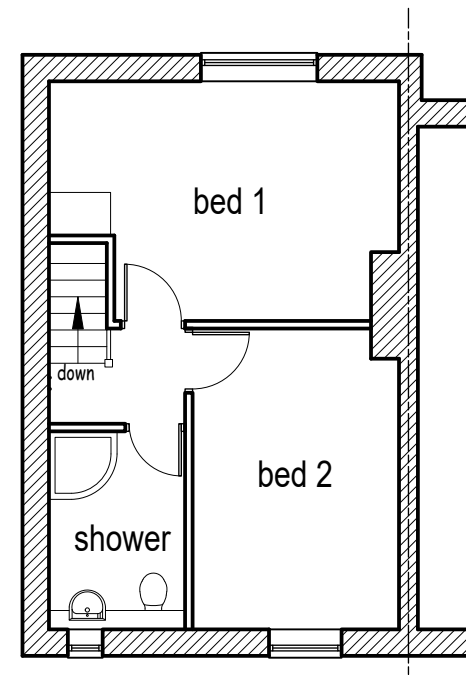
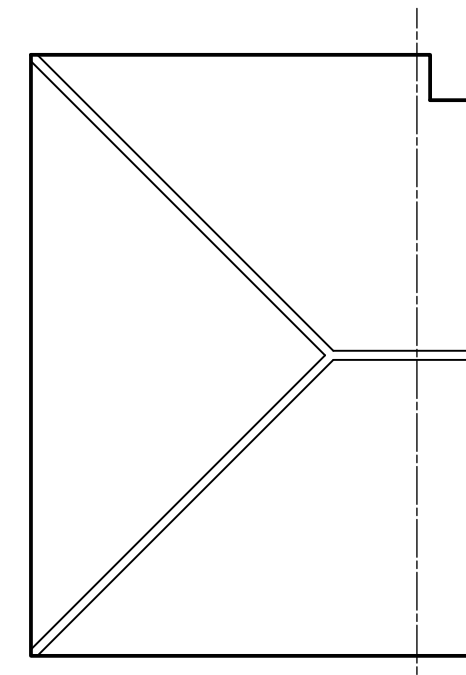


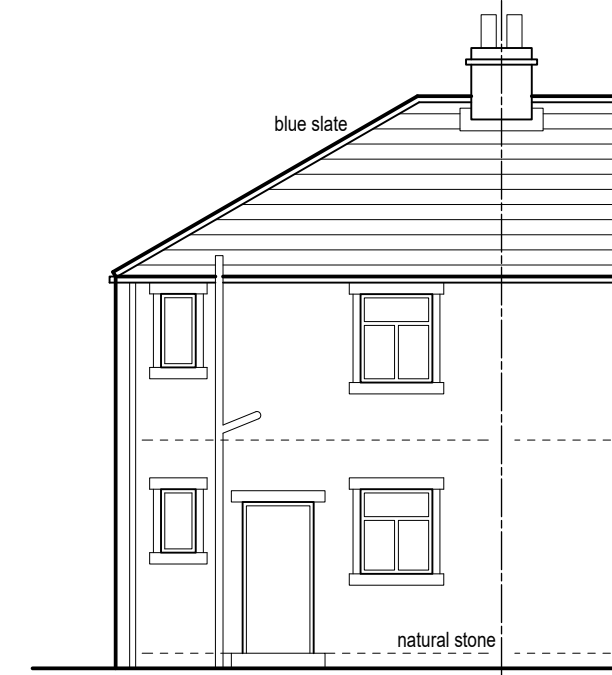
Existing ground floor layout (1:100)



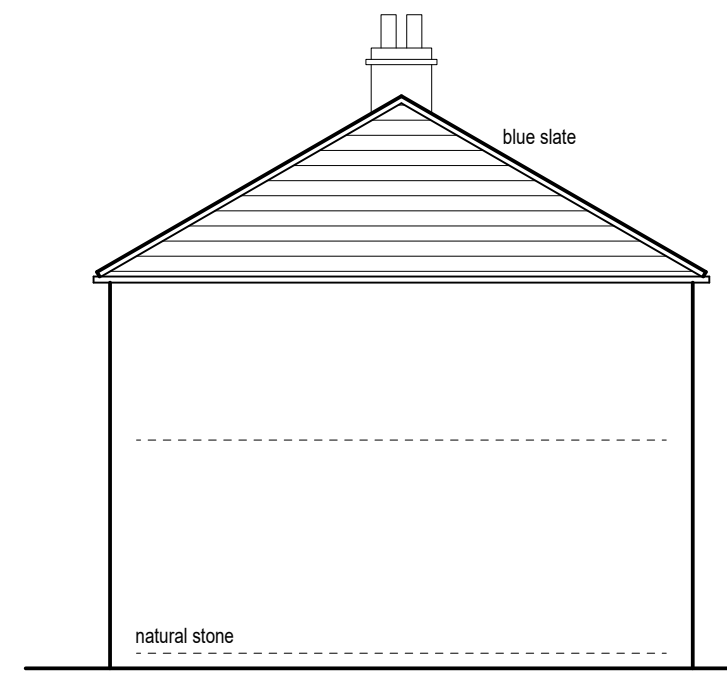
Existing first floor layout (1:100)



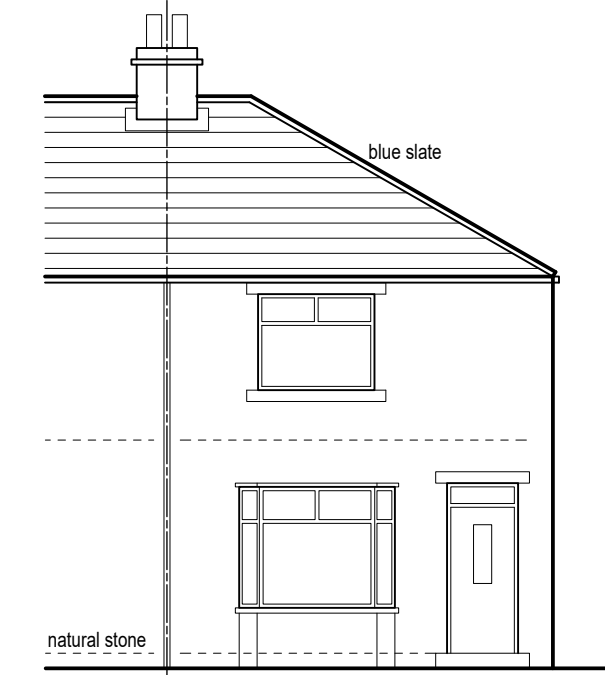
Existing first floor layout (1:100)



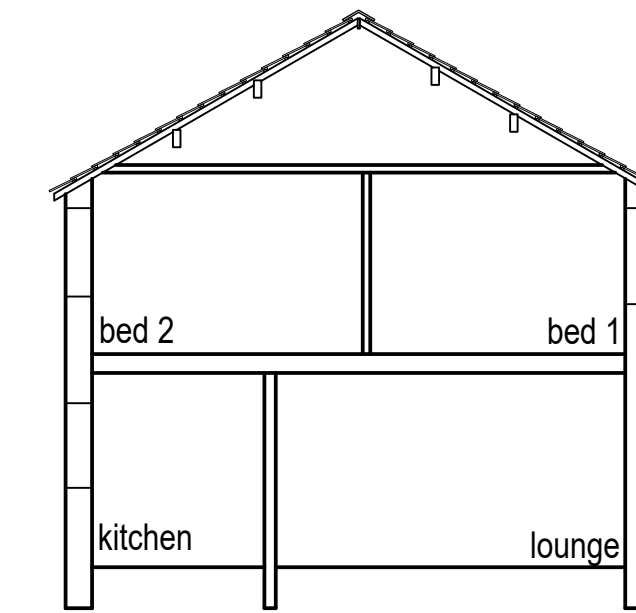
Existing rear elevation (1:100)



Existing side elevation (1:100)



Existing front elevation (1:100)



Existing cross section (1:100)

0m Scale 1:50 4m
 0m Scale 1:100 8m
 0m Scale 1:200 16m
 0m Scale 1:500 40m
 0m Scale 1:1250 100m

(When to scale of original plan bar = 8cm)

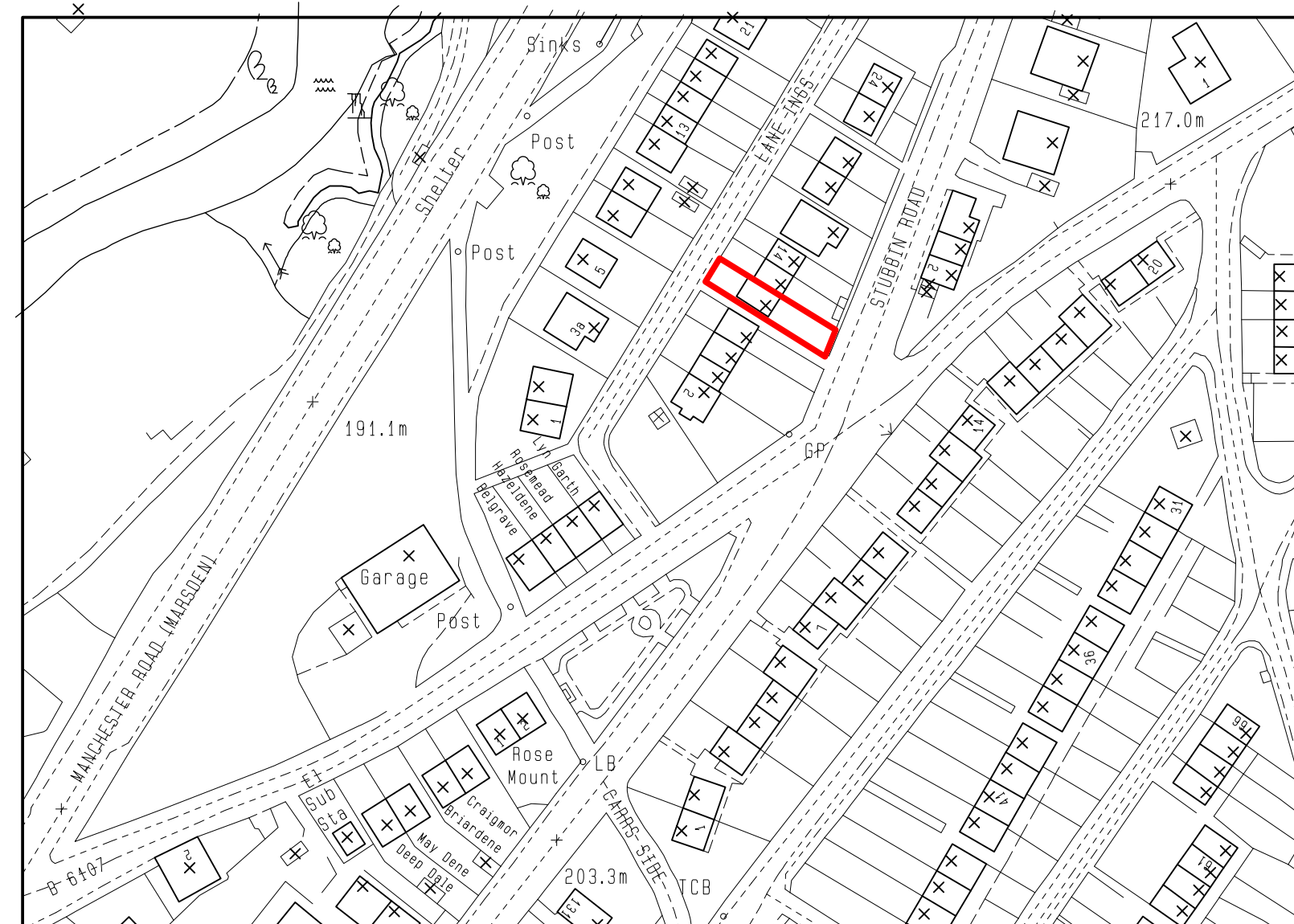
Notes:
 1. Setting out to be the responsibility of contractor.
 2. Contractor to pay particular attention to pitch of roof and headroom at stairs.
 3. Any discrepancies to be reported to Colne Valley Design.

Design Criteria.

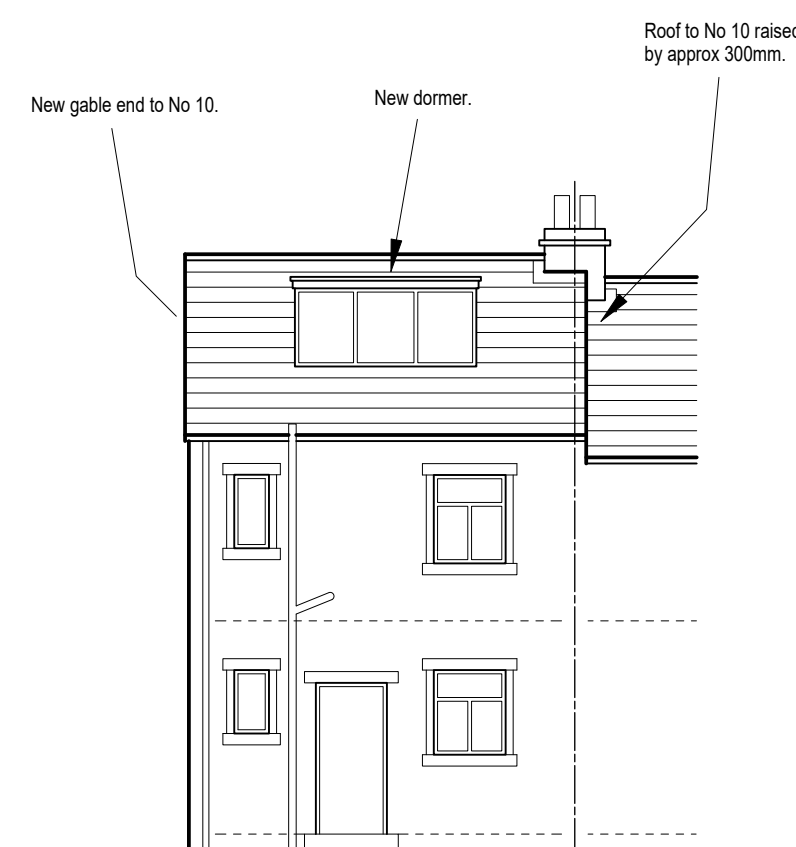
The requirement is to create an additional bedroom in the loft space of No 10 Lane Ings but there are restrictions due to headroom and the fact that the existing roof is hipped.

We have, therefore introduced the following to ensure that the space is adequate for habitable use.
 1. Build a stone gable in place of the existing hip.
 2. Raise the ridge of No 14 by approximately 300mm.
 3. Install the new attic floor at a lower level than the existing ceiling.

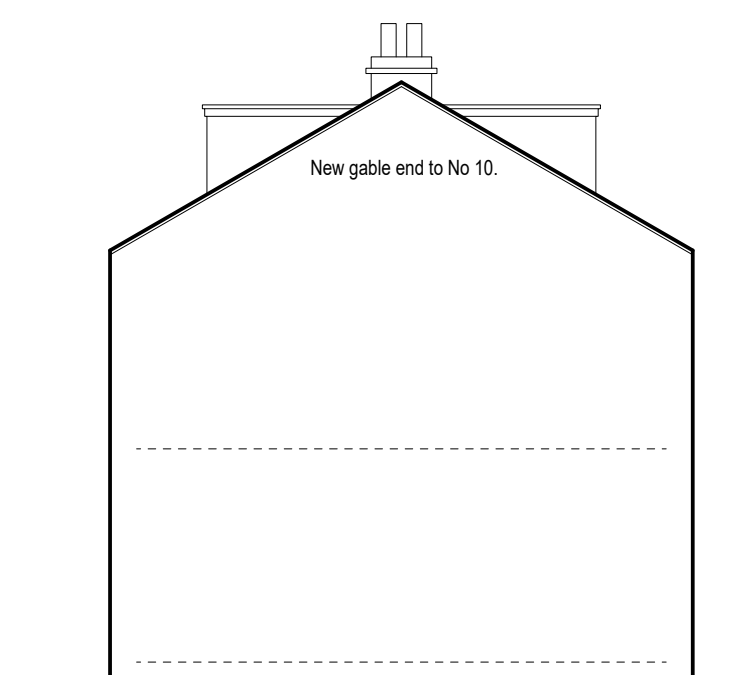
Below is a 'street scene' of the block of three dwellings and the adjacent property.
 This has been produced to illustrate that the alterations to the roof do not have a negative impact on the street scene.
 The same work has been carried out at No 14 and was granted planning permission in 2014.
 There are also accompanying photographs to illustrate that there are numerous dwellings along the street with gable end construction.



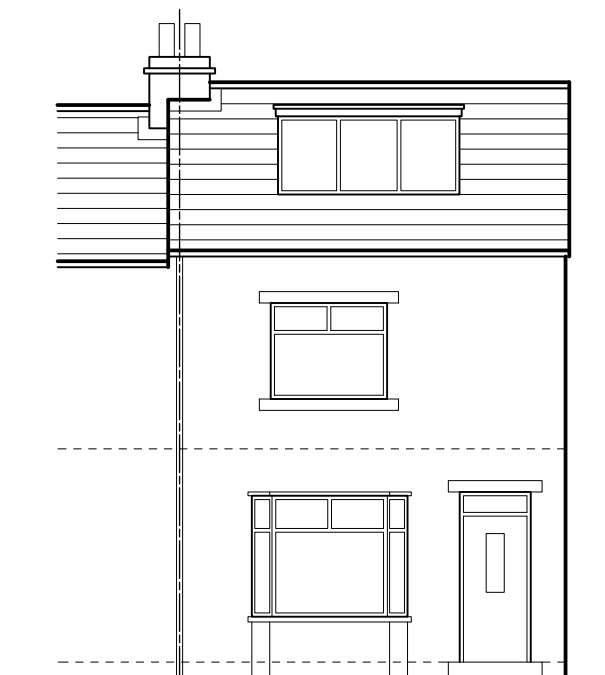
Location plan (1:1250)



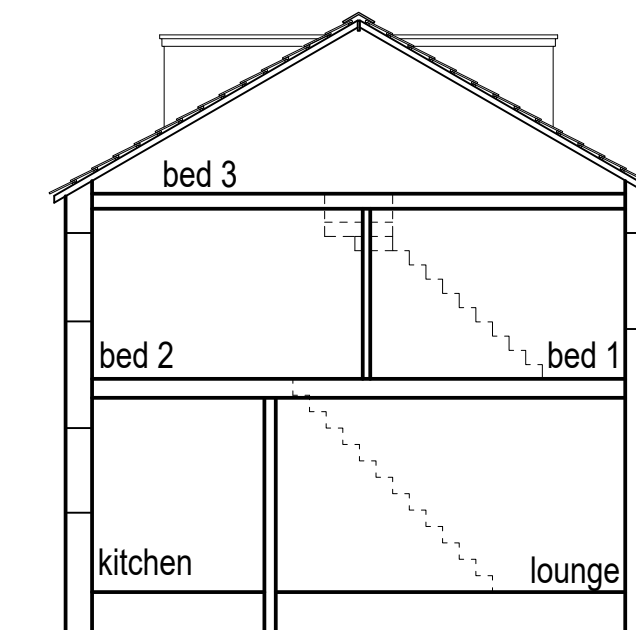
Proposed rear elevation (1:100)



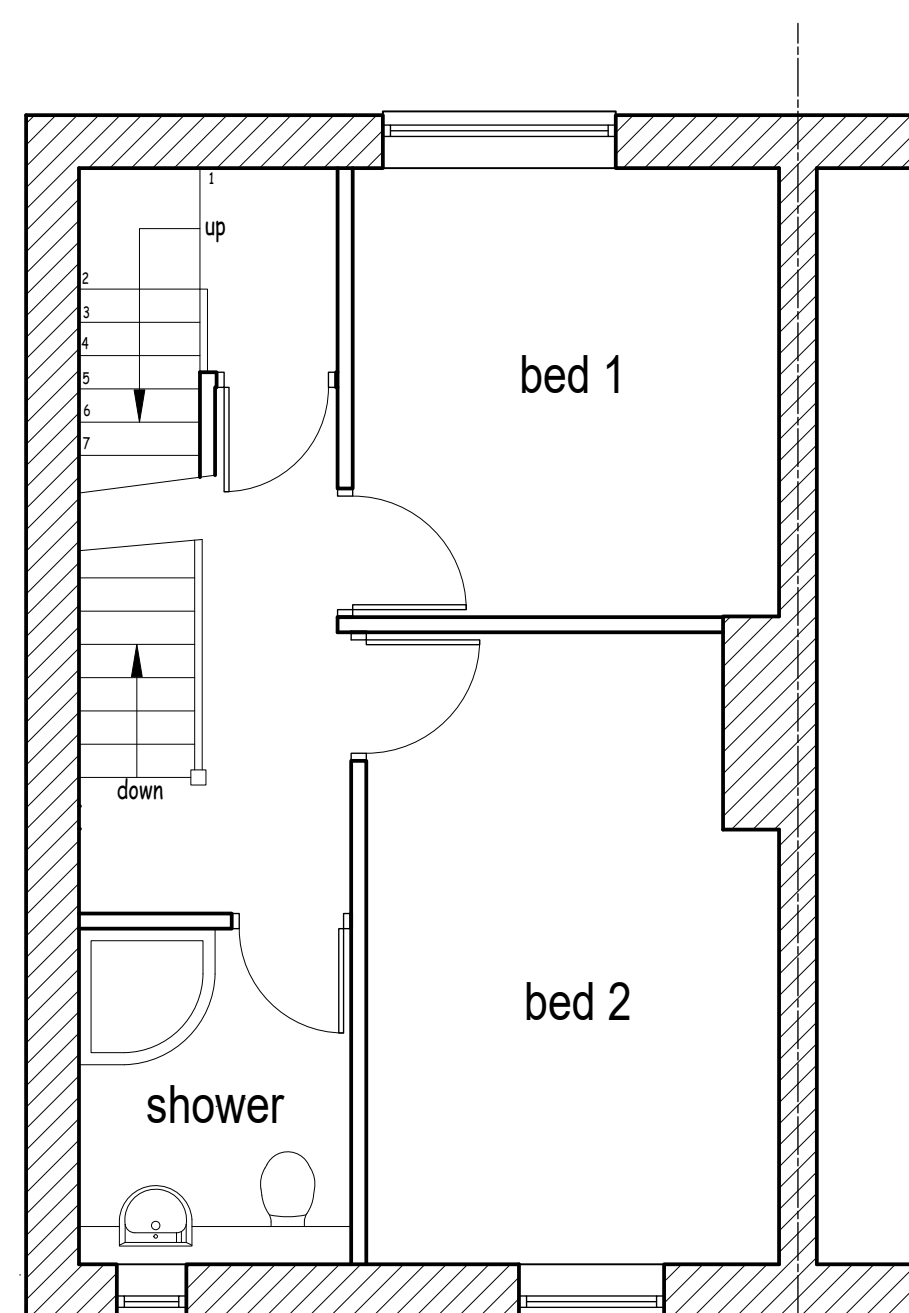
Proposed side elevation (1:100)



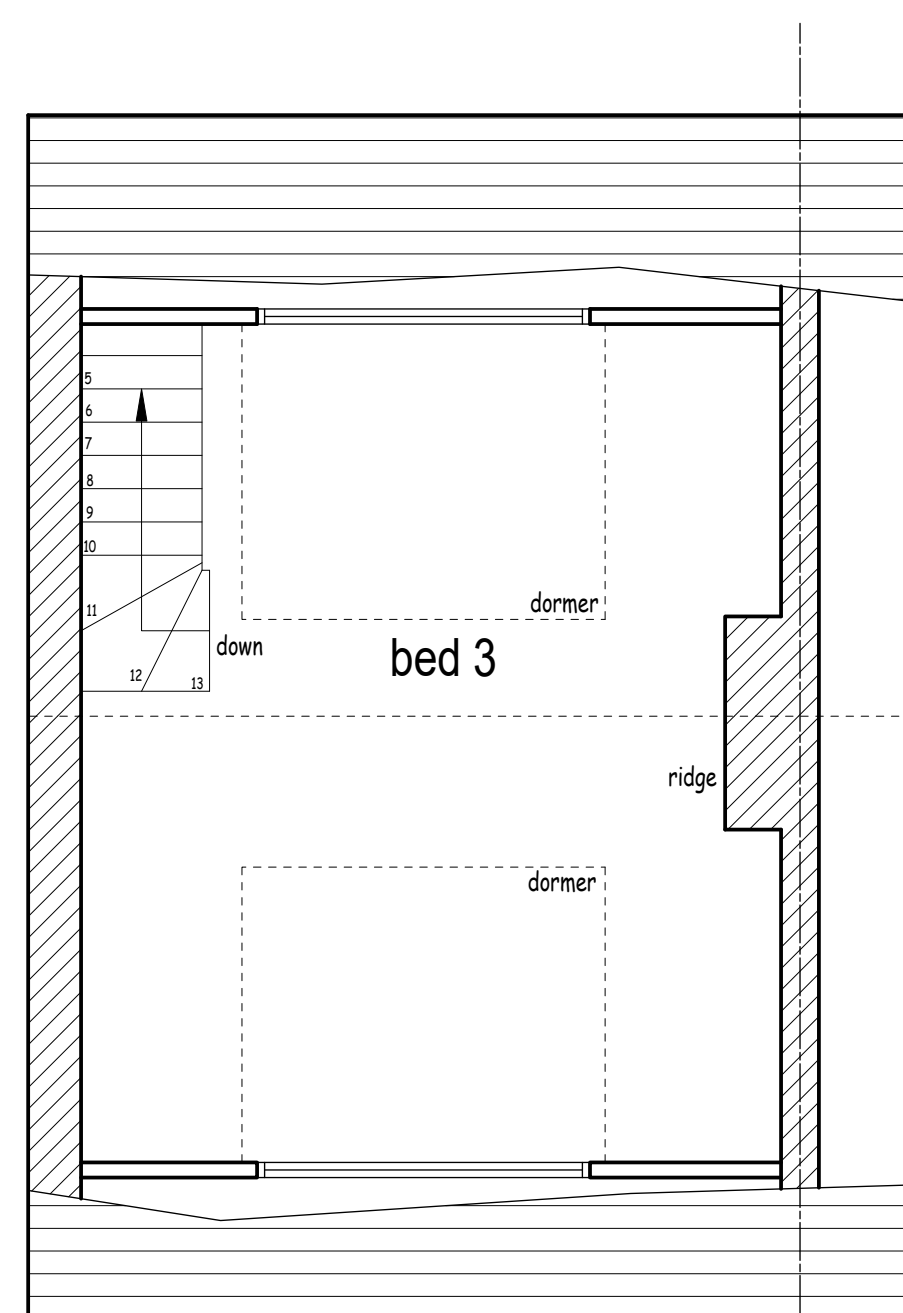
Proposed front elevation (1:100)



Proposed cross section (1:100)



Proposed first floor layout (1:50)



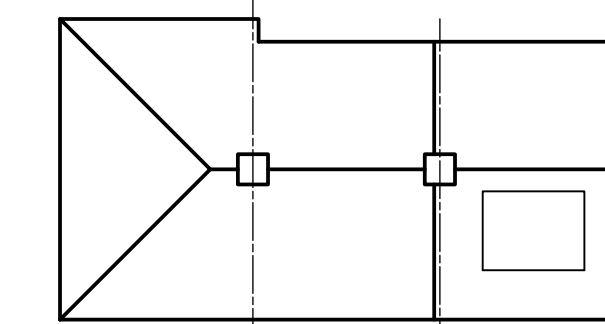
Proposed attic layout (1:50)



Existing front streetscene (1:200)



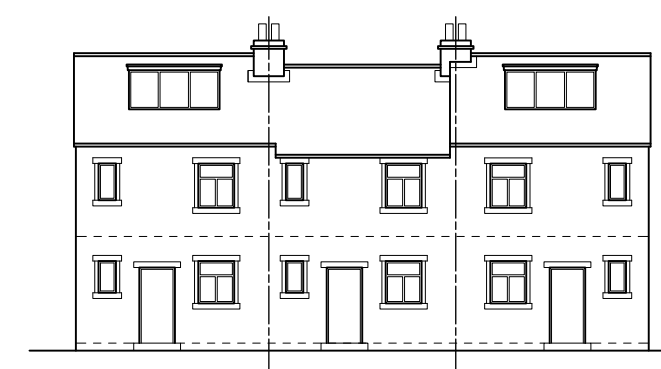
Existing rear streetscene (1:200)



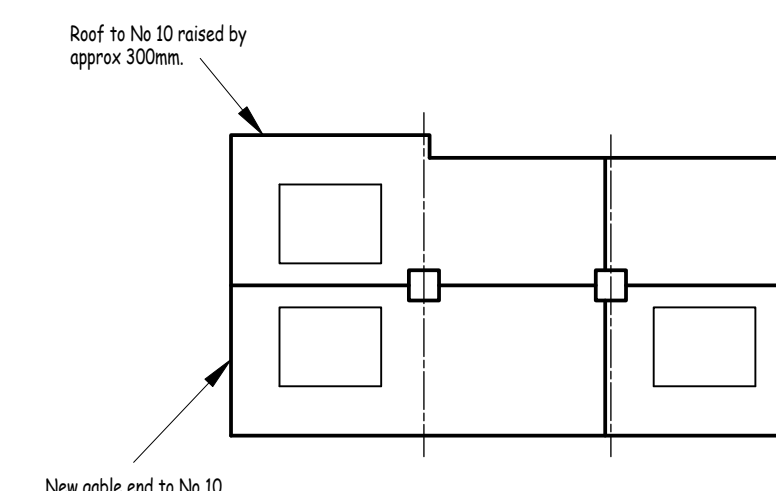
Existing roof plan (1:200)



Proposed front streetscene (1:200)



Proposed rear streetscene (1:200)



Proposed roof plan (1:200)



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Proprietor: S.A. Mitchell (A/CIOB)

Project

Proposed loft conversion.

For

Mr S Watson.

Address

10 Lane Ings.
 Marsden
 HD7 6JP.

Title

Planning drawing.

Job No.
 25 J 09.

Drawing number
 01.

Date
 March 2025.