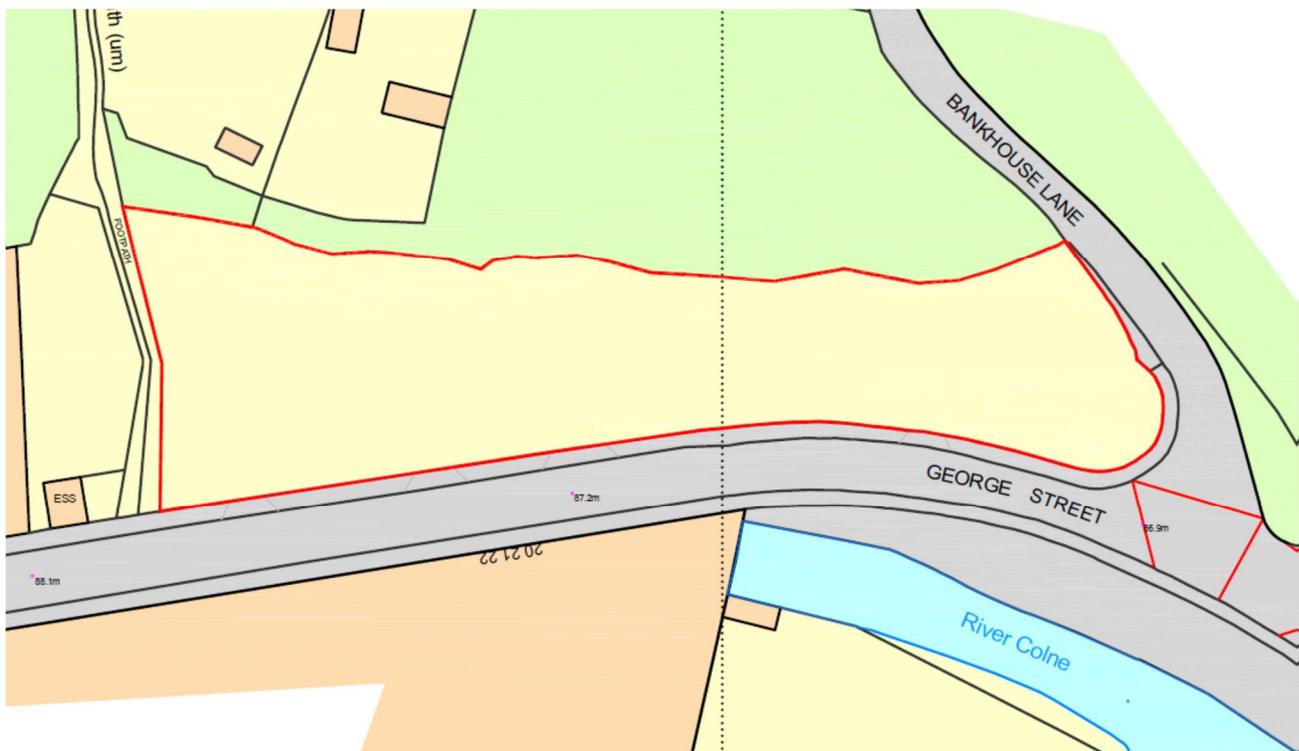

Design & Access Statement

Application: Land to the north of George Street & west of Bankhouse Lane, Milnsbridge
Applicant: SKA Property Management Company Limited
Project: 4442
Date: April 2025

1. Introduction:

This Design & Access statement has been prepared by Heppenstall Architects on behalf of the applicants SKA Property Management Company Limited to justify the erected boundary fencing and the use of their land located to the north of George Street & to the west of the junction with Bankhouse Lane, Milnsbridge. And to illustrate how the uses and boundary fence are within Kirklees planning policy.

Our assessment has been undertaken following a review of the site history and assessment of other commercial & industrial premises along George Street and takes account of Kirklees council planning policy.



Application site Red Line : North is UP

2. The Site:

2.1. The Existing Site –

The site since the early 1800 has been in industrial use and has remained within industrial use through to this day. There are 4 No vehicular access points along the frontage with George Street. These are long established and are evidently shown on the historic images attached in Appendix B.

2.2. The Existing Class Use –

The site has an established use under the Use Classes Order, as amended in 2021, as Class Use B2, General Industry.

2.3 Planning History –

Planning Application 95/92340 Use of land off George Street as a car park was approved 01.11.1995. The 2014/91624 planning approval for the redevelopment of the site in question to industrial units including carparking and new palisade boundary fence increase in height from 2m to 2.4m.

2.4 Planning Policy –

Extract of key relevant policies:

Kirklees Policy LP35

Historic environment

3. Proposals should retain those elements of the historic environment which contribute to the distinct identity of the Kirklees area and ensure they are appropriately conserved, to the extent warranted by their significance, also having regard to the wider benefits of development. Consideration should be given to the need to:

(b). ensure that proposals within Conservation Areas conserve those elements which contribute to their significance;

The Town and Country Planning (General Permitted Development) (England) Order 2015

Class I – industrial conversions

Permitted development

I. Development consisting of a change of use of a building from any use falling within Class B2 (general industrial) of Schedule 1 to the Use Classes Order, to a use for any purpose falling within Class B8 (storage or distribution) of that Schedule.

Development not permitted

I.1. Development is not permitted by Class I if the change of use relates to more than 500 square metres of floor space in the building

The proposals are for a combination of Class Use B2 General Industry and Class Use B8 Storage & Distribution, along with the palisade fencing which was erected some years ago.

The change of use is B2-B8 Permitted Development under the Class I The Town and Country Planning (General Permitted Development) (England) Order 2015.

The site has been enclosed with an industrial chain link concrete post fence since long before the conservation area was formed in 2010. However the fence was replaced due to significant disrepair with a palisade fence commonly used in industrial areas.

The Application site is located at the eastern boundary of the Conservation Area, this area of the conservation area a Historical industrial area. This Historical industrial character one of the reasons for inclusion as a conservation area as described in the Milnsbridge appraisal. The buildings or structures with in the vicinity of the site are all still in daily industrial use. The ongoing industrial use is no detriment to the value of the Conservation Area.

2.5 Flood Risk –

The application site is located in the environment agency flood zone 1 and is not identified in the Kirklees strategic flood risk assessment as having any increased flood risk from any sources of concern. The Application does not meet the minimum threshold requiring a flood risk assessment.

Environment Agency Flood Map for Planning is included at Appendix C.

3. Key Principles:

3.1. Site Use –

The site has previous historic consents noted at paragraph 2.3 above. It is appreciated the latter of these, for the construction of industrial units, has now lapsed. Nonetheless the use remains as industrial, Class Use B2. Under the amended Use Class Order, which became effective in 2021, permitted change is allowed to B8, storage & distribution.

3.2. Palisade fencing –

The Applicant has, some years ago, replaced a dilapidated concrete post and chain link fence with palisade fencing. This was erected as the previous fence was in a poor state of repair and had rendered the site insecure to unauthorized access.

Along the length of George Street there are many examples of other industrial and commercial premises where there are palisade fences forming the boundary to those business properties:

- Touring Caravans, located between 17A and 23 George Street on the south side of George Street facing Dowker Street - palisade fencing and gates,
- George Street Storage, south side of George Street facing Myers Building & Timber Supplies – palisade fencing and gates,
- Myers Building & Timber Supplies – palisade gates & sheet panels as a screen attached to the mesh fencing,
- The New Mill business courtyard – palisade fencing,
- Milnsbridge Self-Storage – palisade fencing,
- Mount Garage – palisade fencing and gates,
- Water storage tank – owner unknown – palisade fencing,
- Pacific Lifestyle Limited, Stafford Mill – palisade fencing.

A plan marking these locations is attached at Appendix A.

In conducting a search of the Planning website only one property within the vicinity, with palisade fencing, has been subject to a Planning Application, being to the frontage of JTD Roofing & Building Supplies on Armitage Road – 2002/93179. It is doubtful any of the premises listed above, in closer proximity to the Applicant site, have planning permission for this type of fencing, thus surely the precedence has now been set for the locality. All of these sites, although within the Conservation Area, are remote from any buildings or structures of merit. The Applicant would proffer that the palisade fencing erected does not detract from the Conservation Area or impact any building of

merit, being more in line with the character and style of boundary enclosures prevailing along George Street.

The attached Google earth images taken between 2003 & 2024 show that this land off George Street has been used as parking with cars being evident on the 2003, 2009, 2011, and 2024 images. In addition the same images show that the site has also been in part used for storage which is a permitted associated Use within Class B use. Images attached at Appendix B.

3.3 Vehicular Access

The site 4 existing vehicular access points, with drop crossing kerbs. These have been long established and in continuous use for the past few decades.

Summary

It is reasonable to consider that the site has an established use for a combination of parking and storage in association with the very established historic site use as industry. Both carparking and storage are normally associated ancillary uses essential for the ongoing industrial use of the site.

The site fencing, we have identified numerous premises along George Street with similar boundary treatments, many of these more closely sited to the heart of the Conservation Area, being Market Street. The Applicant's site boundary treatment has been in place for a number of years.

The Application site is at the eastern boundary of the Conservation Area and has no impact or any detriment upon any historic building or structure protected by the Conservation Area status.

Land to the north of George Street & to the west of Bankhouse Lane Milnsbridge.

Appendix A : Existing Palisade fences

Existing palisade fence location within the conservation area marked **red**
Application site Marked **Green**



Land to the north of George Street & to the west of Bankhouse Lane Milnsbridge.

Appendix B : Google Earth historic images

2003

Google Earth Image



Google Earth

Huddersfield Trampoline Academy

Crowthers Business Park

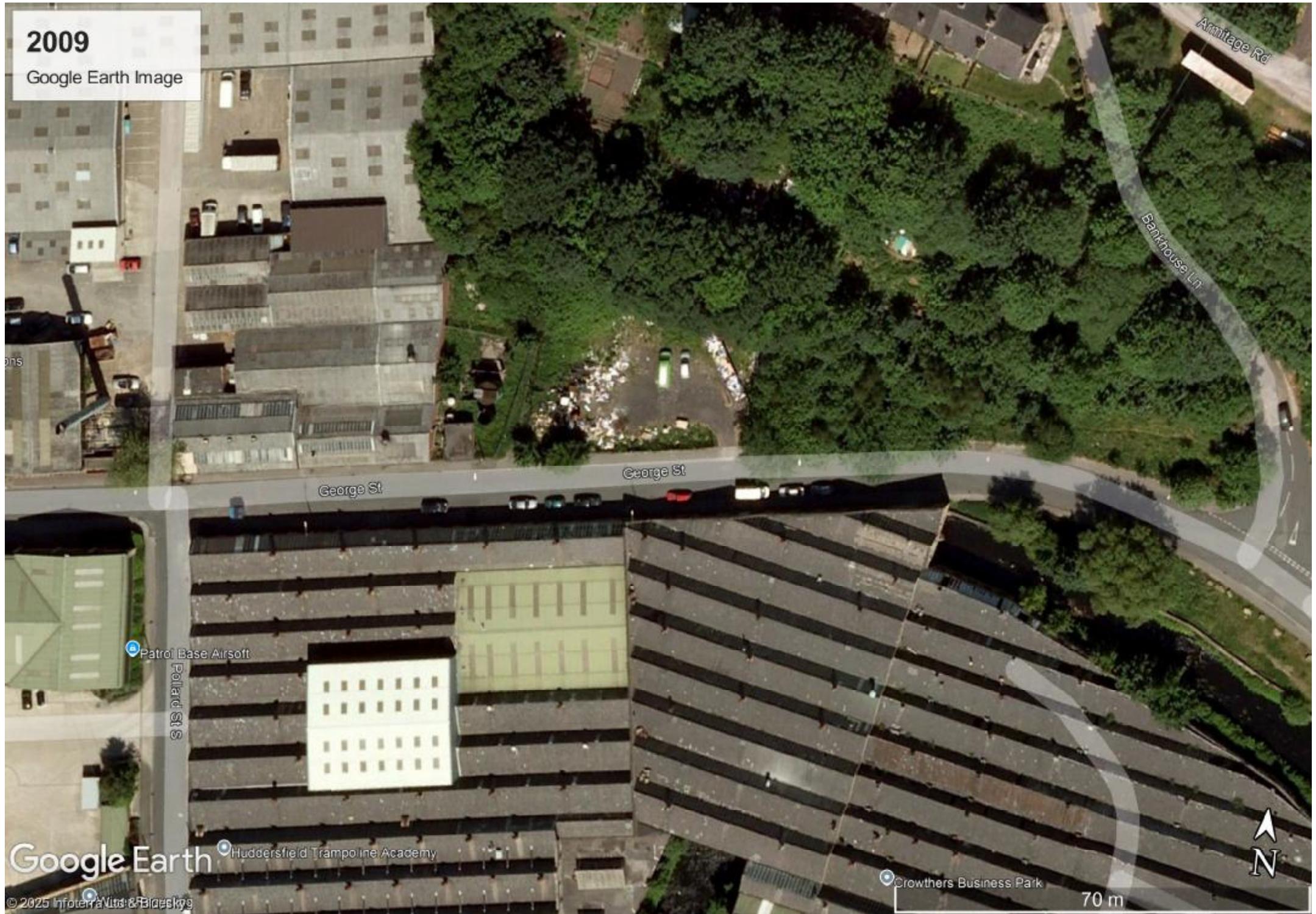
70 m



© 2025 Infoterra Ltd & Bluesky

2009

Google Earth Image



Google Earth

Huddersfield Trampoline Academy

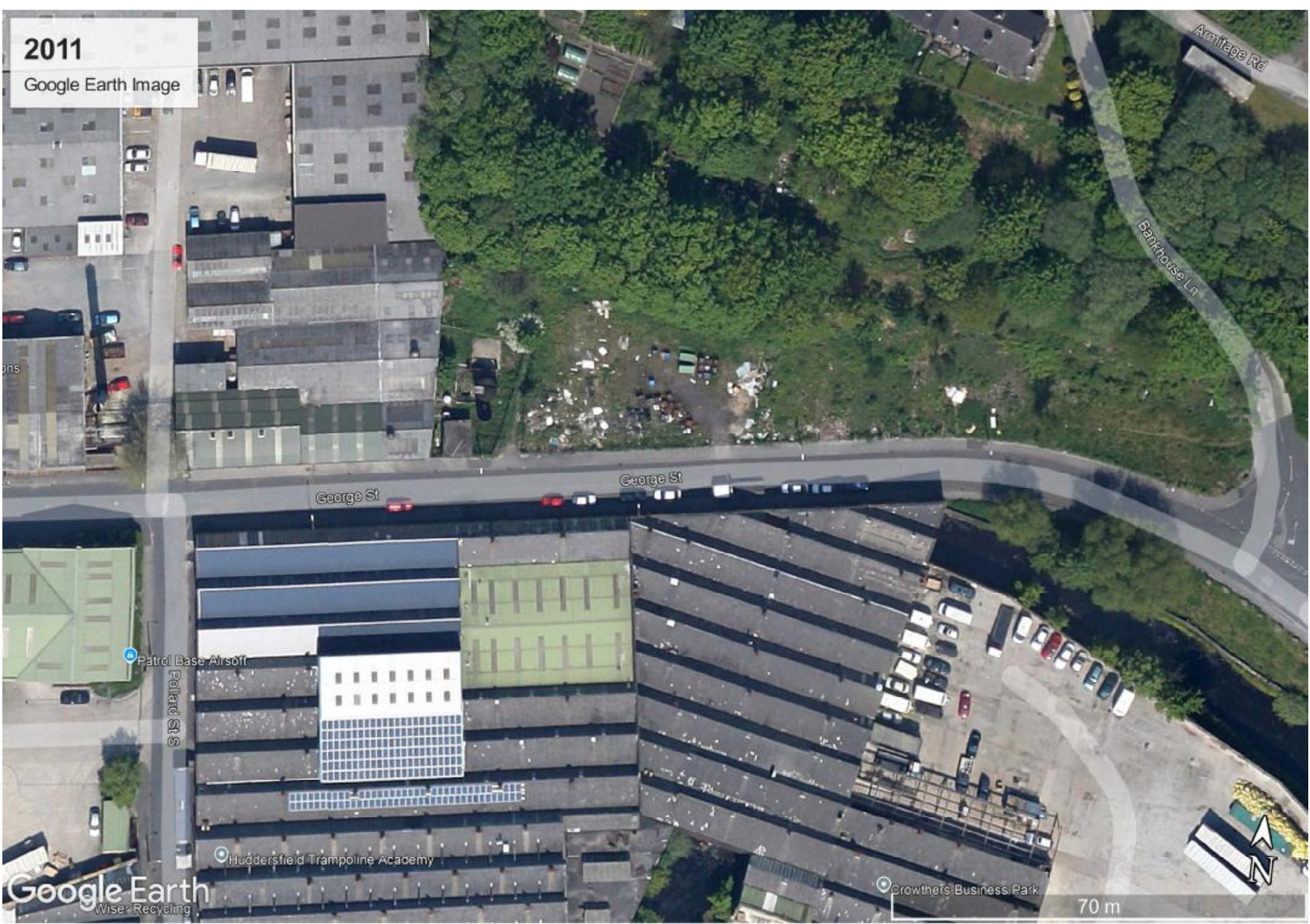
Crowthers Business Park

70 m



2011

Google Earth Image



Patrol Base Airsoft

Pollard St S

Huddersfield Trampoline Academy

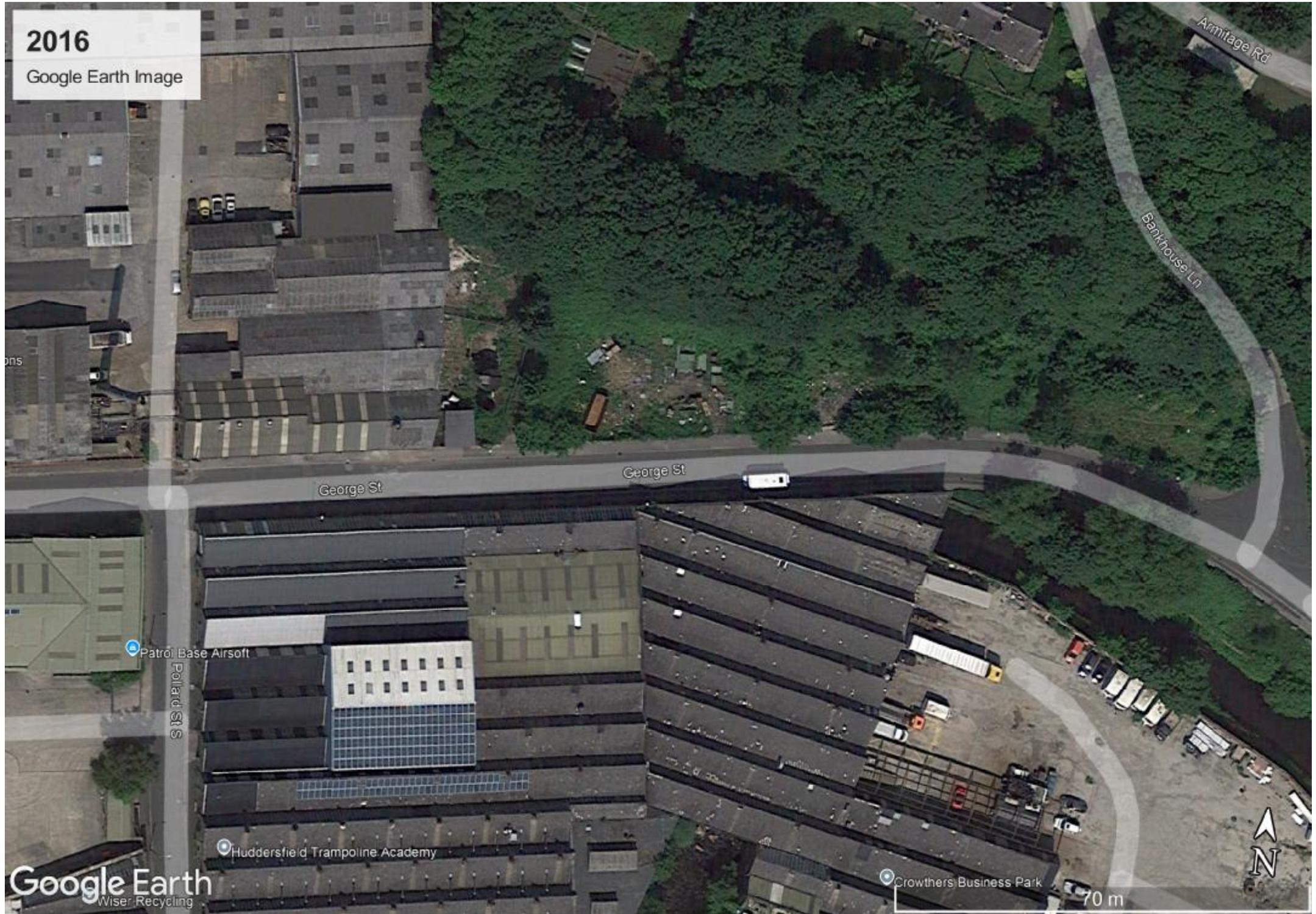
Crowth's Business Park

Google Earth
Wiser Recycling

70 m

2016

Google Earth Image



Patrol Base Airsoft

Pollard St S

Huddersfield Trampoline Academy

Crowthers Business Park

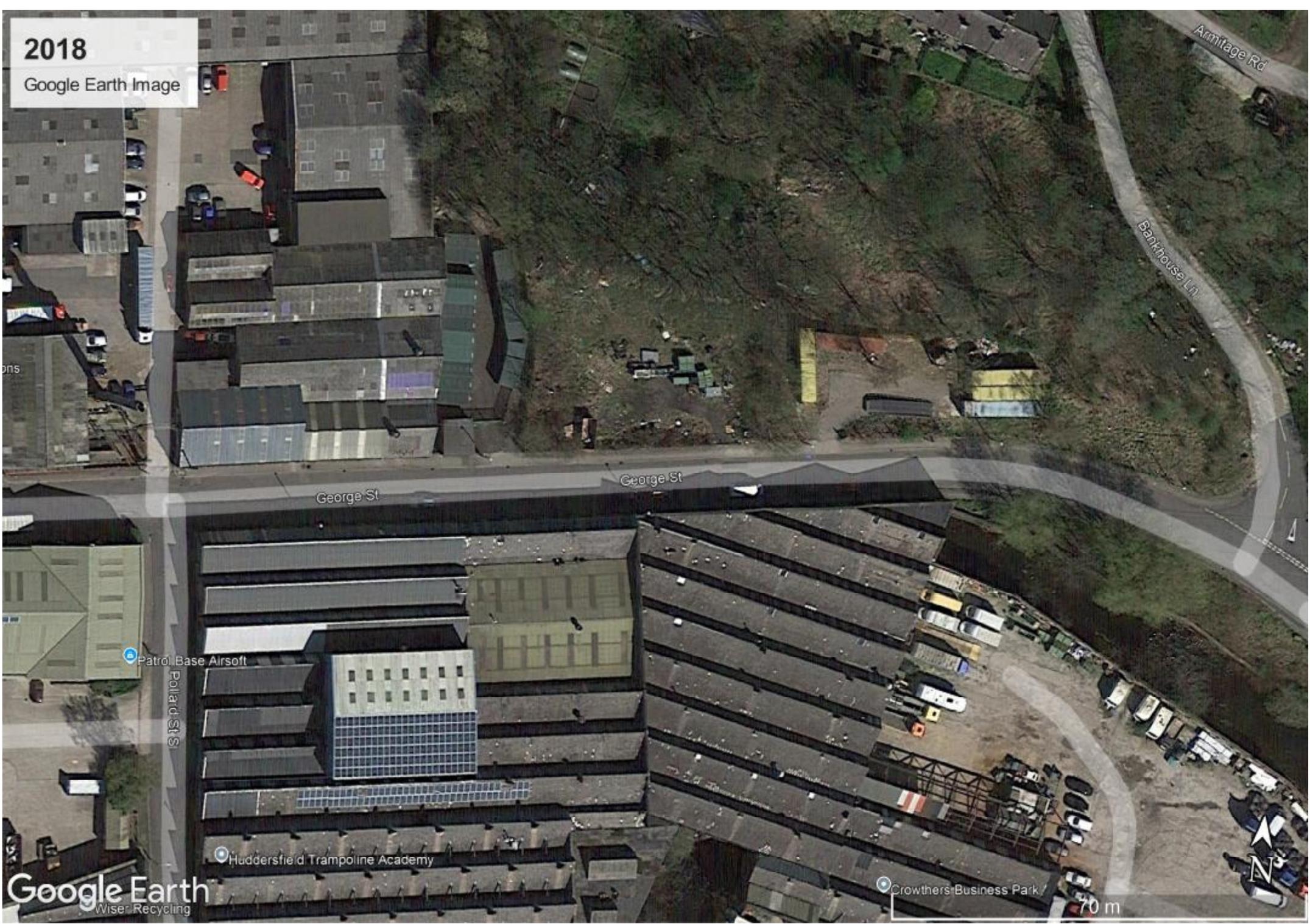
70 m



Google Earth
Wiser Recycling

2018

Google Earth Image



Google Earth
Wiser. Recycling

Patrol Base Airsoft

Pollard St S

Huddersfield Trampoline Academy

George St

Barkhouse Ln

Armitage Rd

Crowther's Business Park

70 m

2021

Google Earth Image



ONS

Armitage Rd

Barkhouse Ln

George St

George St

Patrol Base Airsoft

Poland St S

Huddersfield Trampoline Academy

Growthers Business Park

Google Earth
Wiser Recycling

70 m



2024

Google Earth Image

Feature Carpets and Blinds - Milnsbridge

ational Auctions

George St

George St

Armitage Rd

Bankhouse Ln

Patrol Base Airsoft

Pollard St S

Huddersfield Trampoline Academy

Wiser Recycling

Crowthers Business Park

Google Earth

Image © 2025 Maxar Technologies

Image © 2025 Airbus

Pollard St



80 m

Land to the north of George Street & to the west of Bankhouse Lane Milnsbridge.

Appendix C : Flood Mapping

Flood map for planning

Your reference	Location (easting/northing)	Created
<Unspecified>	411973/416046	18 Mar 2025 15:51

Your selected location is in flood zone 1, an area with a low probability of flooding.

You will need to do a flood risk assessment if your site is **any of the following**:

- bigger than 1 hectare (ha)
- In an area with critical drainage problems as notified by the Environment Agency
- identified as being at increased flood risk in future by the local authority's strategic flood risk assessment
- at risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)

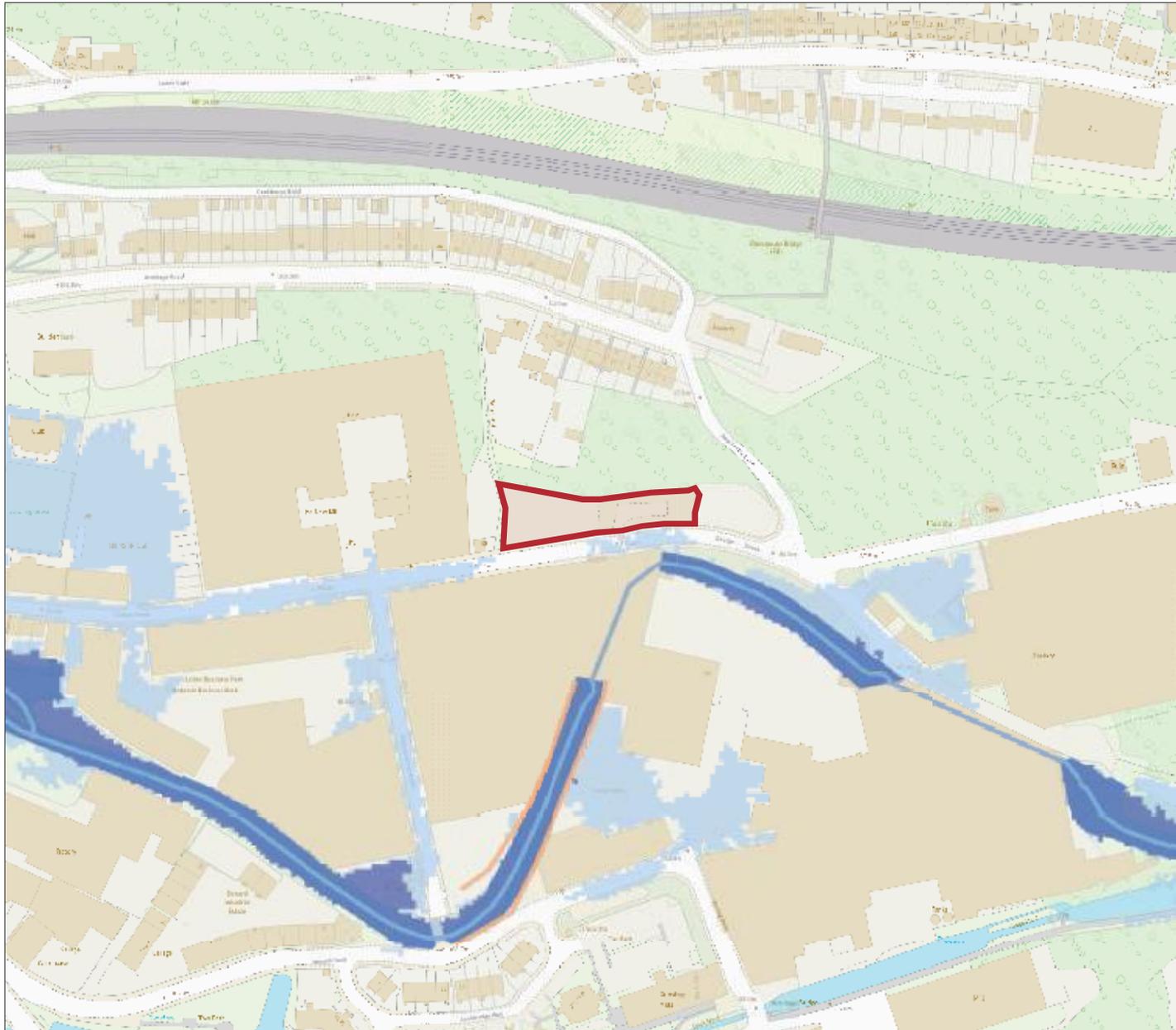
Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence **which** sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2024 OS AC0000807064. <https://flood-map-for-planning.service.gov.uk/os-terms>



Flood map for planning

Your reference
<Unspecified>

Location (easting/northing)
411973/416046

Scale
1:2500

Created
18 Mar 2025 15:51

-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area

