

HERITAGE STATEMENT

101 NEW STREET, HUDDERSFIEL, HD1 2TW

CONTENT

Introduction	2
Site and Heritage context	2
Proposed Development	3
Impact	5
Policy and Compliance	5
Mitigation and Compliance Strategy	7
Climate Change Mitigation Strategy	7
Conclusion	8

1. Introduction

This Heritage Statement has been prepared to support a **full planning application** for the conversion of the first floor of **101 New Street, Huddersfield**, from commercial storage (Use Class E) into **four self-contained student studio flats (Use Class C3 or C4)**.

The site is located within **Huddersfield Town Centre**, an area of historic significance, and is in proximity to various **heritage assets**. This document assesses the impact of the proposed development on the historical and architectural significance of the area, outlines mitigation strategies to preserve its heritage value and climate change and sustainability considerations.



2. Site and Heritage Context

The site address is **101 New Street, Huddersfield, HD1 2TW**, situated within **Huddersfield Town Centre**, a commercial and residential hub known for its **Victorian and Georgian architecture**. The building is **not listed** but is within the **Conservation Area**.

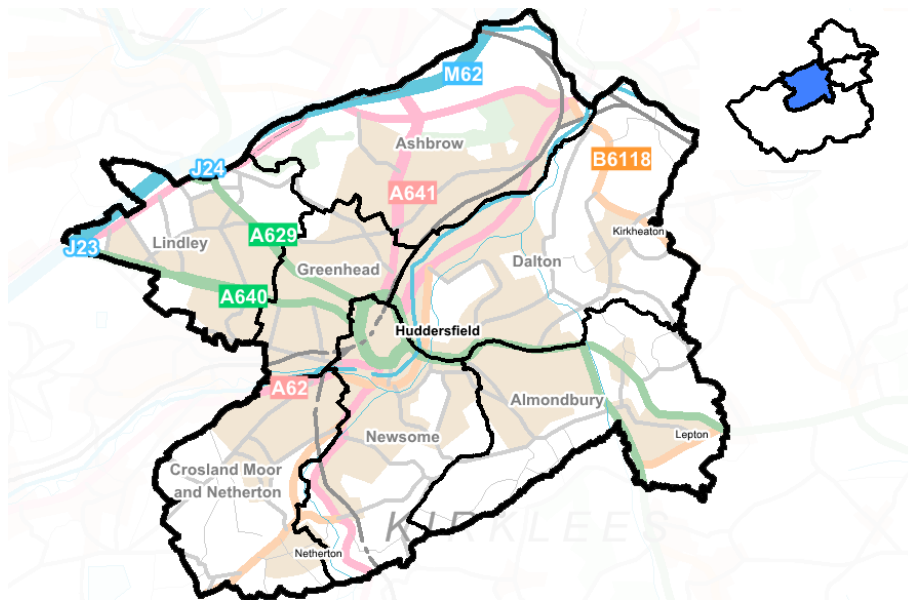
The site is in **Huddersfield Town Centre**, a historically significant area known for its rich Victorian and Georgian architectural heritage. The surrounding built environment features **listed buildings and conservation areas**, contributing to the unique character of the town.

Nearby heritage assets include:

Huddersfield Railway Station (Grade I Listed), A landmark structure known for its neoclassical architectural style, emphasizing the town's industrial-era prominence.

Various Grade II Listed Buildings along New Street, Reflecting the evolution of commercial architecture and local trade history.

Huddersfield Town Centre Conservation Area, the site may be within or adjacent to this designated area, requiring adherence to conservation policies.



The area surrounding New Street developed significantly during the Industrial Revolution, becoming a key commercial and retail district. By the mid-19th century, Huddersfield had emerged as a major textile-producing town, which led to increased demand for retail spaces and commercial buildings.

101 New Street has historically functioned as a commercial property, supporting Huddersfield's retail sector for over a century. The surrounding building features traditional Victorian-era construction, characterised by brick and stonework facades, decorative cornices, and large shopfront windows. The architecture aligns with the broader Huddersfield Town Centre Conservation Area, where many buildings retain their historic character. However, 101 New Street has no special features, it's made of brick and concrete with glazing on ground floor. The site's commercial function is indicative of Huddersfield's development during the industrial revolution, when the town became a hub for textile manufacturing and trade.

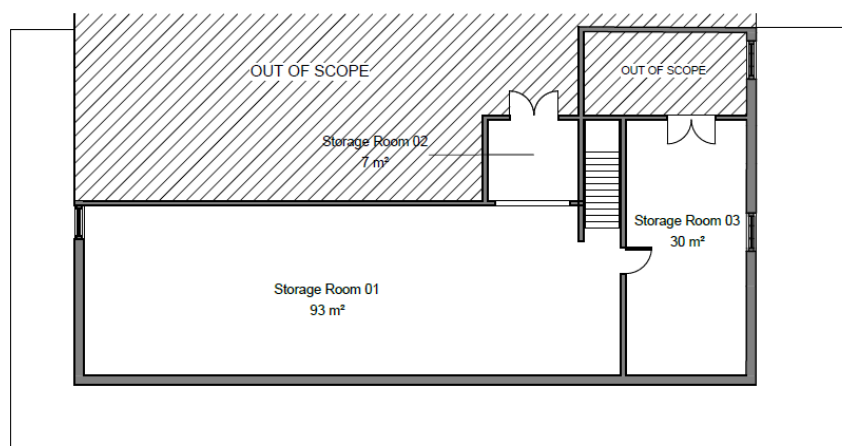
As Huddersfield transitioned into the modern era, many commercial buildings in the town centre were repurposed to accommodate changing economic and social needs. The proposed adaptation of 101 New Street aligns with this trend, ensuring the building continues to contribute to Huddersfield's evolving urban landscape while preserving its historical integrity.

3. Proposed Development

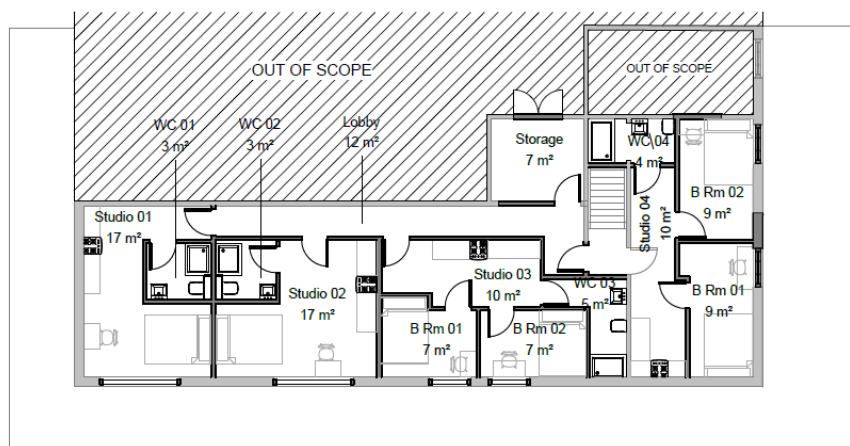
The proposed development aims to repurpose the upper floors of 101 New Street, Huddersfield, transforming them from underutilized commercial storage space into four modern student studio flats. This project is designed to maintain the historic integrity of the building while addressing the growing demand for high-quality student housing in Huddersfield. The development will include the installation of four self-contained student studio flats, each featuring a bedroom, kitchenette, and en-suite bathroom. Internal modifications will involve the construction of new partitions to create independent living spaces while maintaining the structural integrity of the building.

As part of the proposal, original windows will be retained where possible, but they will be upgraded from single glazing to double glazing to improve energy efficiency. Any necessary repairs or replacements will be undertaken using heritage-appropriate materials to ensure the building's aesthetic character is preserved. to preserve the building's aesthetic character. By integrating sustainable building practices and preserving key architectural features, the development contributes to the town's ongoing regeneration efforts while delivering much-needed student accommodation in a prime urban location.

The project also includes new access arrangements, introducing a dedicated entrance for residential use to ensure separation from the ground-floor retail unit. Fire safety measures, including smoke alarms and emergency exits, will be installed in line with safety regulations.



First Floor as Existing
1:100



First Floor as Proposed
1:100

4. Impact

The proposed development at 101 New Street, Huddersfield, contributes positively to the local housing market by addressing the increasing demand for student accommodation. With no significant alterations to the external façade, ultimately supporting long-term economic growth. This development also enhances urban sustainability by re-purposing an existing building, reducing the need for new construction and associated environmental impacts.

Furthermore, introducing new residential units in the town centre aligns with urban regeneration efforts, making use of underutilized spaces and reducing commercial vacancy rates. The presence of students in the town centre will contribute to the local economy by increasing foot traffic for shops, cafes, and other businesses, ultimately supporting long-term economic growth. This development also enhances urban sustainability by repurposing an existing building, reducing the need for new construction and associated environmental impacts.

5. Policy and Compliance

The proposed conversion of the **first-floor commercial storage into four student studio flats** aligns with **national, regional, and local planning policies**, ensuring compliance with **heritage conservation, housing demand, sustainability, and urban regeneration**.

The **NPPF (2021)** sets out planning policies for England and guides local development decisions. This proposal aligns with key NPPF policies, including:

Paragraph 197 – Conserving and Enhancing Heritage Assets: Recognises that heritage assets are **irreplaceable** and must be conserved appropriately. The proposal **preserves the building's historic façade** while ensuring **minimal external alterations**, maintaining **Huddersfield's historic streetscape**.

Paragraph 202 – Balancing Heritage with Public Benefit: When developments cause **less than substantial harm** to a heritage asset, the **public benefits must outweigh any harm**. This proposal **enhances student housing availability, repurposes an underutilized building, and supports the town centre economy**, making it a **sustainable and beneficial use of space**.

Paragraph 152 – Mitigating Climate Change through Sustainable Development: Encourages developments that **reduce carbon emissions and improve energy efficiency**. The **double glazing, improved insulation, and adaptive reuse** of the existing structure minimise **environmental impact**, aligning with national **carbon reduction goals**.

Paragraph 119 – Promoting Effective Land Use: Prioritises the redevelopment of **previously developed land and buildings**. The conversion of **existing commercial storage into residential units** prevents the **need for additional land development**, making it a **sustainable urban solution**.

The **Kirklees Local Plan (2019-2031)** sets the framework for development across the borough. This proposal supports key local policies, including:

Policy LP24 – High-Quality Design and Development: Ensures that developments respect local character and improve the urban environment. The proposal **preserves key architectural features** while modernizing the interior to meet **housing standards**.

Policy LP35 – Protection of Heritage Assets: Supports the **adaptive reuse of historic buildings** while ensuring their **architectural significance is retained**. The **conversion respects the building's original features** (brickwork, decorative elements, shopfront design), ensuring **consistency with the conservation area guidelines**.

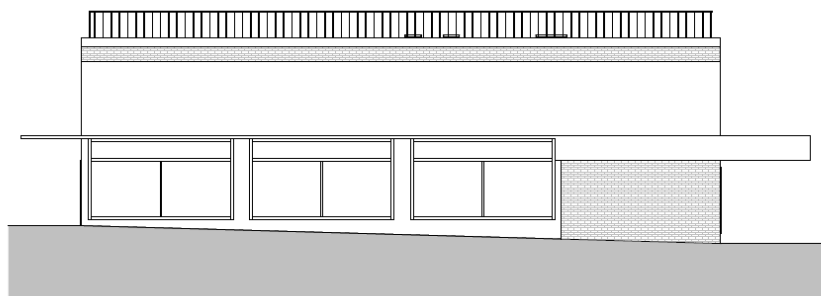
Policy LP11 – Housing Mix and Affordable Housing: Promotes diverse housing options, including **purpose-built student accommodation**. The project contributes **four additional student flats**, meeting **growing demand from Huddersfield's university population**.

Policy LP20 – Sustainable Travel: Supports town-centre developments that reduce car dependency. The site is **highly accessible**, with **bus stops, cycle routes, and Huddersfield Train Station** within walking distance.

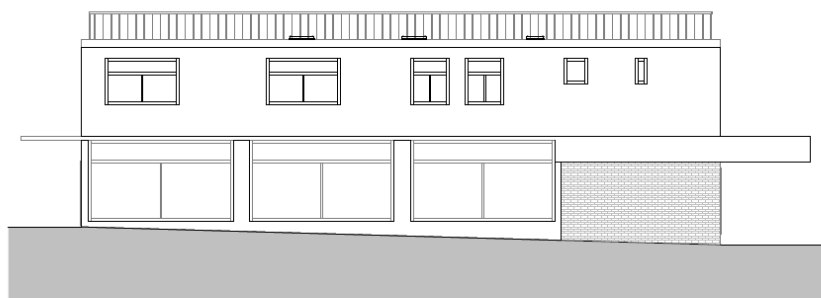
Policy LP51 – Mitigating Climate Change and Carbon Reduction: Encourages **energy-efficient upgrades and retrofitting**. The proposal includes **double glazing, insulation improvements, and efficient heating systems**.

The **Huddersfield Town Centre Conservation Area** is designated to **preserve the architectural and historical significance** of the town. The proposed development complies with **conservation area requirements** by:

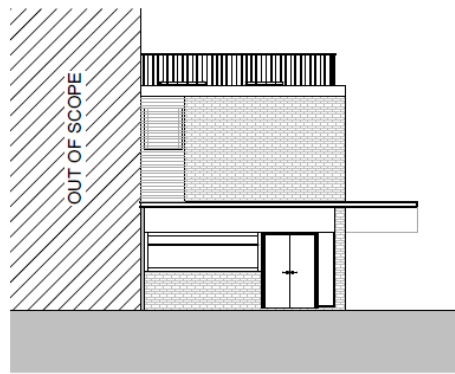
Retaining and restoring key architectural elements, including **brick façades, decorative cornices, and shopfront features**. **Upgrading windows to double glazing** while using **heritage-appropriate materials** to ensure the **visual character remains unchanged**. **Avoiding structural alterations to the external façade**, maintaining the **historic streetscape**.



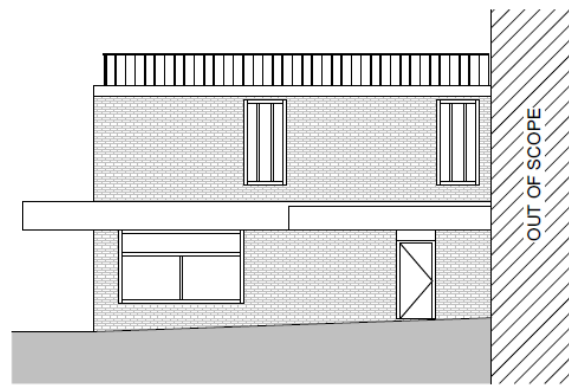
North Elevation as Existing
1 : 100



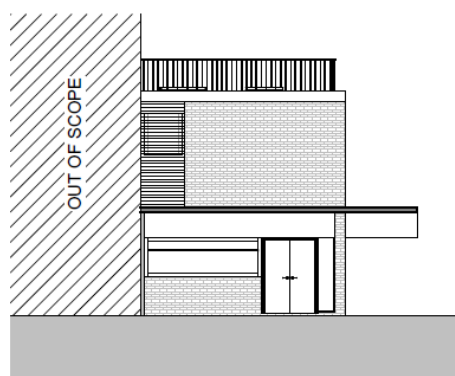
North Elevation as Proposed
1 : 100



East Elevation as Existing
1 : 100



West Elevation as Existing
1 : 100



East Elevation as Proposed (No Change)
1 : 100



West Elevation as Proposed
1 : 100

6. Mitigation and Conservation Strategy

The proposed conversion of **101 New Street, Huddersfield**, prioritises **heritage preservation** while ensuring the site remains **functional and sustainable**. The project has been designed to **minimise impact on the historical significance** of the building and its surroundings.

The **building's façade will remain unchanged**, ensuring that its historical character within the **Huddersfield Town Centre Conservation Area** is preserved. Existing **brickwork and shopfront features** will be **retained and restored** where necessary, using **heritage-appropriate materials**. **Original window styles will be maintained**, with **single-glazed windows upgraded to double glazing** while ensuring the visual integrity of the building is not compromised.

Improved insulation and energy-efficient heating systems will be installed to enhance the building's environmental performance while maintaining heritage integrity. The **replacement of windows with high-performance double glazing** balances **energy efficiency with conservation needs**, reducing heat loss while respecting traditional design.

7. Climate Change Mitigation Strategy

The proposed development at **101 New Street, Huddersfield** incorporates **sustainable building practices, energy efficiency measures, and climate resilience strategies** to

minimise its environmental impact. The project aligns with **Kirklees Council's Climate Change Guidance, Local Plan Policies, and Building Regulations (Part L - Conservation of Fuel and Power)**.

Reducing energy demands beyond building regulations by incorporating improved insulation in walls, floors, and ceilings, enhancing thermal efficiency and reducing heating demand. Energy-efficient LED lighting installed throughout the new studio flats to minimise electricity consumption. **Smart energy meters** to help residents monitor and optimise their energy use. **Natural ventilation and passive cooling strategies** to reduce the need for air conditioning.

Upgrading existing single-glazed windows to double-glazed units, reducing heat loss and improving thermal comfort while using **heritage-sensitive materials. Adaptive reuse of an existing building**, significantly reducing **embodied carbon emissions** associated with demolition and new construction.

No additional parking spaces, encouraging a **car-free lifestyle. Provision of secure cycle storage** to promote **active travel. Location within Huddersfield town centre**, offering **excellent public transport links** (bus stops and train station within walking distance). **Low-emission heating and energy systems** to reduce **air pollution** in line with **Policy LP51 (Air Quality and Climate Mitigation)**.

8. Conclusion

The proposed development at **101 New Street**, represents a **sustainable adaptation** of a historically significant building. The project carefully balances **heritage preservation, housing market demand, and climate-conscious urban development**, ensuring that the site remains a **viable and valuable part of Huddersfield's town centre**.

The **upgrading of windows to double glazing** will enhance **energy efficiency** while respecting the **conservation area guidelines**. The proposal ensures **no significant alterations to the external façade**, preventing any negative impact on the **Huddersfield Town Centre Conservation Area**.

From a **housing and urban regeneration perspective**, this project **addresses the growing demand for student accommodation**, supporting the **University of Huddersfield** and contributing to the **local economy**. The **conversion of underutilised commercial storage space into four high-quality studio flats** increases **town-centre housing supply**, reducing vacancy rates and revitalising the area. The development aligns with **Kirklees Council's Housing Growth Strategy** and supports their **wider urban renewal initiatives**.

From a **climate change and sustainability perspective**, the project integrates **modern energy efficiency upgrades**, including **insulation improvements, low-carbon heating, and sustainable transport measures**. The adaptive reuse of the existing building significantly **reduces embodied carbon emissions**, aligning with **national and local climate action policies**. Additionally, the **proposal contributes to Kirklees Council's commitment to carbon reduction**, supporting **climate resilience and responsible urban growth**.

In compliance with **national planning policies (NPPF), Kirklees Local Plan Policies, and Huddersfield Town Centre Conservation Area guidelines**, this project represents a **best-**

practice example of sustainable urban regeneration. It ensures **long-term conservation, modern functionality,** and **economic viability** while meeting the **needs of both current and future generations.**

This proposal represents a **balanced, forward-thinking approach to urban development,** ensuring that **101 New Street continues to contribute positively to Huddersfield's rich architectural and social landscape.**