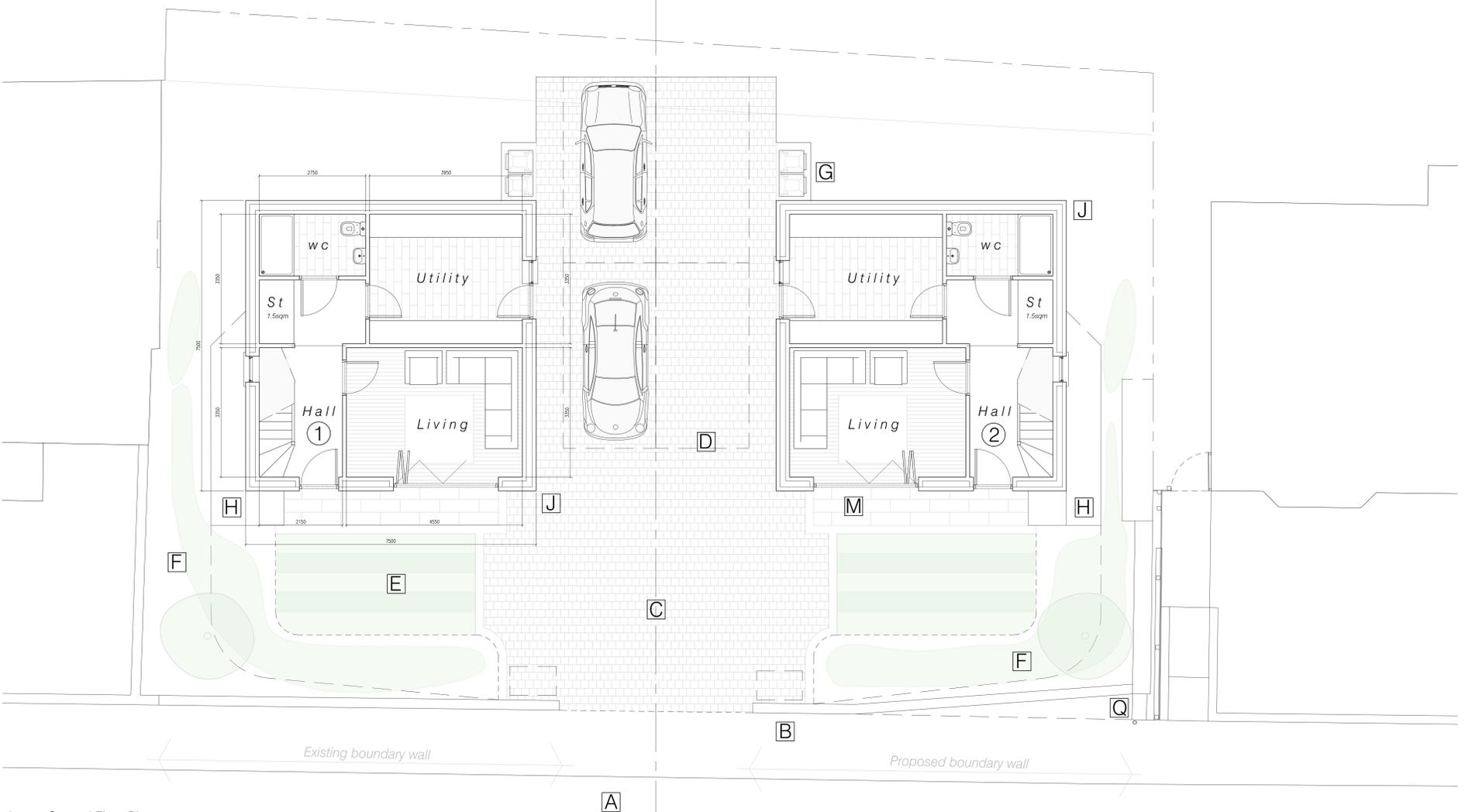


First Floor Plan 1: 50



Ground Floor Plan 1: 50



Lower Ground Floor Plan 1: 50

Key:
 A_Longwood Gate
 B_Low level stone wall to match existing with opening onto highway providing visibility splays as highway engineer detail
 C_Shared vehicular apron with turning head to allow vehicles to access and egress highway in forward gear, undertaken in permeable surfacing in line with MHCLG guidance note
 D_Tandem surface parking spaces between dwellings

E_Amenity lawn
 F_Landscape planting including urban trees and indigenous shrubs linking to urban greenspace all as specialist detail
 G_Refrigerated recycling storage in alcove with paved route to presentation point adjacent site entrance
 H_Ramped perimeter pathway to rear with stair flights as shown to reconcile levels
 I_Cross boarded timber fencing to boundaries
 J_Brickwork plinth to match adjacent dwelling with soldier string course

K_Arstone walling above plinth to match housing opposite
 L_Aluminium framed windows in opening formed in walling with proprietary lintels
 M_Aluminium folding sliding doors to access external amenity space
 N_Family bathroom linked to existing foul water drainage
 O_Pitched roof with half round gutter and fascia all to match adjacent dwelling
 P_Juliet balcony overlooking Green Corridor
 Q_Existing retaining structure
 R_Wooded banking

Dwelling 1 3B/ 4P: 56.3sqm footprint, 138.7sqm GIA
 Dwelling 2 3B/ 4P: 56.3sqm footprint, 138.7sqm GIA
 Room sizes, storage etc all in accordance with Technical housing standards

Scale 1: 50
 Drawing based on Ordnance Survey (Strata License No: 100047474) and preliminary survey
 Date 25 June 25
 May 25



Project Proposed Residential development adj 84, Longwood Gate, Longwood
 Client Mr K Schramm, Ridgemoor, Magdale, Honley, Halmfith HD9 6RB
 Dwg Title (24311)11_Scheme as proposed
 Scale 1: 50 @ A0
 Date Sept 25