

No. 6 The Grove, HD9 4EH

Design & Access Statement

May 2025

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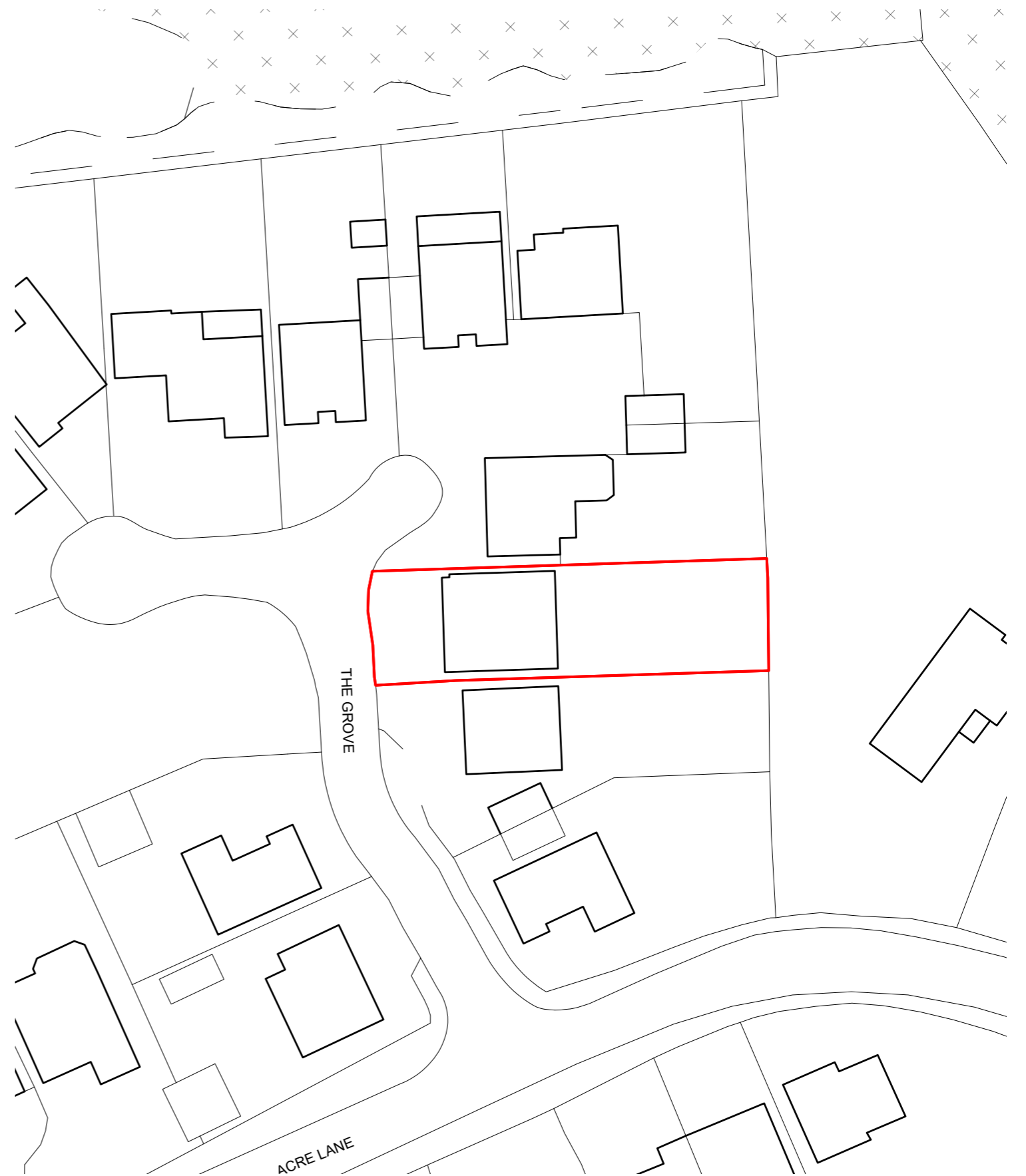
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1.0 Introduction

1.1 Overview

This Design and Access Statement has been prepared on behalf of the owners of No. 6 The Grove in support of their Householder Planning Application (May 2025).

No. 6 The Grove is a detached home built c.1999 as part of a small development of housing situated outside of the village of Meltham. The area falls within the boundary of Kirklees Council. The development is not within the boundary of a conservation area.

The proposal seeks to fulfill the following criteria:

- + Create an open plan living arrangement
- + Facilitate better access to the garden
- + Provide ancillary facilities to the house by converting part of the garage
- + Enhance opportunities for biodiversity

We aim to demonstrate through this document:

- + That these changes will improve the dwelling for current and future residents
- + That these changes will not adversely affect or encroach upon the surroundings of the dwelling.
- + That the proposed changes are sensitive to the character of the development and surrounding context

The property is the occupant's only residence and the works proposed are intended to ensure a future proofed, resilient, high-quality family home.

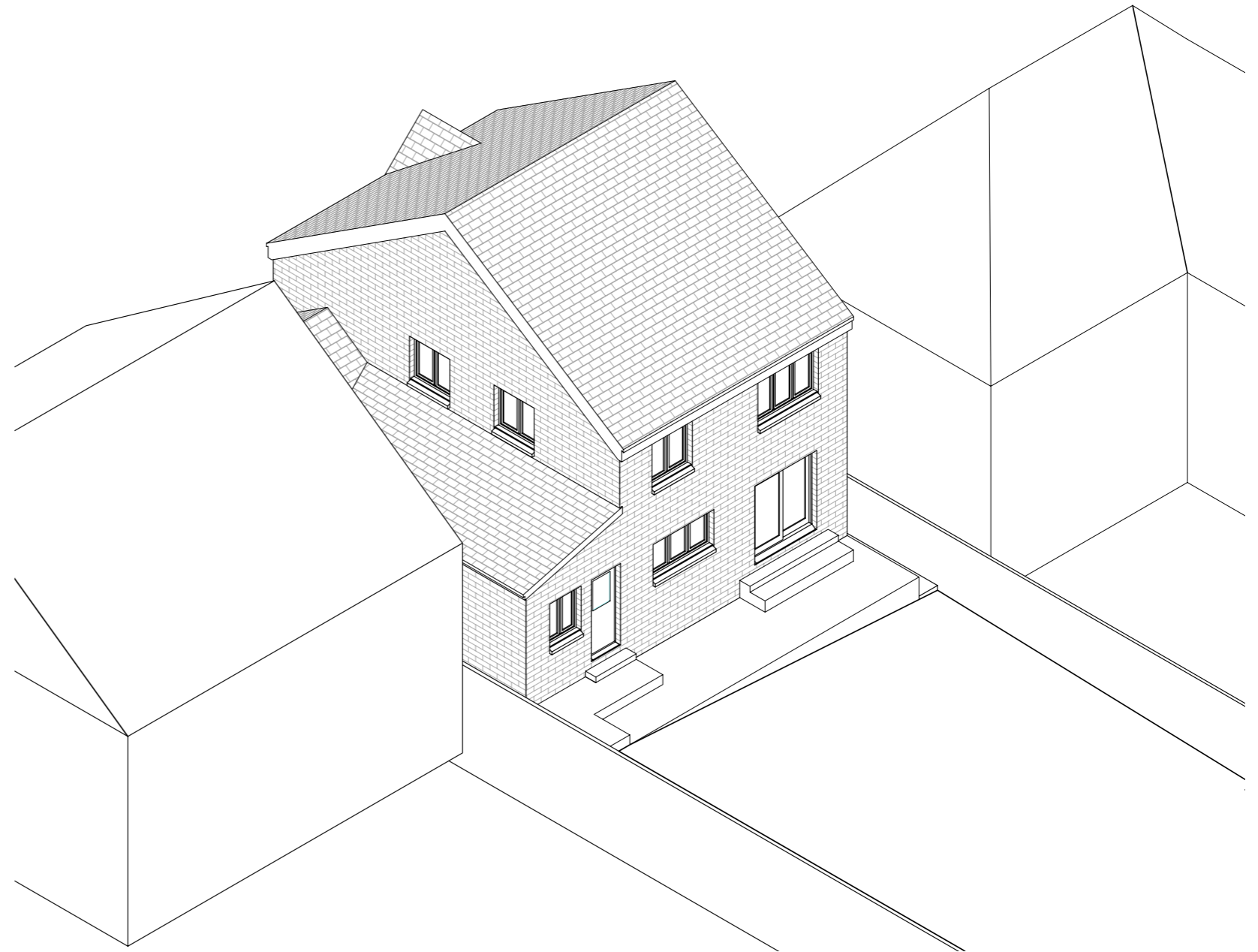


Figure 1A Existing Property Axonometric



1.0 Introduction

1.2 Site

The Grove is located immediately outside of the centre of Meltham - 17 minutes on foot and 2 minutes by vehicle.

The development is a cul-de-sac which comprises detached family homes laid out around a green space. The properties feature single or double garages as well as off-street parking.

The character of the development is sensitive to the local character: all properties feature traditional hipped pitched or gable-end roofs and are faced with sandstone - typical of local vernacular.

The outlook West from the site is towards the North Peak District National Park.



Figure 1B No. 6 The Grove

1.0 Introduction

1.3 Existing Dwelling

No. 6 is a 4-bedroom property with a kitchen/dining room at the rear and separate lounge at the front. It has a single garage which extends the full depth of the property, providing a secondary living space at the rear.

The site is bounded either side by a fence on either side and a low stone wall at the rear.

The garden slopes steeply away from the house towards a grove of established sycamore trees which fall within a TPO area. Access to the patio from the current kitchen/diner and secondary living space is via two steps. Access from the patio down to the garden is a further three steps.

The property is orientated South-North - with the rear North-facing.

Refer to images:

1C - Multiple steps from living space down to patio area / garden

1D - Stepped access down to garden

1E - Sandstone facing to property

1F - Sloped garden towards grove of sycamore trees



Figure 1C



Figure 1D

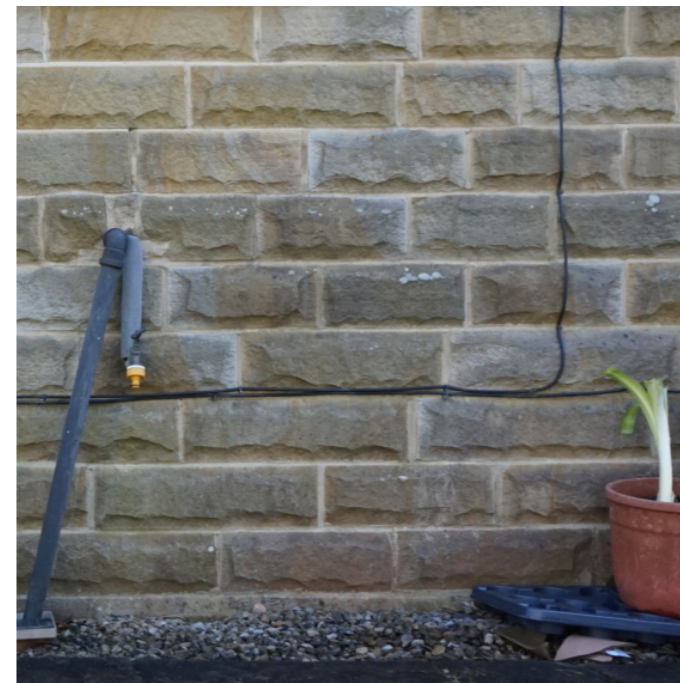


Figure 1E



Figure 1F

2.0 Proposals

2.1 Proposed Extension

2.1.1 Plan Overview

The extent of the proposed extension has been considered carefully to create a minimal increase in footprint whilst providing the property owners with higher quality living space with better garden access.

01 - The existing wall separating the kitchen/diner and secondary living space is removed to create an open plan arrangement. Rooflights are installed into the existing garage roof facilitating sunlight and solar gains into the new enlarged space.

02 - A single-storey extension extending 1.5m from the rear of the existing property is added to facilitate a high-quality kitchen and dining space.

03 - The existing garage space is partitioned and the rear portion insulated to create a dedicated utility room.

04 - The roof to the new extension extends to create a covered space for waste bins with easy side access to the road.

05 - An external terrace is built up level with the internal floor level of the living space. Planters are placed to prevent sitting area from being close to the site boundaries where overlooking into neighbouring gardens may be an issue.

06 - A minimal, lightweight, high performance new glazed front porch will be installed to improve the thermal performance of the property, reducing draughts. This will have minimal visual impact on the front elevation and will be specified to match the existing glazing system colour.

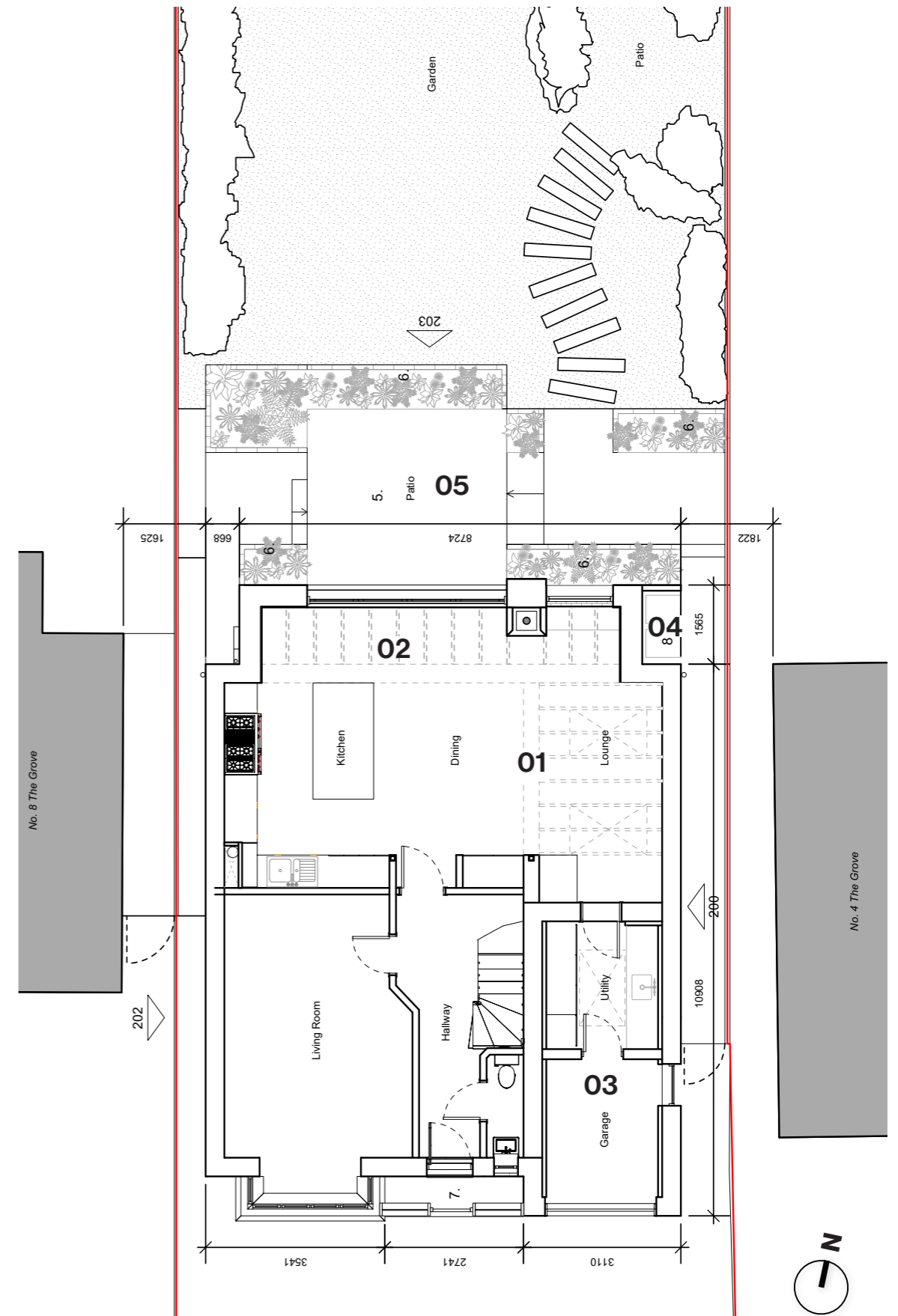


Figure 1G

2.0 Proposals

2.1 Proposed Extension

2.1.2 Massing, Form + Scale

The massing and form of the extension has been developed with a sensitivity towards the existing dwelling, whilst providing a well lit, accessible and high quality space for the occupants.

01 - The existing pitched volume housing the garage/ secondary living space is upgraded. Rooflights are introduced, facilitating sunlight and solar gains into the new enlarged space..

02 - A flat roof volume is proposed along the rear of the property which facilitates high-performance glazing to maximises natural light into the living space and provide direct and level access into the garden.

03 - A chimney housing the flue for a wood burning stove separates the two volumes: the new flat roof volume and a pitched (as a continuation of the existing garage/secondary living space roof) .

The scale of the proposal has been developed in alignment with guidance on single-storey extensions:

- + The primary volume of the extension does not exceed more than 4m in height
- + The extension does not project more than 4m from rear of existing house
- + The eaves are not more than 2.5m
- + A gap of a minimum of 1m from boundary is retained



Figure 1H - Intial model study

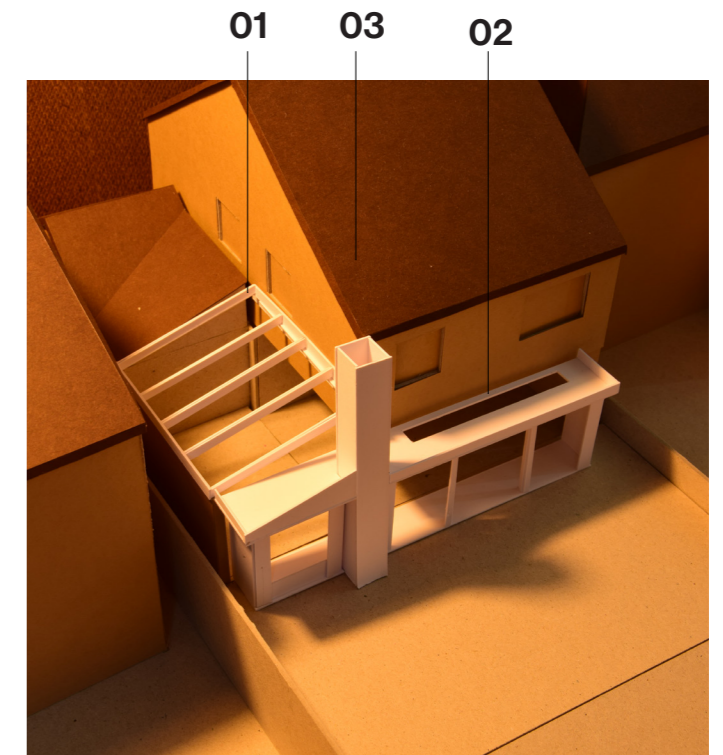


Figure 1I - Initial model study



Figure 1L - Proposed Section

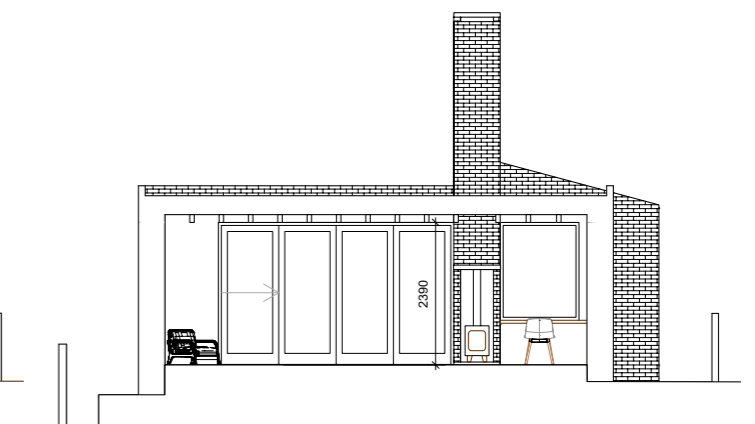


Figure 1M - Proposed Section

2.0 Proposals

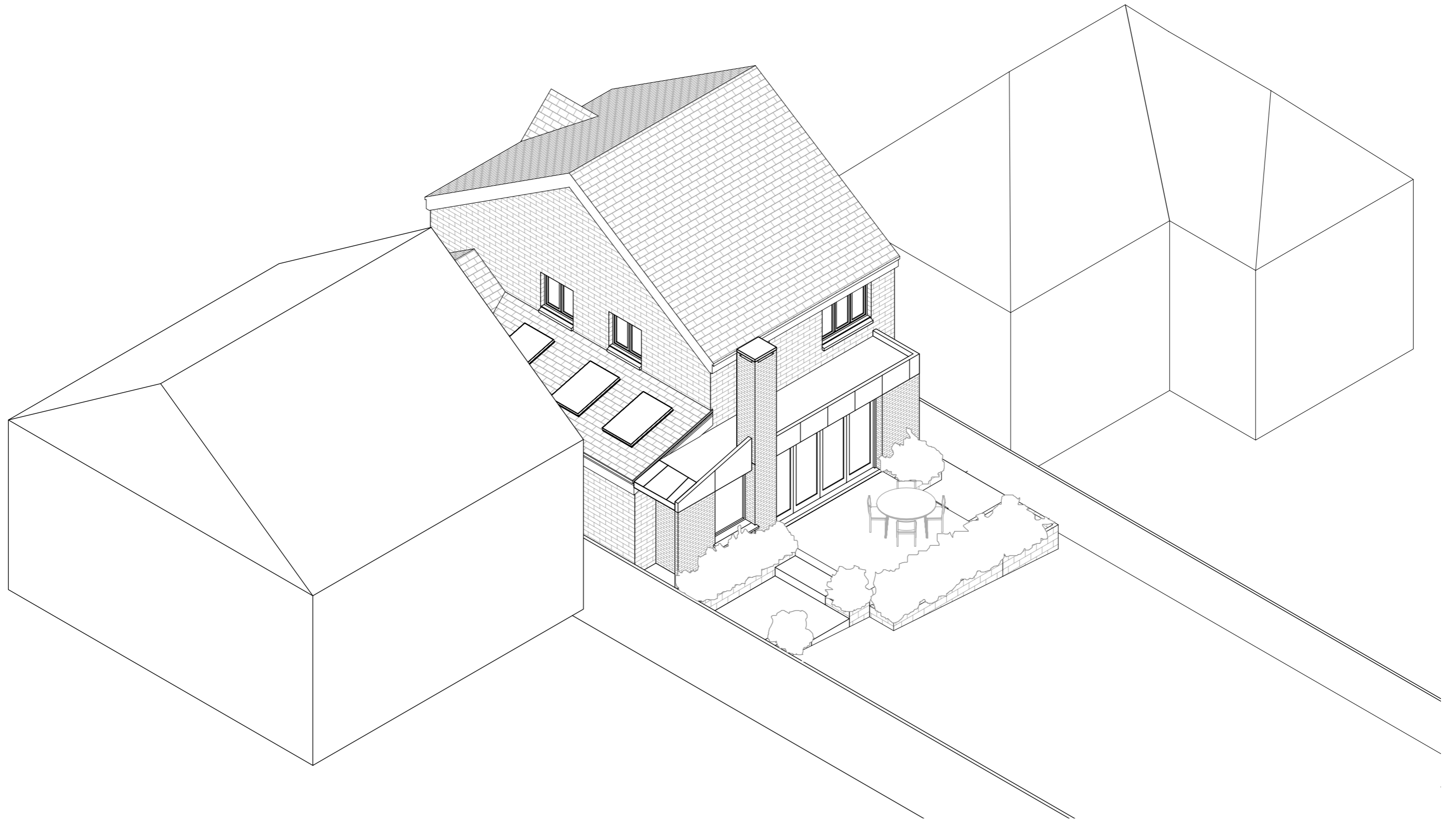


Figure 1X - Proposed 3D View

2.0 Proposals

2.1 Proposed Extension

2.1.3 Interior

A key aesthetic feature of the proposal and design driver to the spatial arrangement of the extension is the accommodation of a wood burning stove which provides a gathering point internally, and divides the facade externally.

The stove is proposed to be housed within the hearth and chimney, a reflection of traditional vernacular. The chimney will be constructed of stone bricks which have excellent thermal mass. The effect if this will be additional efficiency when heating the space using the stove as heat that is absorbed by the bricks during the stove's use will be slowly released back into the space. This approach to materiality and thermal mass will also be used for the floor finish and internal wall finish, minimising the energy required the heat the space.

The stove is proposed as a DEFRA-approved, low-emissions stove to minimise pollutants. This will be installed in accordance with the Heating Equipment & Testing Approval Scheme and by an approved, certified installer under said scheme.



Figure 1N

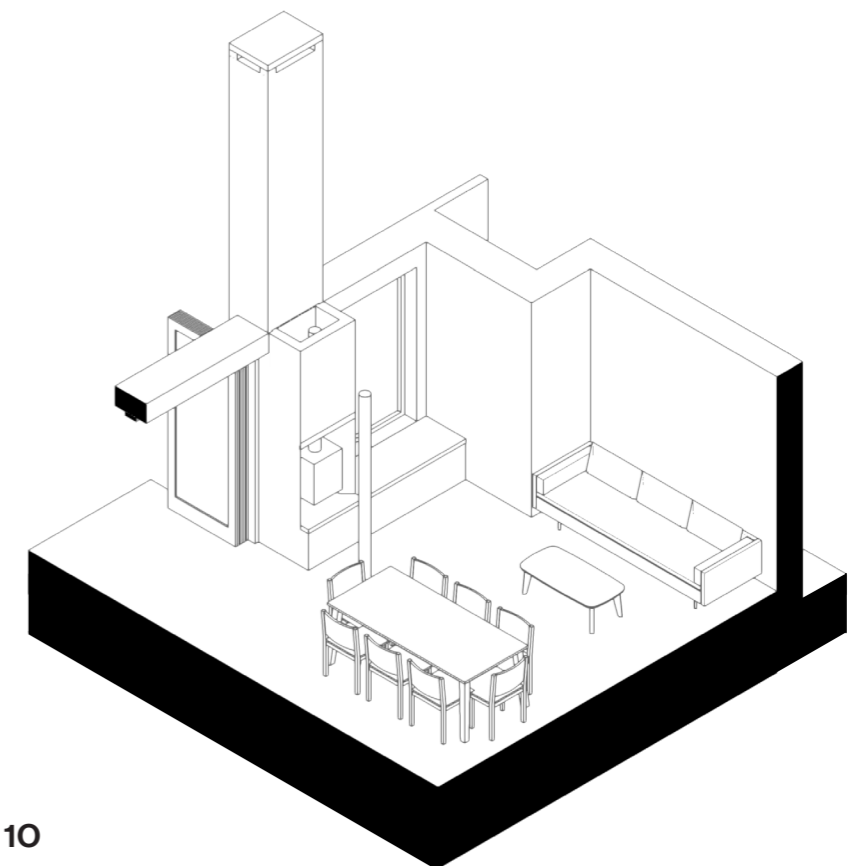


Figure 1O

2.0 Proposals

2.2 Sustainability

Biodiversity: The proposal aims to enhance existing habitats and create new ones for local biodiversity. This will be achieved through the installation of swift bricks (figure 1P) in the new external wall and increasing planting for pollinators and birds within the landscape works. Gabion walls (figure 1R) in place of concrete retaining walls will provide additional habitats for insects.

Energy: Passive measures such as high thermal mass, ambitious U-Values and the introduction of solar gains will be part of the proposals and aid in reducing the dwelling's operational energy requirements.

Low-Impact, Healthy Construction: In addition to low operational energy load, the proposal seeks to be low in embodied carbon through the use of natural materials where practicable. Transport miles will be minimised where possible and biodegradable and recyclable materials will be prioritised for end of life purposes.

Water: Rainwater harvesting for garden and outside use will be included within the proposed landscape design (figure 1Q).

Summary of Proposals: Sustainable development is about positive growth and progression. Flexible and versatile spaces are intrinsic to ensuring dwellings are well suited to multiple occupants, their changing needs and future lifestyles. Development which is sustainable considers these factors alongside reducing any environmental impact. These proposals aim to create a dwelling which is accessible, comfortable, flexible and has a low-impact on its surroundings, thereby improving the quality of life for existing and future occupants.



Figure 1P



Figure 1Q



Figure 1R

3.0 Materials

3.0 Materials

The proposal intends to use low-impact materials - i.e. those that are natural and low in embodied carbon. Where possible these materials and the craftspeople employed will be local to ensure input into the local economy and continuity of local trade and tradition

The materials used will have strong re-use potential, be hard-wearing or otherwise recyclable, avoiding landfill at the end of the buildings life.

The key building material will be stone bricks, quarried in the UK. In contrast to traditional bricks these do not require firing, significantly reducing the embodied carbon in manufacture. They are robust and re-usable/biodegradable /non-toxic at end of life.

Structural steels and beams, where required, are proposed to be sourced from a reclaimed steel yard located in Yorkshire. A structural engineer has been appointed and has given outline design guidance on the use of reclaimed steels. Going forwards the design will be driven by availability of lengths and sections to keep the embodied carbon of the extension low.

Refer to images:

1S - Rendered impression of rear elevation

1V - High-quality contemporary glazing style with metal frames

1U - Stone bricks

1W - Standing seam metal cladding, colour to match window/door frames



Figure 1S



Figure 1V



Figure 1U



Figure 1W

3.0 Materials



4.0 Planning Policy

4.0 Design Response to Local Planning Policy

The property is not listed nor within a conservation area. The property is under 'Article 4' designation.

Kirklees Council House Extensions and Alterations SPD:
Relevant policy points + **design response:**

Key design principle 3: Privacy *'Extensions and alterations should be designed to achieve reasonable levels of privacy for both inhabitants, future occupants and neighbours'*

Key design principle 4: Habitable rooms and side windows *'Extensions and alterations should consider the design and layout of habitable and non-habitable rooms to reduce conflict between neighbouring properties relating to privacy, light and outlook'*

- Proposed extension is stepped in at either side to provide a minimum 1m offset from the boundary line.

- Proposed extension does not have any side windows which would present an overlooking issue from extension into neighbouring properties or gardens.

- Area of patio designed for seating is towards the centre of the site with planters providing buffers either side, to prevent overlooking from patio area into neighbouring gardens.

Key design principle 5: Overshadowing/loss of light *'Extensions and alterations should not adversely affect the amount of natural light presently enjoyed by a neighbouring property'*

Key design principle 6: Preventing overbearing impact *'Extensions and alterations should not unduly reduce the outlook from a neighbouring property'*

- Proposed extension does not conflict with a 45° outlook from either neighbouring property.

- Proposed extension is single storey only to minimise overbearing impact.

Key design principle 8: Energy efficiency *'Extensions and alterations should, where practicable, maximise energy efficiency'*

- Proposed extension will achieve a U-value exceeding the Building Regulations.

- Proposed extension utilises stone bricks to maximise opportunities for thermal mass.

- Proposed extension integrates rooflights on the North-West slope of existing garage roof to attain solar gain into new living space.

- Proposed extension features increased glazing to introduce more natural light into the living spaces thereby reducing reliance on electric lighting.

Key design principle 9: Construction materials *'Extensions and alterations should seek to use innovative construction materials and techniques, including reclaimed and recycled materials where possible'*

- Proposed extension to be constructed from stone bricks which are a low-carbon alternative to conventional bricks and biodegradable at end of life

Key design principle 12: Natural environment *'Extensions and alterations should consider how they might contribute towards the enhancement of the natural environment and biodiversity'*

- Proposal to integrate swift bricks into new build external walls.

- Proposal to provide more opportunities for planted areas to increase plant diversity.

4.0 Planning Policy

(4.0 Design Response to Local Planning Policy)

Key design principle 15: Provision for parking *'Extensions and alterations should maintain appropriate access and off-street 'in curtilage' parking'*

- Proposal retains off-street parking area in front of property.
- Proposal retains part of the garage for storage use for other more sustainable transport types such as bicycles.

Key design principle 16: Provision for waste storage *'Extensions and alterations should maintain appropriate storage arrangements for waste'*

- Proposal to provide dedicated covered area to side of extension for waste bin storage.

Key design principle 17: Access for all users *'Extensions and alterations to existing houses should consider how the needs of a range of different users can be met in facilitating access and movement'*

- Proposal to provide level access from living space out to garden (previously two steps) thereby improving accessibility and future-proofing the property for older inhabitants.

5.0 Access

5.0 Access

The occupants are both retired and reaching a phase of life where mobility is becoming increasingly more challenging. They aspire to have better ease of access from their main living space to outdoor space, and the garden beyond. The proposals aim to facilitate a high-quality living space which offers the ability to cook, dine, relax, read and garden within close proximity and all on one level.

The proposals will make easier ancillary domestic living through providing a dedicated area for waste bins externally, level with the ground floor of the house, and a dedicated utility space, also on the same level.

These proposals have been designed with flexibility and future family living in mind, such that the dwelling provides a high-quality and attractive home for many occupants to follow.

The proposal will not adversely affect or increase traffic to and from the site.

