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24141/RK

04th Aug 2025

DESIGN, ACCESS, HERITAGE STATEMENT TO ACCOMPANY PLANNING APPLICATION.

This statement is written in relation to the Town and Country Planning Legislation (Amendment Order 2006 SI 2006/1062).

This Statement has been prepared in accordance with the requirements of the National Planning Policy Framework (NPPF) that the Government revised in July 2018. This replaces the previous NPPF published in March 2012.

Page 55 of the NPPF – 'Proposals affecting heritage assets' – states, in paragraph 189, that in determining applications Local Planning Authorities "should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting". Paragraph 189, further directs that "the level of detail should be proportionate to the asset's importance and no more than is sufficient to understand the potential impact of the proposal on their significance". As set out in paragraph 029 of the Government's online planning guidance to making a planning application, Design and Access Statements should be: "proportionate to the complexity of the application, but should not be long."

This Statement has been prepared in support of applications that seek Planning permission and for the works to an existing public house at 2 The Village, Farnley Tyas, Huddersfield HD4 6UDL

The proposals are fully illustrated on the scaled application drawings and are described in this Design and Access Statement, which is proportionate to the scheme under consideration.

SITE ADDRESS

The Golden Cock
2 The Village, Farnley Tyas,
Huddersfield HD4 6UDL

APPLICANT

Punch Pubs & Co

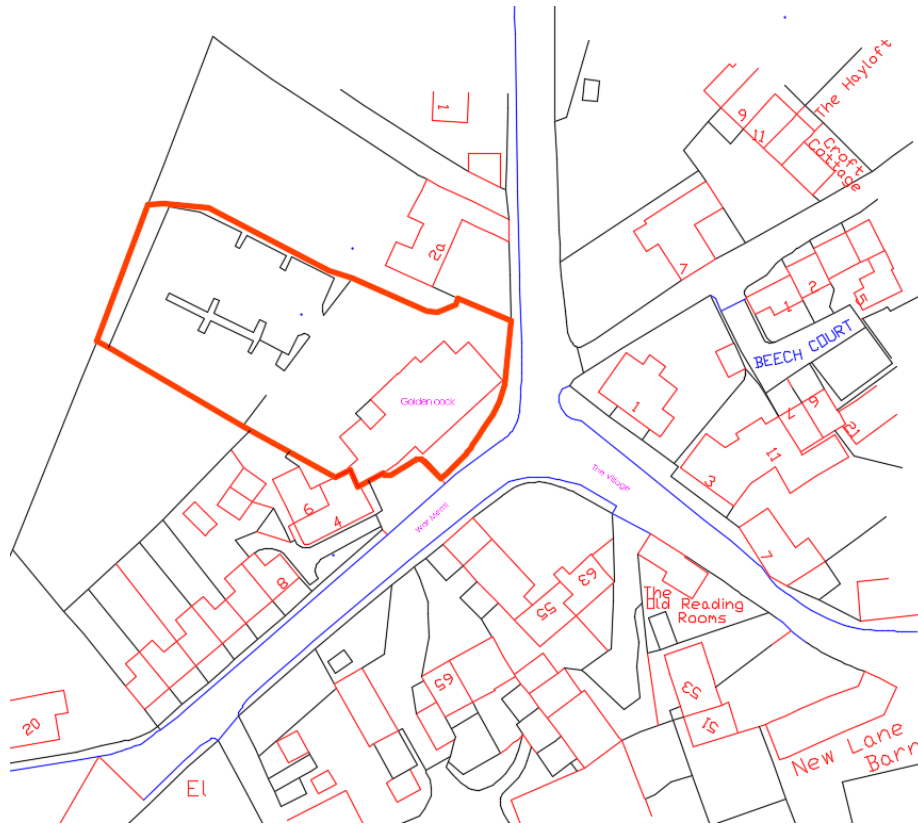


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Picture 1: Location plan showing position of the application site.

THE SITE

The site is located at The Golden Cock, 2 The Village, Farnley Tyas, Huddersfield HD4 6UD. Farnley Tyas is a village in Huddersfield, West Yorkshire.

USE

The proposed use is as the existing – public house with associated dining and external areas. The proposed works include the demolition of the existing rear wall and removal of associated windows to facilitate the construction of a new rear extension. Structural support will be provided by new steelwork, including a central column.

The extension will be traditionally built, comprising an inner blockwork wall, an insulated cavity, and a locally sourced stone outer skin to ensure visual coherence with the existing structure. A parapet wall will frame the flat roof, which will be finished with a rubber membrane roofing system. The floor of the extension will consist of a suspended beam and block construction, incorporating insulation on top and a ventilated void below to meet current building regulations. Large aluminium sliding glass doors will be installed to provide access to the external area and to allow natural light into the new interior space.

As part of the associated external works, a new low-level planter will be constructed to the front face of the raised terrace, enhancing the visual appeal and providing soft landscaping.

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AMOUNT OF DEVELOPMENT

The area of the New Rear Extension is 46.92 m².

LAYOUT

The layout supports the continued use of the site as a public house with extended dining capacity and improved outdoor amenities. The new rear extension enhances the internal dining environment, creating a more functional and open space with direct access to the external areas. The external improvements, are intended to increase the comfort and usability of the outdoor seating areas, encouraging year-round use while maintaining a welcoming and inclusive layout for patrons.

SCALE

The scale of the development is modest and proportionate to the existing building. The extension is single-storey and respects the scale and massing of the existing structure.

LANDSCAPING

The proposal includes the introduction of a **new lower-level planter** to the **front face of the raised terrace**, constructed with a deep concrete kerb and enhanced with **planting and integrated spike lighting**. These soft landscaping elements will contribute positively to the character and setting of the public house.

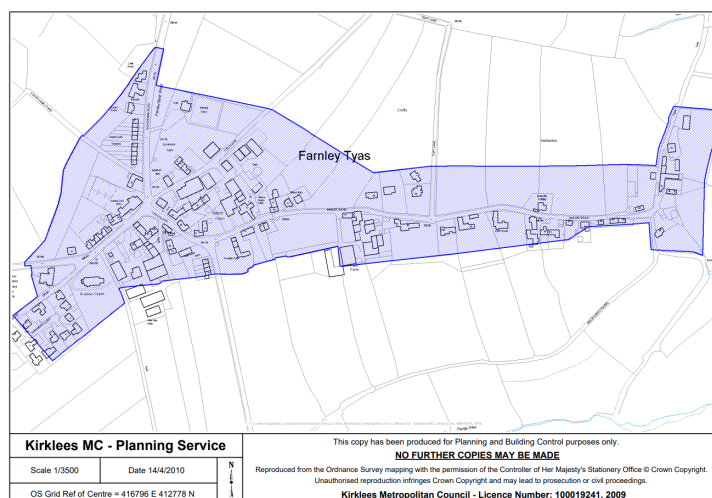
ACCESS / PARKING

General pedestrian and vehicle access to the site will remain unchanged.

Parking spaces remain unchanged.

HERITAGE ASSESSMENT

The map below indicates the extent of the Farnley Tyas Conservation Area, as detailed on Kirklees Council's website.



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Context

The application site, *The Golden Cock*, located at 2 The Village, Farnley Tyas, Huddersfield HD4 6UD, is a long-established public house situated within the Farnley Tyas Conservation Area, as designated by Kirklees Council. While the building itself is not statutorily listed, its location within a Conservation Area signifies its contribution to the historic and architectural character of the village. It is positioned in close proximity to several locally listed heritage assets, including period cottages and commercial structures that collectively define the traditional vernacular of Farnley Tyas.

The conservation area is characterised by its stone-built architecture, slate roofs, and organic village layout, with buildings that typically date from the 18th and 19th centuries. The historic core of the village presents a cohesive visual and spatial identity that contributes to the area's special architectural and historic interest, as defined by the Planning (Listed Buildings and Conservation Areas) Act 1990.

Description of the Heritage Asset and Its Setting

The Golden Cock, while unlisted, is an important component of the village streetscape and local community infrastructure. It is constructed of traditional natural stone, with architectural detailing that complements the surrounding historic buildings. The public house sits prominently within the village and forms part of the historic setting and public realm, contributing to the local character through its continued communal use and architectural consistency with the Conservation Area's aesthetic.

The building's rear elevation, where the proposed development is to occur, is not visible from the primary public viewpoints within the conservation area, nor does it form part of the principal façade that contributes to the area's architectural coherence. This side of the building is adjacent to less sensitive boundaries and existing external dining areas, reducing the visual sensitivity of the proposed intervention.

DESIGN

The design approach reflects a sensitive and contextual response to the existing historic character of the public house. Materials such as locally sourced stone and traditional construction methods ensure visual integration with the existing building fabric. The introduction of large aluminium-framed sliding doors offers a contemporary touch, promoting visual connectivity between the internal and external spaces while ensuring durability and ease of maintenance.

The flat-roofed design, enclosed with a parapet wall, preserves the overall building height and avoids overpowering the existing structure. The use of high-quality, sympathetic materials, soft landscaping features, and structured outdoor areas ensures the extension not only meets functional needs but also enhances the overall aesthetic and customer experience.

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