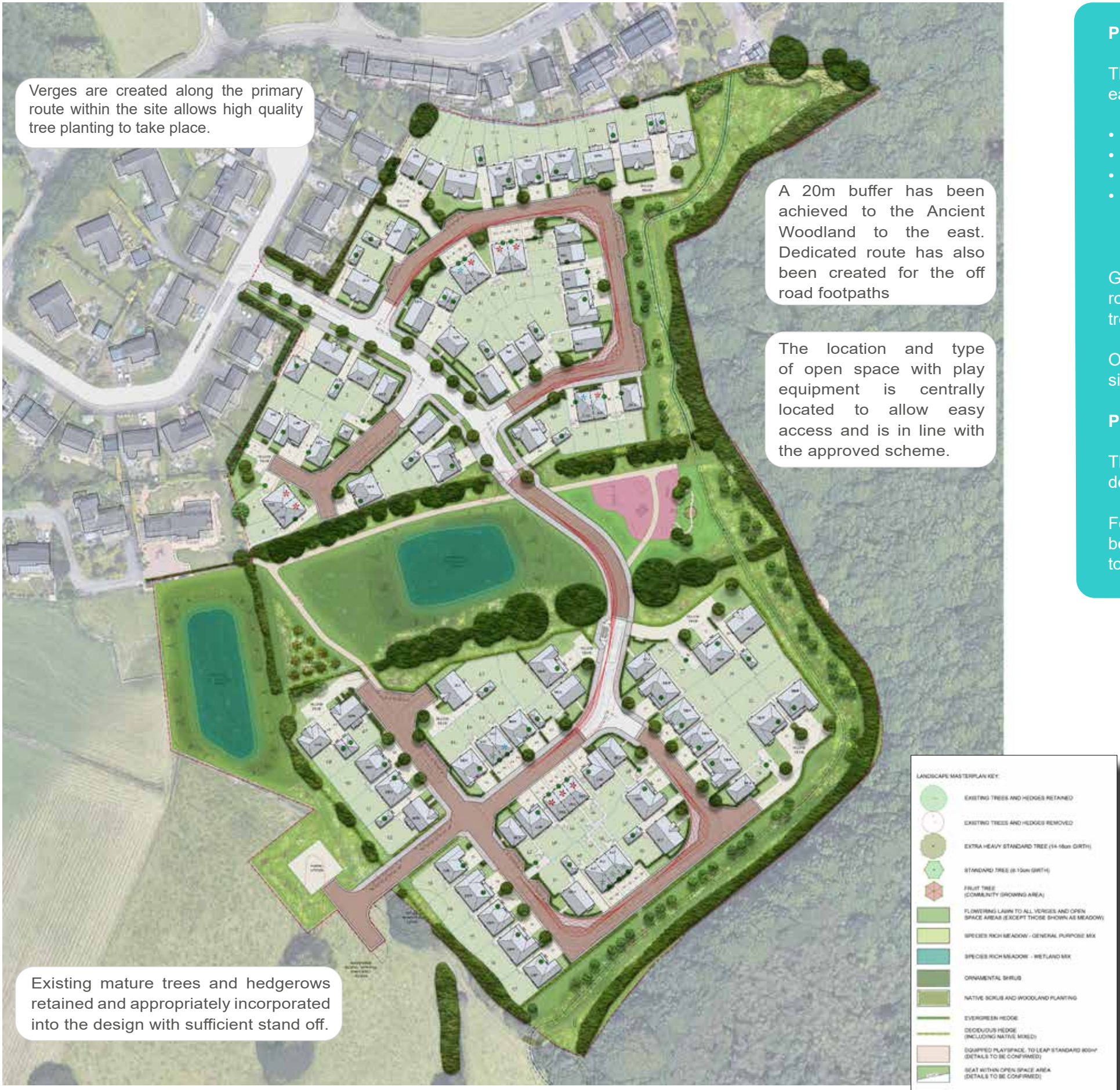
Amenity Turf

Front gardens will be turfed with a quality amenity turf.

Areas indicated on the plan will be seeded with native wildflower-rich seed mixtures. These will create an attractive backdrop to the development, as well as provide a source of shelter, nectar and pollen for a wide range of insect life, and in turn, will attract the animals that prey upon them, such as birds and bats.

Species Rich Meadow Mixes
EL1 - Flowering Lawn Mixture
EM8 Meadow Mixture for Wetlands
EM1 - General Purpose Meadow Mixture
Seed mixtures supplied by Emorsgate Seeds - <https://wildseed.co.uk/> mixtures or similar.

5.4.2 Landscape Design



Principle 7 of the Housebuilder Design Guide requires that:

The integration of green infrastructure and open space should be considered early in the design process by assessing:

- The site's context;
- Connectivity with wider networks and
- The multi-functional role green infrastructure can perform
- Assess and consider the viable retention of existing features within the site, such as valuable trees, natural wildlife habitats and landscape features.

Green infrastructure can be provided through building features such as green roofs and green walls and through the design of streets to include street trees.

Open Space, particularly for recreation, should be located at the heart of the site and designed to help create identity.

Principle 8 of the Housebuilder Design Guide requires that:

The transition from urban to open land should be carefully considered where development is located on the edge of the urban area.

For all sites in elevated areas, the appearance in the wider landscape should be considered and applicants should show how development respects the topography of the site

5.4.3 Landscape Design - Legal Boundary

The land in front of the Crows Trees will no longer be used to deliver BNG, as Miller Homes will not be acquiring this parcel. As this differs from the Outline consent, a Section 73 submission has been submitted and approved to allow this variation.

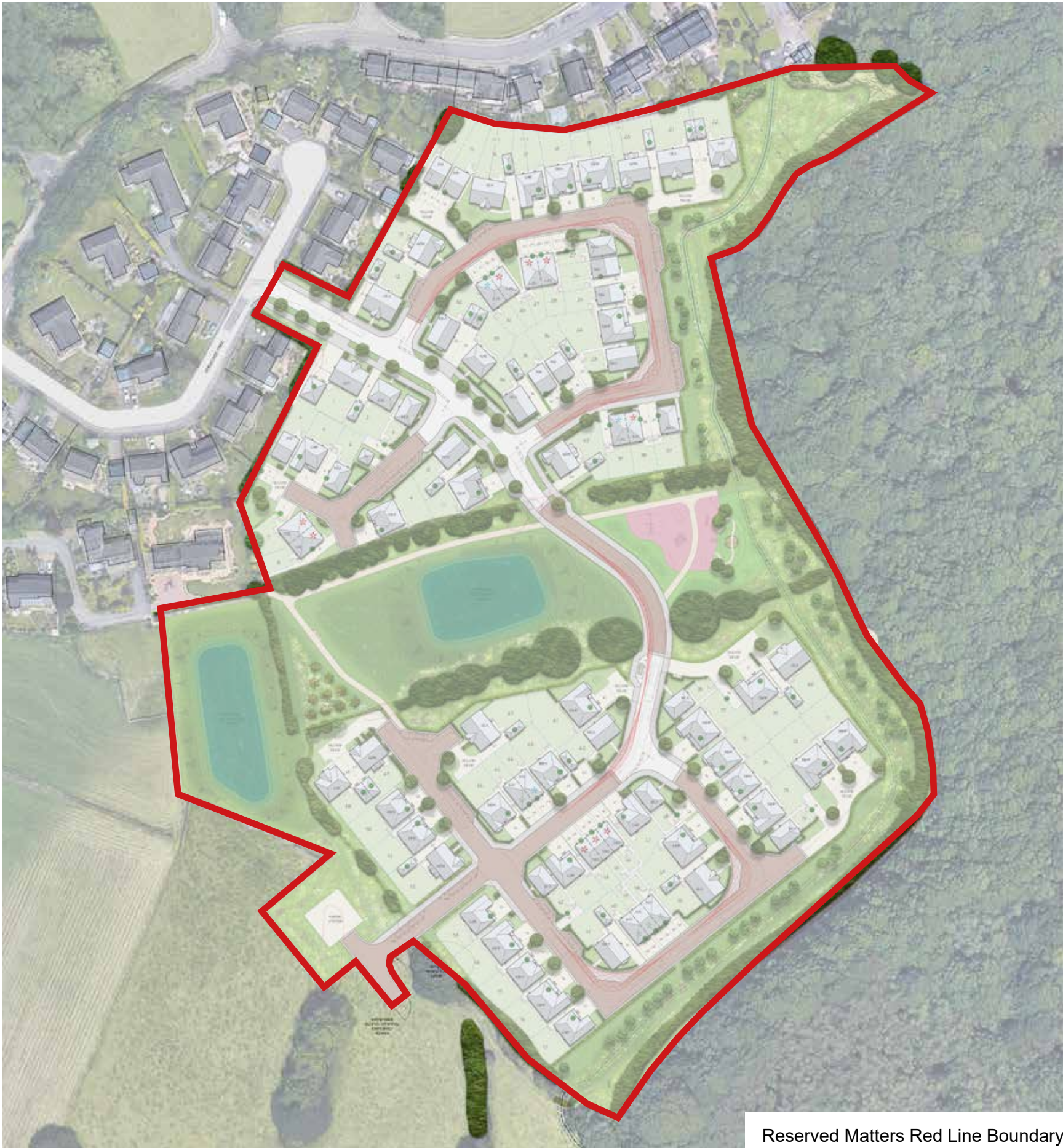
This area being omitted from the proposal raised no concerns, in principle as part of the pre-application discussions and is therefore followed as part of this application.

This is due to the land now omitted having a limited role in the original application. It was not functionally required to make the development acceptable.

This is particularly the case given the extensive Public Open Space the proposal included, well above that required per the LPA's Public Open Space SPD, which was the only function of the area in question served.

The plan opposite therefore identifies the updated red line boundary which is being pursued as part of this Reserved Matters application.

Original Red Line Boundary



5.4.4 Ecological Considerations



Principle 9 of the Housebuilder Design Guide requires that:

Proposals should provide for a measurable net gain in biodiversity and ecological enhancement should be integral to the design of the development.

Proposed biodiversity features included as part of the scheme within the EcIA are described below and illustrated in the Landscape Masterplan (Appendix A) for habitats. This includes:

- Native hedgerow planting;
- Native tree planting;
- Amenity grassland;
- Species rich flowering lawn;
- Species rich meadow grassland; and
- Native shrub and woodland planting; and
- Sustainable Drainage System (SuDS) detention basins.

Species rich native hedgerow planting is proposed around the Public Open Space (POS) areas on Site, particularly on the edge of the eastern buffer to Lepton Great Wood. In total, a further 670 metres of new hedgerow will be planted on Site, with a further 340 metres of current hedgerow retained and 135 metres enhanced.

Existing trees on Site will be retained wherever possible and these will be supplemented with further planting of 82 native species trees. All trees will be planted in accordance with BS8535:2014. 63 of these trees will be standard with a 8-10cm girth and 19 trees will be extra heavy standard trees with a 14-16cm girth.

A 0.066 ha area of amenity grassland will be turfed in the centre of the Site, surrounding the natural play space.

A species rich flowering lawn mixture, such as Emorsgate EL15, will be sown across 0.53 ha of the site. This seed mix will be sown in areas which will receive a higher level of disturbance and recreational use such as the mown paths within the eastern POS and around the SuDS basin in the centre of the Site.

Two types of species rich meadow grassland will be sown across the Site.

A 0.069 ha sward of native shrubs and trees will be planted in the north-east of the Site.

Two SuDS basins will be created within POS on Site, one in the centre of the Site and one adjacent to the western boundary

The proposed layout was reviewed and deemed suitable and demonstrated adherence to ecological principles minimising impacts to sensitive areas. It was informed by and prepared with reference to the Institute of Lighting Professionals (ILP) Guidance Note 8 on Bats and Artificial Lighting.

5.5 Amount of Development

Overall 80 dwellings are proposed. The area of land being utilised is 6.13 Ha (Gross) and 2.49 Ha (Net).

Given the size of the Site and the amount of development, a density of 32.13 dwellings per hectare is achieved.

The form of development provides a wide mix of accommodation which range from detached, semi detached and limited small terraces.

Adequate space about dwelling distances have been achieved ensuring the creation of a high quality environment with high amenity value for future residents.

It is therefore considered that the amount of development provided is appropriate for this site.

Housing Mix is identified below:

The specific type of housing being proposed as part of the detailed site are as follows: -

2 Bed:	25	10 affordable
3 Bed:	21	4 affordable
4 Bed plus:	34	2 affordable

The proposed variation to the market (private) mix (as set out above) was considered at the pre-application stage and deemed acceptable.

It is therefore considered that the application proposes an appropriate mix of accommodation.



5.6 Scale of Development

Following an assessment, the prevailing character of surrounding development is two-storeys and that would be considered the most appropriate scale for new housing as part of this development.

As the plan opposite demonstrates all new dwellings are two storeys with single storey garages serving some of those plots. This is appropriate and reflective of the wider locality.

- 2 storey development
- Single storey garages

Principle 16 of the Housebuilder Design Guide requires that:

All new homes will be expected to be compliant with the government's technical housing standards for accessible and adaptable homes as set out in part M4(2) of the Building Regulations.

The council will encourage the use of the Nationally Described Space Standards to ensure new dwellings have sufficient internal floor space to meet basic lifestyle needs.

The proposed housetypes will be NDSS space standard compliant and a proportion will be M4(2) compliant.



5.6.1 Appearance

Whilst the development does not advocate pastiche or historic solutions, it is important that the new development has some connection with local character and place making.

The design ethos for this site was to use complementary elevations that relate well to each other within the site, and that these elevations are simple and well proportioned.

As this document demonstrates, there are various materials found within the locality which include brick, artificial stone, stone and elements of boarding.

This specification within the design code allows for a use of various materials such as traditional stone, reconstituted stone, and roof tiles which are either slate or emulate the traditional slate aesthetic.

The images opposite provide examples of the materials proposed as part of this development. These are materials that have been considered and accepted within the Kirklees area. An example is that of Holmebank Gardens.

Features to the properties proposed include heads and cill detailing. Door surrounds are provided to the front doors. The images opposite provide examples of the streetscenes and range of house types proposed as part of this development.

The new roofscape will become a feature in the landscape in its own right and it was therefore considered critical that this element is sympathetic. With this in mind, the new roof slopes are proposed to be grey slate

Principle 13 of the Housebuilder Design Guide requires that:

Applicants should show how different materials which are prevalent in the vicinity of the site have been taken into account in the proposal.

Consider the use of locally prevalent materials and finishing of buildings to reflect the character of the area.

A simple palette of materials, appropriate to the site's context, should be identified early in the development process to help give the site a coherent identity. The embodied carbon of the material in terms of the environmental impact of its production, transportation and thermal and solar performance should be a prime consideration in the development process.

The detailing of the public realm on larger schemes can help form part of a cohesive public art strategy for the site; and help create a rich identity supporting the distinctive character of Kirklees.

Principle 14 of the Housebuilder Design Guide requires that:

The design of windows and doors should relate well to the street frontage and neighbouring properties and reflect local character in style and materials. Innovation for energy efficiency is encouraged, particularly for maximising solar gain.



The material selection is reflective of the original masterplan document which sought a different elevation style to the properties as you enter the development.

As discussed and agreed at the pre-application stage, the use of the specific artificial stone product (Newlay Calder Buff Pitch) is accepted for most of the site. However, in the interest of providing a suitable and high-quality transition between the natural stone on Hermitage Park and the enquiry site, the properties most visible from Hermitage Park, at the entrance into the site, are to be faced in a natural stone with slate roofs.



- NATURAL STONE WITH SLATE ROOF, HEADS & CILLS TO BOTH FRONT & REAR ELEVATIONS
- RECONSTITUTED STONE WITH CONCRETE ROOF TILE, HEADS & CILLS TO BOTH FRONT & REAR ELEVATIONS
- RECONSTITUTED STONE WITH CONCRETE ROOF TILE, HEADS & CILLS TO FRONT ELEVATIONS ONLY

5.6.2 Appearance

Principle 15 of the Housebuilder Design Guide requires that:

The design of the roofline should relate well to the site context, including topography, views, heights of buildings and the roof types. Consideration should be given to the pitch of roofs, the inclusion of dormer windows, provision of green/blue roofs and the role of roofs in providing outdoor space.

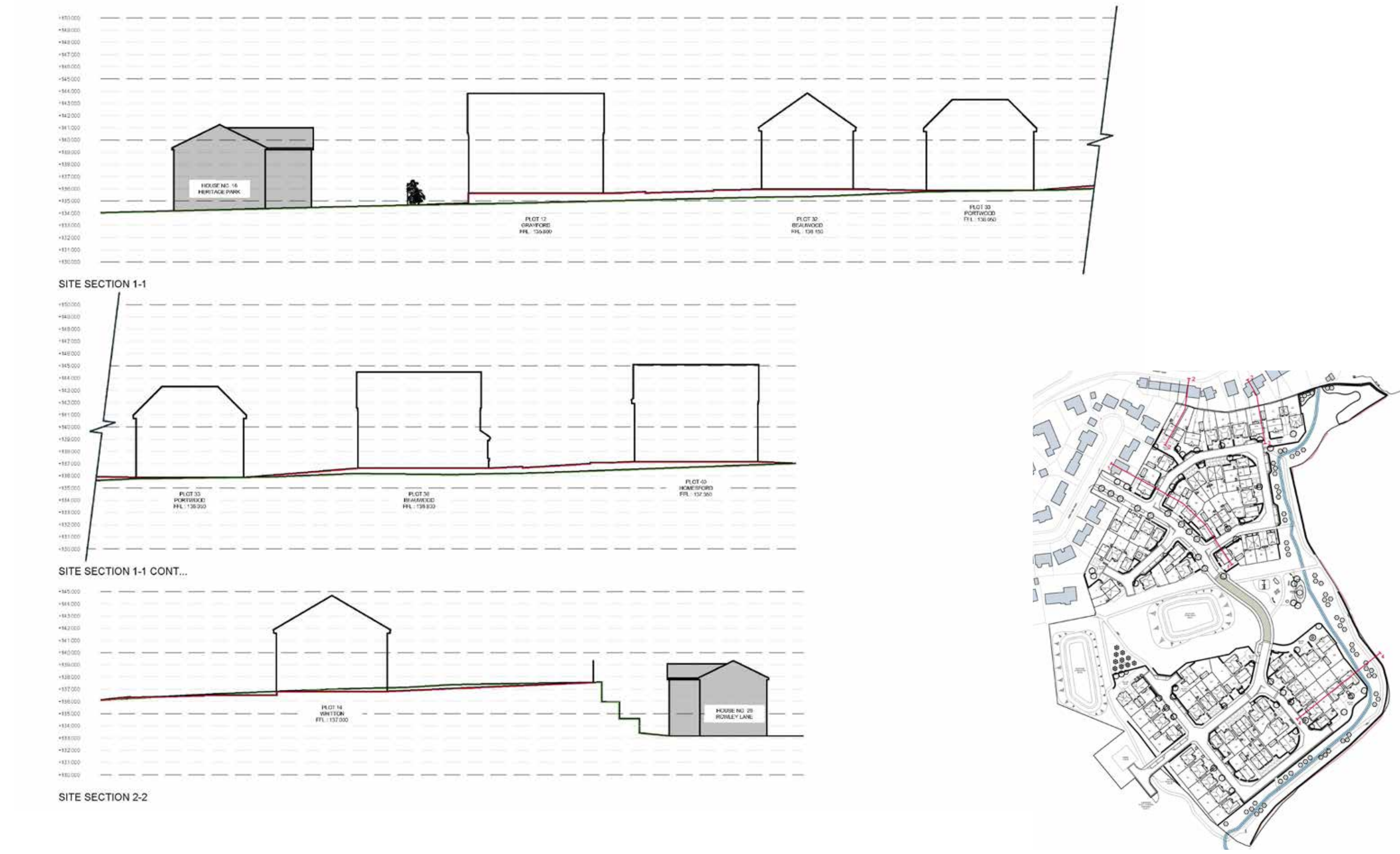
The proposed sample house type images opposite demonstrate how the front elevations relate to the street in terms of door and window positions.

In response to local character, the site proposes all 2 storey homes on this part of the development.

- Stone heads and cills have been provided on all windows, on front and rear elevations to the properties located in the most visible locations on the site. These are features which are predominant within the area, and their inclusion would enhance the appearance of these proposed units. For properties situated within the central core of the site, heads and cills have been added to windows to the front elevations.
- Pitched roof entrance canopies and bay windows are more in-keeping with the area, are of a more attractive design, and have fewer long-term maintenance issues and have therefore been utilised within this development.
- Utility and EVCP boxes have been accommodated for and is identified on the layout and on the elevations wherever possible.
- Solar panels are shown on certain roof pitches; however, this will vary from plot to plot. It was considered at the pre-application stage that, for elevations, the inclusion of solar panels is best detailed within a standard note on each set of plans, with an overarching site solar panel layout plan showing their exact location. The overarching plan will be prepared and addressed as part of an appropriately worded condition.



5.6.1 Appearance



5.6.2 Appearance

The images below and opposite provide sections of the development through the site and demonstrates how the development will sit with the existing built form surrounding the site.



5.7 Access and Movement

This section of the Statement will address access issues to the site, including the following aspects:

Policy – justification of the relevant national, regional and local planning Policies.

Site Circumstances – how any specific issues, which might affect access to the development, have been addressed.

Consultation – indicating who has been consulted in relation to access for all, particularly the disabled.

Vehicular and transport links - why the access points and routes have been chosen, and how the site responds to road layout and public transport provision.

Inclusive access - how everyone can get to and move through the place on equal terms regardless of ages, disability, ethnicity or social grouping.

Policy

At a national level, National Planning Policy Framework provides guidance on how transport policies have an important role to play in facilitating sustainable development but also in contributing to wider sustainability and health objectives (para.29).

Paragraph 32 requires that “all developments that generate significant amounts of movement should be supported by a Transport Statement or Transport Assessment. “ Paragraph 39 states that a key tool will be a Travel Plan.

It directs that development should be located and designed (where practicable) to:

- Exploit opportunities for the use of sustainable transport modes
- Give priority to pedestrian and cycle movements, and have access to high quality public transport facilities;
- Create safe and secure layouts which minimise conflicts between traffic and cyclists or pedestrians, avoiding street clutter and where appropriate establishing home zones;
- Incorporate facilities for charging plug-in and other ultra-low emission vehicles; and
- Consider the needs of people with disabilities by all modes of transport.

Manual for Streets, 2007

Manual for Streets supersedes Design Bulletin 32 and its companion guide Places, Streets and Movement.

MfS provides a clear framework for the use of local systems and procedures; it also identifies the tools available to ensure that growth and change are planned for and managed in an integrated way.

MfS aims to assist in the creation of streets that:

- Help to build and strengthen the communities they serve;meet the needs of all users, by embodying the principles of inclusive design

- Form part of a well-connected network;
- Are attractive and have their own distinctive identity;
- Are cost-effective to construct and maintain; and
- Are safe.

Site Circumstances

The development will be accessed via Hermitage Park in line with the outline consent.

Pedestrian routes are accessible through both the internal development and as designated routes through the public open space to the east of the site.

External Access

People are very different in their needs, and in the way they use the built environment. An inclusive environment recognises and accommodates these differences in a way that is universal. An inclusive design provides a single solution for everyone.

The principles of an inclusive environment will be:

- Easily used by as many people as possible without undue effort, special treatment or separation.
- Able to offer people the freedom to choose how they access and allow them to participate equally in all, activities it may host.
- Able to embrace diversity and difference, to be safe, legible and of
- High quality

Internal Access

Inclusive access within the layout provides for ease of movement by all social groupings and the house types will be compliant with Part M of Building Regulations.

This ensures that certain minimum standards for disabled access for such items as steps, ramps, door widths, accessible toilets etc, are adhered to. Access for disabled people to services, employment and the built environment is playing an increasingly important role in the development of new and the refurbishment of existing buildings.

New legislation, regulation and planning requirements are currently being introduced and an increasing range of design guidance being published.

In response to this evolving ideal, the design team has adopted an approach, which incorporates measures to facilitate access and use by all people using the building including disabled people who may be wheelchair users or have a mobility, sensory or cognitive impairment.

By following good practice guidance on accessibility it has been recognised that there is a benefit to all users of the environment, not only those with recognised disabilities.

The design considers access and use of the environment and the dwellings by residents and visitors. Dwellings incorporate features that can be easily adapted to suit the evolving and varying requirements of the residents. Accessibility has been incorporated while being mindful of the overall aesthetic and design aims of the scheme and with due consideration given to the constraints of the site.

Approach to Building

The approach to the building is the area of land within the curtilage of the property, from the boundary of the site up to the building itself.

Consideration should be given to the construction of the pathways and use of various surface materials, dropped kerbs, tactile paving, parking and drop off points.

Entrances

Entrances should be located in a logical relationship to the accessible routes that serve it. Consideration should be given to signage, lighting, contrast etc. Where security is required to prevent unwanted access, means of access should be located in a position suitable to all users.

Bin Storage and Collection

Providing convenient, dedicated bin and recycling storage where bins and crates can be stored out of sight is essential in any residential development and further checks will be made with the local authority to determine exactly what space is required.

In order to establish a successful development

- The distance between storage areas and collection points should be minimised within the development.

- Where terraced housing is proposed, secure rear paths should be provided to the rear of properties allowing access to rear gardens for storage.

- Individual dwellings should have access to their garden to allow bins/ recycling to be stored safely in rear gardens.

References:

Approved Document M, Access and Facilities for Disabled People.
BS 8300 Design of Buildings and their Approaches to Meet the Needs of Disabled.

NHBC Foundation - Avoiding rubbish design: providing for bin storage on new housing developments - NF60

5.7.1 Access and Movement

The plan opposite demonstrates the movement framework and street hierarchy established on the site.

As the plan demonstrates, a permeable and legible network of streets and pedestrian links can be achieved at this site, enhancing existing connections and providing easy and direct access to existing services and facilities within the wider locality.

- Primary route
- Shared Surface Street
- Private Drives

Primary Route

This initial route includes a generous green verge in line with the street design guide, allowing for meaningful planting and clusters of larger trees.

Shared-surface streets

These streets encourage slow movement of cars and give priority to pedestrians and cyclists to create a safe, residential environment.

Private Drives

These streets are limited to 5 dwellings and are positioned to the edges of the development.

As demonstrated below, the movement framework remains in general accordance with that approved at the outline stage.



5.7 Access and Movement

The plan opposite demonstrates the key pedestrian linkages that have been created through the site.

Pedestrian routes are accessible through the internal streets and out to the public open space to the east of the site.

Principle 10 of the Housebuilder Design Guide requires that:

The site layout should make effective connections to existing walking and cycling links and take opportunities to create new connections. Site access will recognise the different needs of people walking, cycling and using cars and prioritise the needs of people walking and cycling, to encourage sustainable modes of travel. In order to contribute towards more people using sustainable modes of travel walking and cycling links should be safe, convenient, direct and accessible; and residential development may provide opportunities to improve connections via the Kirklees Core Walking and Cycling Network.

Principle 11 of the Housebuilder Design Guide requires that:

Provide inclusive spaces that meet the needs of pedestrians, cyclists and children and ensure streets are well integrated into the development.

Streets must be able to serve emergency and service vehicles, maintain low vehicular speeds and successfully integrate on-street car parking.

Creative design should ensure natural surveillance and movement help mitigate the risk of crime and street layouts are attractive with street trees and landscaping.

As demonstrated opposite, the pedestrian movement framework remains in general accordance with that approved at the outline stage.

The layout encourages new residents to access nearby facilities in Lepton on foot or by cycle using new and improved connections, specifically the following points of access:

An existing public footpath from the north of the HS3 site through Lepton Great Wood to Birch Avenue;

A new footpath connection from HS3 via Hermitage Park to Rowley Lane;

An existing public footpath from the west of the HS3 site to Rowley Lane;

An existing public footpath from the west of the HS2 site to Rowley Lane via Woodsome Park;

A new footpath connection to Rowley Lane from Phase 1 of HS2;

A new footpath connection to Penistone Road from HS2;

An existing public footpath from the south of the HS2 site leading to Highburton.

An extensive and coherent network of footpaths will be provided on site to link to these access points and form attractive pedestrian routes.

Key

Pedestrian Link

Informal Link



5.7.1 Access and Movement

Car Parking Strategy

Car Parking Solutions

A strategy for the provision of car parking within the layout has developed as a fully integrated urban design component, rather than as a separate afterthought or ‘add on’ to the proposals of the site. Car parking is not only a requirement of most new urban development proposals, but can be a key urban design opportunity that can contribute to the character, function, vibrancy, sustainability and viability of a new urban district if treated with care.

On Plot Parking

On plot parking provides a secure solution within residential layouts. This solution ensures that the cars are sited off street and ideally, on this site, situated to the rear or side of the dwelling. These solutions have the benefit of high levels of natural surveillance whilst taking the car away from the street.

Off Plot Parking

This solution is considered appropriate where on street parking is not ideal or where terraced development is provided. All parking in blocks should be attractively and robustly landscaped and properly overlooked by the appropriate siting of dwellings and habitable rooms.

The amount of parking would vary dependant upon the size of the properties being served.

Visitor Parking

Visitor parking has been fully accommodated for within the development and the design of the streets have been done in a way which does not impede pedestrian movements by obstructing footpaths by the parking of vehicles.



In curtilage driveway and detached garage interspersed with integral garages with front gardens



Parking to the side on dual aspect dwellings overlooking areas of open space, minimises the car in these key locations



A range of parking solutions are integrated along the proposed street thus minimising the impact of the car

Principle 12 of the Housebuilder Design Guide requires that:

At the outset of the development, applicants should identify the need for car parking having considered a range of measures to reduce private car-use into the design of development and through travel plans such as promoting car sharing and car clubs, providing safe and convenient cycle infrastructure and parking, providing safe and convenient access to bus stops and providing improved passenger facilities and where appropriate working with bus operators to improve bus connectivity.

The car parking provision is in line with the design principles in that they: -

- Cars do not dominate street frontages through parking arrangements that place cars at the front of all dwellings and with overly dominant integral garages at the front of dwellings;
- A mix of different formats have been employed including garages and parking spaces within the curtilage of properties
- Where car parking is included within the curtilage of a property, varied solutions ensure that car parking can be either be accommodated to the front or at the side of buildings to avoid dominating the street scene
- Where car parking is accommodated to the front, it is well-integrated into the street scene with landscaping; discouraging anti-social parking and within the view of properties
- The garages are carefully designed in terms of materials so that they are not the dominant feature.



06

Designing out Crime

6.1 Designing Out Crime

In order to comply with the National Planning Policy Framework, developments should create safe and accessible environments where opportunities for crime are designed out.

Validation requirements for planning and other applications submitted under the Town and Country Acts, states that, in respect of Design and Access Statements, crime prevention is an aspect to consider in relevant circumstances and it will be at the discretion of the Local Planning Authority to determine whether the absence of any reference to this will invalidate a particular Design and Access Statement at the outset. In any event, such information may be relevant to consideration of the application and applicants are strongly encouraged to show how measures to prevent crime and disorder have been incorporated.

NPPF states that planning policies and decisions should aim to achieve healthy, inclusive and safe places which:

(a) promote social interaction, including opportunities for meetings between people who might not otherwise come into contact with each other

(b) are safe and accessible, so that crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion

(c) enable and support healthy lifestyles, especially where this would address identified local health and well-being needs.

As this section demonstrates, designing out crime has been an important element in the development of this scheme and as such, the measures and approaches taken forward in this detailed design in order to design out crime are outlined opposite.

Key Principles developed into the detailed design

- Proposed and existing footpath links within the site are designed to be clearly and logically positioned to ensure surveillance and promote the use of those links.
- Parking solutions vary as previously demonstrated in terms of driveways, spaces and garages. No matter what the solution, the majority are located within the curtilage of the dwelling or in highly surveilled positions close to the properties they serve. This ensures secure spaces are created with high levels of natural surveillance and no casual access.
- Public and private spaces are clearly defined in order to minimise the possibility of crime/anti-social behaviour going unchallenged. This is achieved through a well-designed and sensitive landscaping scheme and change in material, or through the careful choice of boundary treatment which delineates the public from the private realm particularly to the dwellings fronting the public open space. This ensures the creation of a high quality and attractive environment. The use of higher treatments are employed where the rear / side garden boundaries abut the highway to ensure privacy for future residents. The use of robust boundary treatments i.e. 1800mm high fencing to the rear boundaries of dwellings with fencing or hedge planting sub-dividing plots ensures the creation of defensible space and achieves privacy for future residents.
- Rear gardens are generally plotted against other rear gardens in order to minimise the possibility of unwanted access. Any rear access paths provided are kept to a minimum and be provided with gates in order to prevent casual intrusion.
- The use of defensive planting within the scheme will help to minimise the impact of the development, maintain clear visibilities and allow natural surveillance. The positioning of shrubs and trees will help to provide privacy and security without providing hiding places or opportunities for anti-social behaviour.
- The proposed fenestration of the dwellings responds to the street with outward facing development. Front doors are designed to be clearly visible and located in a logical relationship to the accessible routes that serve them to ensure the creation of an active street scene. Gables are also be appropriately treated with windows to ensure surveillance and dual aspect dwellings employed at key corners.



This detailed plan demonstrates how the good design principles have been evolved and utilised into this next phase of the development.

- Active frontages with dual aspect dwellings employed to key corners.
- Parking solutions provided within the curtilage or directly relating to the properties they serve.
- Rear gardens abut other rear gardens creating defensible space.
- High quality boundary treatments are provided to delineate the public and private realm.
- All footpath links are overlooked and integral to the design

Measures in the lighting strategy to mitigate and protect against crime to fulfil condition 8c are in accordance with requirements of conditions 8a and b and thus do not impinge on ecologically sensitive areas. This is further outlined within the accompanying ecology report.



07 **Design Quality**

7.1 Design Quality

The basis upon which this assessment is made is on the Building for a Healthy Life (BHL). The Building for a Healthy Life (BHL) document updates England’s most widely known and most widely used design tool for creating places that are better for people and nature. The original 12 point structure and underlying principles within Building for Life 12 are at the heart of this updated BHL.

Taking each of the key considerations in turn, this document assesses the design proposals and assigns either a green, amber or red award. The key sections for consideration are identified opposite and below: -

Red = Stop and rethink

Amber = Try and turn to green

Green = Go ahead



Under the new assessment system the LPA is encouraged to work with us in order to achieve as many green lights as possible, and to avoid any reds and we welcome those discussions through the course of the application.

These proposals will avoid any red lights and are fully capable of being further refined to deliver positively against all the new Building for Life test.

14	INTEGRATED NEIGHBOURHOODS
	Natural connections
	Walking, cycling and public transport
	Facilities and services
	Homes for everyone

38	DISTINCTIVE PLACES
	Making the most of what’s there
	A memorable character
	Well defined streets and spaces
	Easy to find your way around

62	STREETS FOR ALL
	Healthy streets
	Cycle and car parking
	Green and blue infrastructure
	Back of pavement, front of home

1				✓
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2				✓
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1	NATURAL CONNECTIONS Create places that are well integrated into the site and their wider natural and built surroundings. Avoid creating isolated and disconnected places that are not easy places to move through and around.
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The overall layout proposed is in accordance with the already agreed scheme granted at the outline stage. This development was careful in ensuring careful integration to the existing locality. Some of the key features / considerations include the following: -

- Local schools can be cycled within 5 minutes of the site. Retail and employment opportunities can be cycled within 15 minutes (Kirkburton) and the railway can be cycled within 25 minutes.
- Shops and facilities within Lepton can be walked to in under 14 minutes. Schools can be accessed within 15 minutes and bus stops can be walked to within 5 minutes.
- The access identified within the wider allocation framework and outline consent has been utilised as part of the detailed development.
- The proposals include a series of pedestrian and cycle links which continue through the development and out to existing routes.
- For vehicles, a clear circular route has been maintained within the development. This creates a permeable network which is legible for the user with green verges and street trees.

2	WALKING, CYCLING AND PUBLIC TRANSPORT Short trips of up to three miles can be easily made on foot or bicycle if the right infrastructure is in place, helping to improve public health and air quality whilst also reducing local congestion and carbon emissions
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The site is located within a sustainable location in relation to access to services, facilities, employment opportunities and public transport links. The nearest bus stops are located adjacent to the site along Rowley Lane (served by the 83 and 84A buses) with links to Huddersfield Town Centre and Denby Dale 5no times a day. More frequent services located are on Highgate Lane 350 meters from the site and Penistone Road 450 meters from the site.

The site lies within a 10 minute walk of the village centre which benefits from a number of shops and services including a local club and public houses.

It is concluded that the development has appropriate accessibility by foot, cycle and public transport.

7.1.1 Design Quality

3	FACILITIES AND SERVICES Places that offer social, leisure and recreational opportunities a short walk or cycle from their homes.
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This site is well positioned in terms of benefiting from good public transport links and services including local shops, schools, employment opportunities and health/leisure facilities.

The site provides high quality areas of open space within the site and will provide key locations for people to come together. This relates to the key play area which is well positioned for access via the new pedestrian linkages.

The layout and position of the open spaces have responded to the existing natural features and the dwellings have been orientated to provide a maximum benefit from views over the open spaces and landscaped areas.



3				✓
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4	HOMES FOR EVERYONE A range of homes that meet local community needs.
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The development proposals demonstrates the site can accommodate 80 dwellings.

The mix is in line with local need and ensures a wide range of accommodation types both in terms of form and scale. The scheme proposes a mix of 2, 3, 4 and 5 bedroom dwellings which are detached, semi detached and short terraces.

Of the 80 dwellings, 16 are to be affordable in line with the outline planning consent.

This variety would provide wide choice and variety for a wide demographic.

Generous gardens and spaces would also allow potential in the future for adaptation alongside residents growing needs with room for extension should they wish to do so.

4				✓
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5	MAKING THE MOST OF WHAT'S THERE Understand and respond
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The proposed layout has been designed following sound urban design principles and guidance whilst maximising the sites opportunities and giving due regard to site constraints. It is considered that the scheme proposed creates a place that has its own identity whilst respecting its surroundings and being part of the wider community. The scheme exploits the existing landscape and topography.

Key features of the site includes:

- The general form of the masterplan complies with the Development Strategy established for this and the wider allocation and the requirements of the outline planning consent.
- Sufficient buffers have been created to the Ancient Woodland positioned to the east of the site.
- Peripheral walkways have been carefully designed to allow safe movement whilst being mindful of the woodland and existing features.
- The scheme looks to retain existing trees and maintains the key central swathe through the site.
- For vehicles, a clear route has been developed within the development. This creates a permeable network which is legible for the user with green verges and street trees along the primary stretch reflecting local character.

The design solution considers the above matters and have adapted and evolved the scheme accordingly.

5				✓
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6	A MEMORABLE CHARACTER Create places that are memorable.
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Use of landscape design, vistas, gateways and dual aspect dwellings assist in legibility and the creation of memorable spaces.

This is further emphasised through landscape design and the different treatments of the open spaces created within the development.

- True dual aspect dwelling
- Vista stops
- Key Vistas

6				✓
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7.1.2 Design Quality

7

WELL DEFINED STREETS AND SPACES
Create a network of streets and spaces that are well enclosed, taking care to ensure that front doors and the principal facades of buildings face streets and public spaces

As the plan demonstrates, a permeable and legible network of streets and pedestrian links can be achieved at this site, enhancing existing connections and providing easy and direct access to services and facilities within the wider locality.



The primary access provides a connection from the existing access to Hermitage Park. This primary route gives way to the primary circular route, shared surface streets where vehicles and pedestrians share those spaces. Here speed would be naturally slowed by the design and material of the highway.

The private drives are the lowest in the hierarchy of street types within the development, each creating their own character. Irrespective of its type, all streets are designed with active frontages and cohesive building lines as demonstrated within the layout.

Dual aspect dwellings are provided to all key corners to ensure interest, activity and surveillance.



8

EASY TO FIND YOUR WAY AROUND Use legible features to help people find their way around a place

The layout demonstrates how a legible environment can be created for users of the development. This has been achieved in a number of ways as identified below: -

- Buildings are positioned to create focal points, which guide the visitor through the site and create visual stops.
- Developing a clear distinction between public and private spaces avoids confusion. Similar to existing developments within the locality this is achieved through careful landscape treatments and / or appropriate boundary treatments.
- Entrances to the properties are located along

- the main elevations making it easier for residents and visitors to find their way around
- Clear paths along desire lines lead pedestrians across and around the site with minimal effort, vehicle speeds are being kept to a minimum via the use of highway design, this gives more time for motorists to locate their routes in a clear and safe manner.
- Careful material choice and scale can also assist in creating a high quality legible environment. Varying architectural detailing reflecting the different sections of the scheme also aid in legibility respecting existing character.



9

HEALTHY STREETS Streets are different to roads. Streets are places where the need to accommodate the movement of motor vehicles is balanced alongside the need for people to move along and cross streets with ease

The key feature of this site is the ability to create safe pedestrian and cycle routes through and around the site. The design of the highway prioritises the pedestrian and provides key visual links from within the main body of the site to the areas of POS.

Pedestrian footpaths would also be integrated within the street with high quality lighting and surveillance.

The streets have short distances between junctions and turns to ensure 20mph design speeds can be achieved.

Parking has been varied within the streets with spaces and garages and this variation allows landscape features to be provided in front gardens minimising the impact of the car within the street. This will add to the sensory richness of the development.



7.1.3 Design Quality

10

CYCLE AND CAR PARKING Well-designed developments will make it more attractive for people to choose to walk or cycle for short trips helping to improve levels of physical activity, air quality, local congestion and the quality of the street scene

The orientation and position of dwellings will provide natural surveillance to all routes.

All dwellings will have sufficiently large gardens to accommodate cycle storage. The development proposals carefully consider plot depths to ensure this is a realistic and achievable feature.

The housing layout is designed with consideration of not only the amount of parking but how and where it is accommodated, ensuring that ad-hoc on-street parking is minimised.

The treatment of parking for the site varies according to the buildings it serves, and always with a view to creating an attractive and safe environment. Individual parking has been designed to be situated close to the dwelling it serves for convenience and surveillance.

A range of parking solutions create variety and landscaping is then used to break up parking to help settle parked cars into the street.



11

GREEN AND BLUE INFRASTRUCTURE
Creative surface water management such as rills, brooks and ponds enrich the public realm and help improve a sense of well-being and offer an interaction with nature

Proposals will need to consider the NPPF hierarchy of Avoid - Mitigate – Compensate in minimising any loss of biodiversity.

The green infrastructure proposed is multi-functional, delivering biodiversity, amenity, aesthetic and drainage benefits, and also areas for wildlife movement.

New trees are identified to be planted within the scheme as part of the detailed landscape proposals in addition to the retention of existing hedgerows and trees. This includes planting along the primary streets and open spaces.

The link between usable open green space and mental well being is well established and the desire to create



direct links for recreation and social interaction within the development is a core principle we are trying to create. This scheme achieves this by integrating development with the open space and creating a trim trail within the scheme.

The detention basin provides a key feature within the site for sustainable drainage.



12

BACK OF PAVEMENT, FRONT OF HOME
The space between the back of the pavement and the face of buildings has a significant impact on the quality of a place. Clear demarcations between public and private spaces can encourage people to personalise the front of their homes

Appropriate boundary treatments are designed within the scheme which would assist in the creation of a safe and defensible scheme. This establishes a clear definition between the public and private realm which can be tailored to match its setting in terms of type and design.

Providing convenient, dedicated bin and recycling storage where bins and crates can be stored out of sight is essential in any residential development. In order to establish a successful development, the following principles are established in order to accommodate the required bin provision:

- The distance between storage areas and collection points are minimised within the development.
- The dwellings on the site that are detached or semi-detached have access to their garden to allow bins/recycling to be stored safely in rear gardens. Where terraced forms are provided, rear access paths are designed to middle houses with gates preventing casual intrusion to allow bins to be stored away from the streetscene.
- These design principles will ensure that waste containers can be left out for collection without unduly blocking the footway or causing an unnecessary obstruction to pedestrians.
- Varied property types and parking solutions provide varied set backs within the street which provide the opportunity for garden spaces and opportunities for social interaction. The doors to all dwellings face the street and provide activity and surveillance.
- Care is also taken to ensure all areas of the scheme are well defined avoiding confusion or ambiguity in terms of use or ownership.
- Feature fences are also designed to key boundaries which are visible within the public realm. This will provide clear definition and high quality streetscenes.



8.0 Summary



This Design and Access Statement has demonstrated how the scheme accords with relevant national and local planning policy and design best practice in relation to this application.

By following the set of principles established within this document, the scheme would blend a variety of dwelling types with good permeability, strong links to public transport, safe and secure access to public open space and a good variety of built form which is reflective and complimentary to the existing built form within the locality.

These elements will ensure the creation of a pleasant environment to live.

Development Summary

No Dwellings:
80

Bedroom Range:
2, 3, 4 and 5 bedroom properties

Storey Heights:
2 storeys

Property Types:
Detached, Semi Detached, limited
Terraced