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01 Introduction



Figure 01_Photos from Listing showing 11 St Helens Gate, Almondbury, Huddersfield

This Design & Access Statement has been prepared by Kirklees Council, Place Directorate in support of an application for essential improvement works at No 11 St Helens Gate, Almondbury, Huddersfield HD4 6SD and accompanies a Full Planning/ Listed Building Application.

01

Introduction

01 Introduction

No 11 St Helens Gate

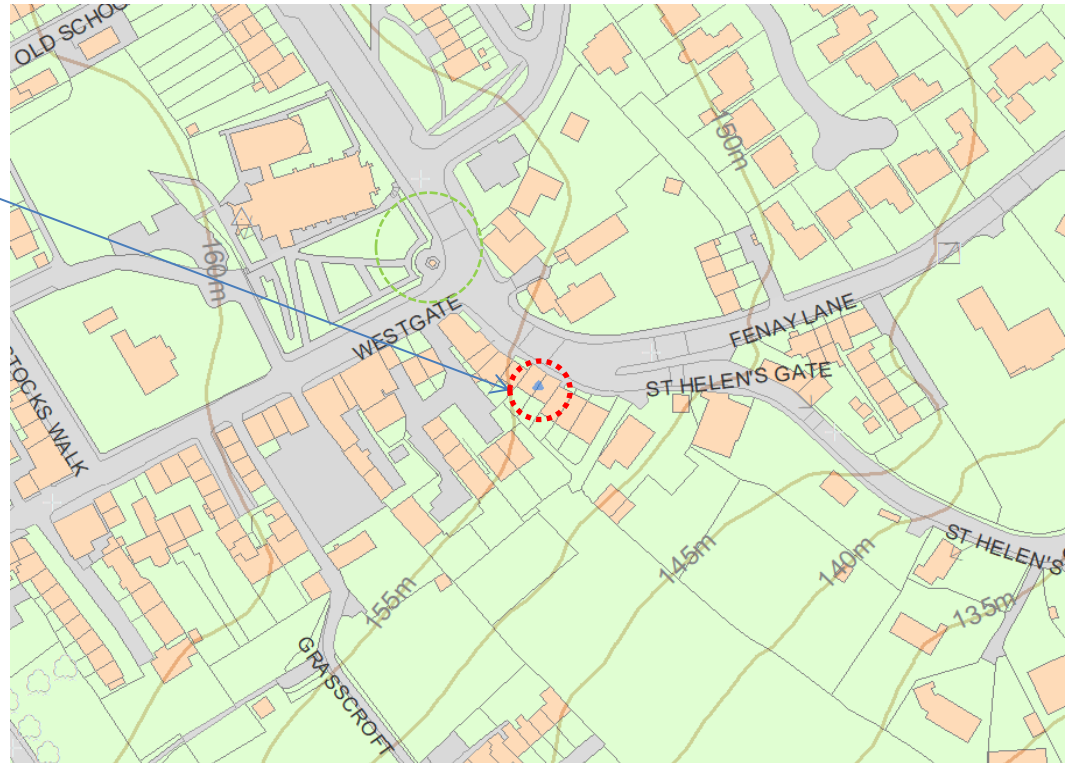


Figure 02_Aerial photo showing location of grade II listed residential property

There is existing pressure on KHN to balance rental income from rented residential properties across the authority whilst at the same maintaining them in a good state of repair.

This grade II listed property at 11 St Helens Gate, Almondbury has been identified to have a number of building fabric defects which has recently made it unfit for habitation and future social sector rental until essential works are carried out effectively.

02 Location



Figure 03_Aerial view showing location of 11 St Helens Gate, Almondsbury, Huddersfield.



Image 1
Wet Rot decay was visible in skirting boards

Image 2
A leak was suspected to be occurring from the chimney stack



Image 3
A leak was suspected to be occurring from the chimney stack

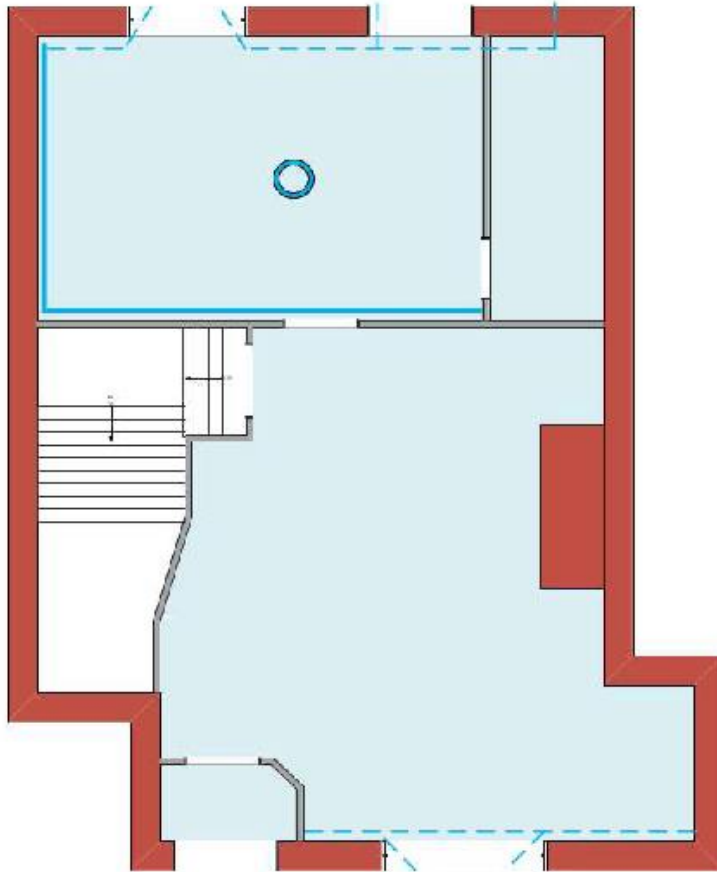
Image 4
Ceilings were damaged by leaks



The specialist surveys carried out at the property identified a requirement for the following areas of works:

1. Essential damp proofing works
2. Essential timber treatment works
3. Essential Flooring repair works

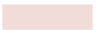
INDICATORS				Not to scale
ALLDAMP™ membrane wall damp proofing system to the full height of the wall		ALLDAMP™ membrane wall damp proofing system and insulation board to the full height of the wall		
ALLDAMP™ solid floor replacement system		ALLDAMP™ ceiling replacement		

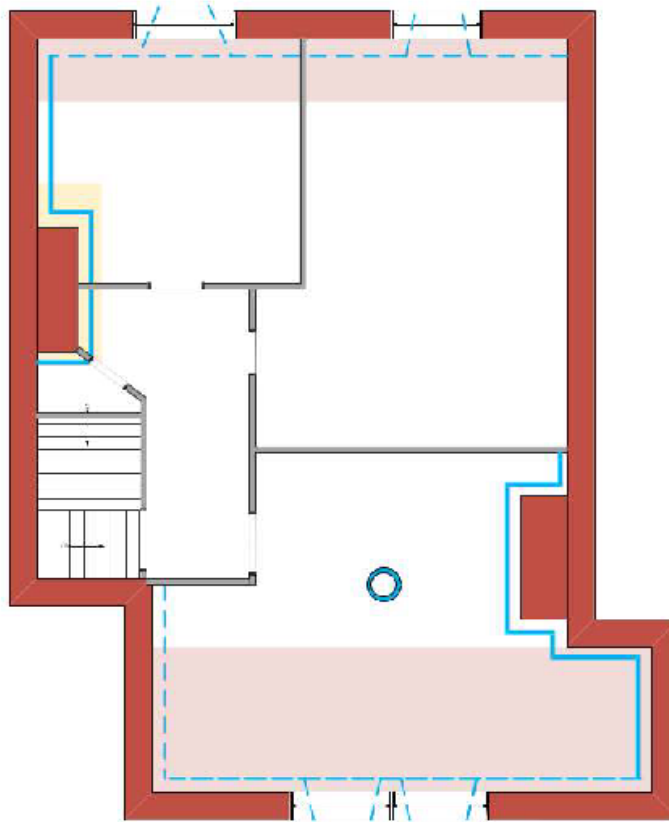


GROUND FLOOR (NOT TO SCALE)

03

Design – proposed works

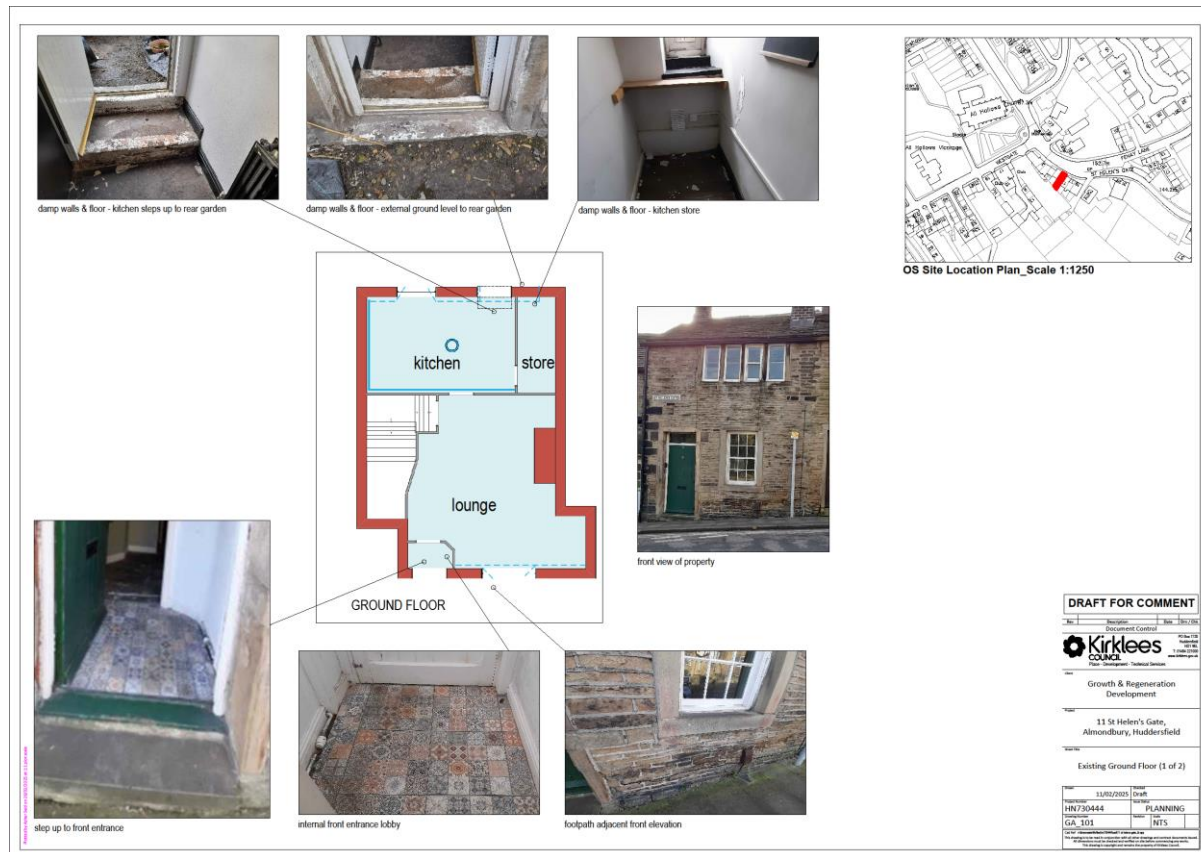
INDICATORS				Not to scale
ALLDAMP™ membrane wall damp proofing system to the full height of the wall		ALLDAMP™ membrane wall damp proofing system and insulated board to the full height of the wall		
ALLDAMP™ ceiling section replacement		ALLDAMP™ insulated board to the ceiling slopes		
ALLDAMP™ ceiling replacement		ALLDAMP™ wall damp proofing system to a height of 1.0m		



FIRST FLOOR (NOT TO SCALE)

03

Design – proposed works



The works to the property at No 11 St Helens Gate include essential damp treatment / internal wall / floor tanking, wall panelling, ceiling & panelling repairs, electrical rewiring, secondary glazing, replacement kitchen, redecorations. Externally a bathroom fan duct / grille installation and ground drainage improvements to the rear of the property by means of a French drain system or similar to prevent damp into the external walls.

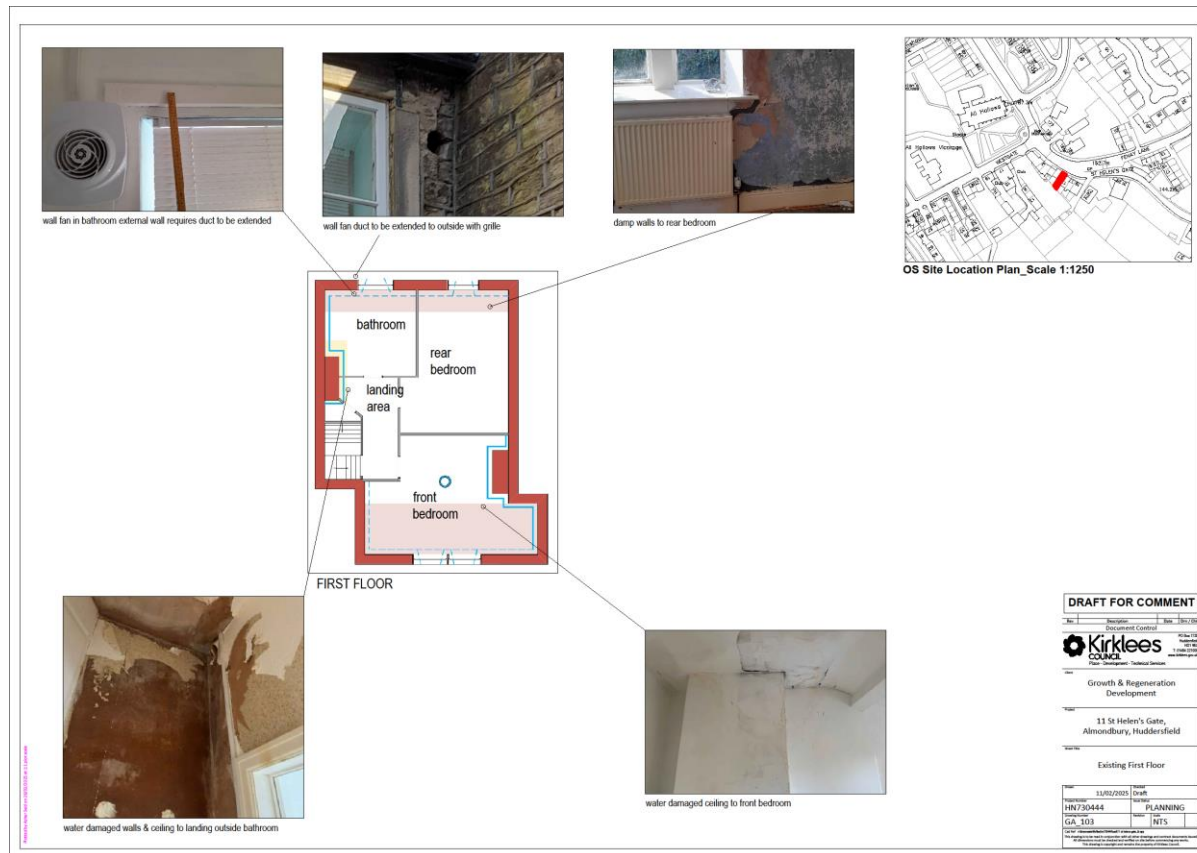


Appearance

The damp proofing / tanking works on the ground floor will be hidden from view as they are internal and therefore not visible from any public highways or footpaths.

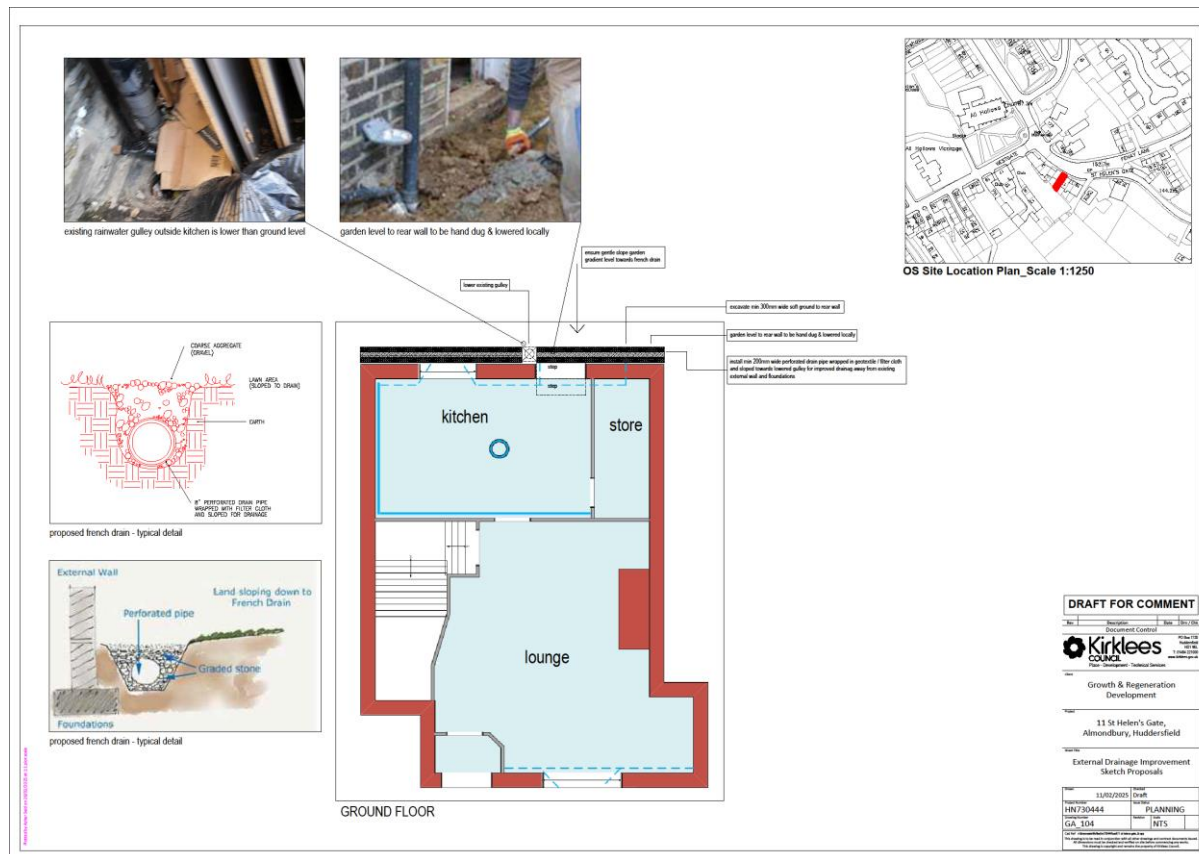
03

Design



Appearance

The wall plastering works on the first floor will be hidden from view as they are internal and therefore not visible from any public highways or footpaths. The bathroom duct / grille proposals will be visible external but is to the rear of the property and therefore not visible from public areas.



Rear Garden Drainage Improvements

The ground drainage improvements to the rear of the property will require some localised excavation of soft built-up ground for installation of a French drain. This work does not require the removal any soft landscaping.

Layout

The existing internal and external layout of the property will remain unchanged as result of the proposed improvement works which is Grade II listed as detailed in the Heritage / Listing information in Section 07.

Scale

The proposed alterations and refurbishment works to the property will not affect the scale of the existing building. Neither will it affect the adjacent or surrounding buildings.

04 Access & Parking

There is currently no car parking associated with this residential property and there are no proposals to provide any due to the size and location of the property with no rear access and a frontage directly adjacent to the public footpath along St Helens Gate.

Access

There is no space nor rear access for any car parking provision.

05 Environment

The proposed development will have a minimal or no effect on the immediate and local environment. Appropriate checks and consultation confirms there is no need for further biodiversity surveys in connection with this application.

Landscaping

It will not be necessary to remove any soft landscaping to the rear garden of the property.

Light Pollution

There are no proposals for external lighting as part of these proposals.

Land Contamination

The likelihood of ground contamination caused by the development is very low. Existing contaminated areas will be unaffected by the development.

Flood Risk Assessment

The site is not within a flood zone recognised by the Environment agency and therefore a flood risk assessment is not required. The proposed development however will have a minimal or neutral affect on the risk of localised flooding.

Noise Pollution

The proposed works will cause no noise pollution. Secondary glazing is proposed to reduce sound impact to future the residents as well as improving thermal efficiency of the building.

06 Conclusion

This Design and Access Statement suggests that the proposed internal and external works would have minimal impact upon the existing environment, appearance and the immediate built-up area, whilst retaining and improving existing residential accommodation for continued social housing rental.

Design

All the proposed alterations to the building will be done using complimentary / sympathetic materials and the design of the timber panelling will replicate the existing and painted to match. All efforts will be made to reduce the visual impact of the works proposed and the aesthetic of the building proposals will be in-keeping with the existing property and adjacent housing.

Documents to be read/referred to in conjunction with this Design and Access Statement:

- **Drawings as submitted**
- **GA_101 – internal ground floor proposals lounge**
- **GA_102 – internal ground floor proposals kitchen / larder**
- **GA_103 – internal first floor proposals bedrooms, bathroom & landing**
- **GA_104 – external drainage improvement proposals to rear garden**

07 Heritage



Grade:II

List Entry Number:**1231784**

Date first listed:**29-Sep-1978**

List Entry Name:**9 AND 11, ST HELENS GATE**

Statutory Address:**9 AND 11, ST HELENS GATE**

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

C18 or early C19. Hammer dressed stone. Pitched stone slate roof. 2 storeys. One 4-light stone mullioned sash and one 2-light stone mullioned window on 1st floor. One sash with glazing bars and one casement on ground floor. No 9 has planked loading door on 1st floor.