

PLANNING APPLICATION FOR 2
DWELLINGS WITH INTEGRAL
GARAGING, NEW VEHICULAR
ENTRANCE, DROP KERB AND
ASSOCIATED EXTERNAL WORKS

LAND ADJACENT TO
6 ROWLEY HILL
FENAY BRIDGE
HUDDERSFIELD
HD8 0JF

ON BEHALF OF

SELECT DEVELOPMENTS LTD

DESIGN AND ACCESS STATEMENT
INCORPORATING AN HERITAGE STATEMENT

DATED: FEBRUARY 2025

SUBMITTED BY NORTHERN DESIGN PARTNERSHIP
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1.0 – THE SITE

1.01 - The site is an irregular section of land located between the houses at 4 and 6 Rowley Hill. See Site Location Plan, Image 1, below.

1.02 – The site rises from the South from Rowley Hill up towards the North and the development known as The Meadows.

1.03 – The site is vacant and has no restrictive land designation.

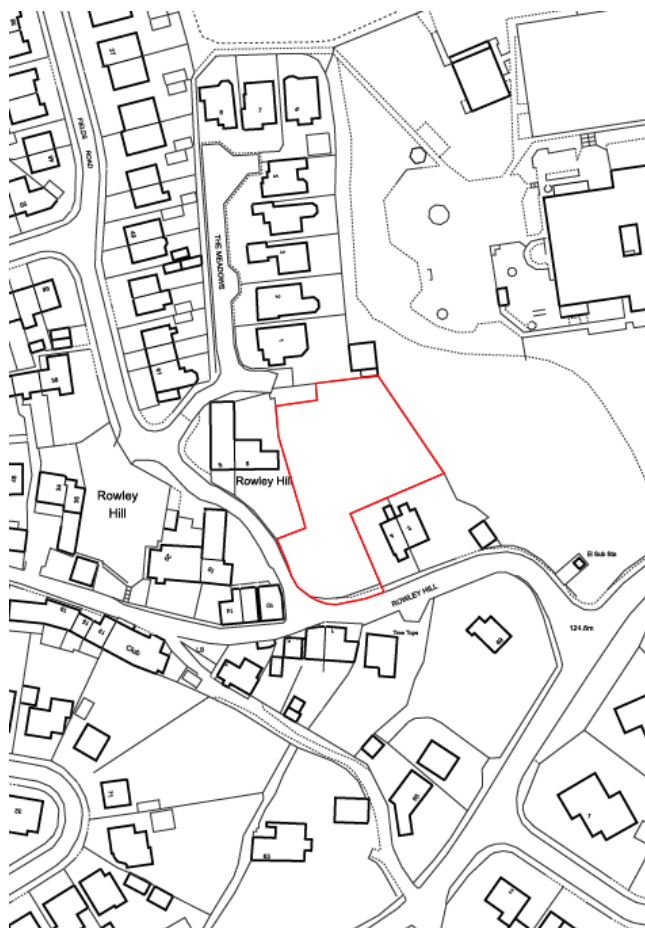


Image 1 – Site Plan – Application site is in Red

1.04 – The site is also in a well-established residential area, close to all amenities including shops, schools and bus routes.

2.0 – SITE PLANNING HISTORY

2.01 – There is no recent planning history to the application site.

3.0 – PROPOSALS

3.01 - The proposals are to erect two detached dwellings with integral garages served from a new vehicular access off Rowley Hill.

DENSITY

3.02 – The site is 0.17 ha or 1700sqm in area. A site of this size should generally accommodate more than 2 houses. However there are a number of reasons why 2 houses is appropriate in this location.

3.03 – Firstly the site has an irregular shape and the topography is not conducive to additional properties.

3.04 – Secondly the neighbouring properties at Nos. 6 and 8 Rowley Hill are grade II listed. The properties are located to respect this listing, following the linear pattern along the site. Nos. 6 and 8 remain visible along Rowley Hill with the proposed houses ensuring an unobstructed view.

3.05 – Thirdly, the highways situation does not lend itself to an increased number of dwellings. The new junction will provide adequate sight lines and will not compromise highways safety.

LAYOUT

3.06 – As mentioned in 3.04, the houses are located to respect the neighbouring properties.

3.07 - The houses have been located to make use of the site orientation and topography. The properties face South East to make use of the sun and solar gain for renewables.

3.08 - The site arrangement promotes an open layout with spacious gaps between the two properties. The houses benefit from large gardens which assists in retaining an openness to the development.

EXTERNAL APPEARANCE

3.09 – The houses are very much designed to sit comfortably within the setting. The proposals are for linear forms with simply window arrangements in bays to echo the neighbouring houses.

3.10 – The proposals demonstrate a stepped roofline to each dwelling. This again references No 6 adjacent. The rooflines are also designed to respect the listing of the neighbouring house.

3.11 – The proposals will be constructed with sympathetic materials, with natural coursed local stone and blue slate roofs.

4.00 - HERITAGE STATEMENT

4.01 – The neighbouring properties at 6 and 8 Rowley Hill are Grade II listed buildings. The listing states;

‘ Pair of houses possibly formerly one dwelling. Late C18. Hammer dressed stone. Quoins. Stone Slate Roof (turned). Gable copings on cut kneelers. Two Storeys. 3 bays of 3 light windows between which are 2 entrances, the left of which is later, and the left ground floor window has been altered to two lights’

4.02 – Much consideration was given to the status of 6 and 8 Rowley Hill during the design process. The Plot 1 design is deliberately stepped down as it nears the boundary to No.6. The roof is reduced to single storey to reflect that on the neighbouring house. The main roof to Plot 1 is some 780mm lower than No.6 , and the single storey roof is over 2.0m lower.

4.03 – The design of Plot 1 is deliberately linear, with 2 and 3 bay window lights to reflect that at 6 and 8. The natural angled boundary ensures Plot 1 and No. 6 have generous spaces between.

4.04 – The materials proposed for the two new properties are specified to respect the neighbouring properties. The walls will be constructed of coursed natural stone, with the roofs being natural blue slate. The proposed dwellings will also include ashlar stone details such as head and sills to the windows.

5.0 - POLICY AND SPD GUIDELINES

4.01 - The site is not within a restricted planning location (e.g Green belt or Conservation Area). The site is in a sustainable location, a short distance from Lepton and Fenay Bridge which benefit from a wide range of local amenities. In short the site conforms with both The National Planning Framework and the Kirklees Local Plan.

4.02 - The site layout and houses are designed in line with the Kirklees SPD guidelines. The houses are spaciouly set out, with the site maintaining a generous green frontage.

4.03 - There are no 'space about dwelling' issues the proposed houses are good distances from boundaries. Any neighbouring properties are well in excess of distance guidelines for overlooking or window relationships.

5.0 – TREES AND ECOLOGY

5.01 – There are no mature trees that affect the development.

5.02 - The application is accompanied by the appropriate Ecology Reports prepared by Quants Environmental. The site plan reflects the requirements to satisfy the 10% Biodiversity Net Gain guidelines.

5.03 – Please note that the Bio-Diversity assessment is based on the fact that the applicant is building Plot 2 for himself and his family. The house will retain all the site other than the immediate boundaries to Plot 1. Therefore Plot 2 and the site area that remains, once Plot 1 is accounted for, will qualify as a self- build. Please refer to Images 2 and 3. The two plots are legally divided and will be under separate titles;

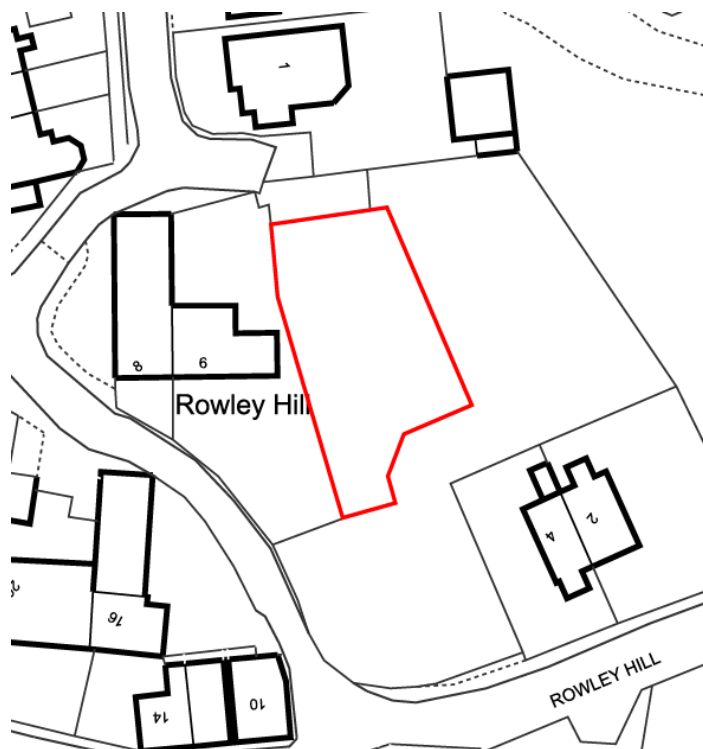


Image 2 – Plot 1 Title Plan

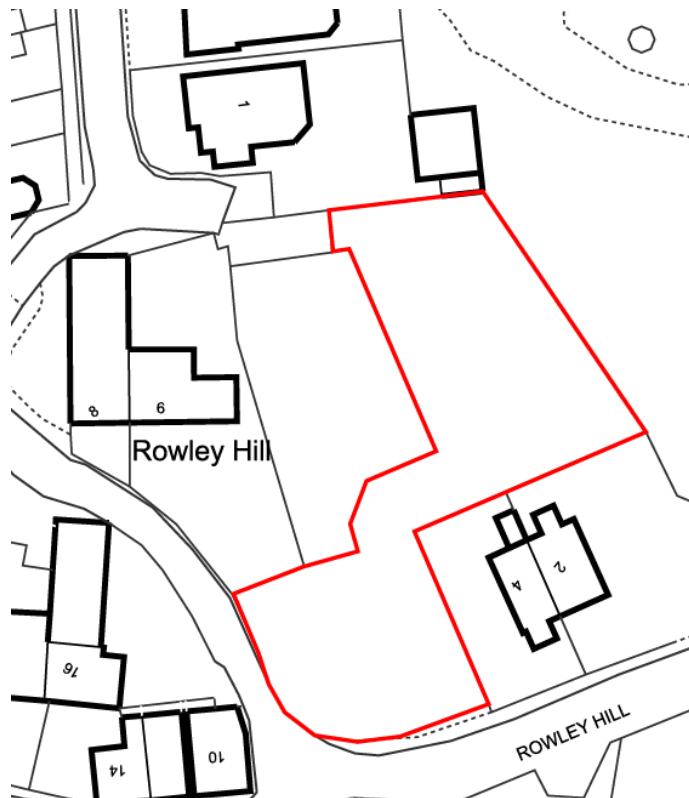


Image 3 – Plot 2 Title Plan – Self Build Area

6.0 - HIGHWAYS

6.01 – The application is supported by a highways report prepared by HDC Support Ltd, which covers all aspects relating to the proposals and highway safety. To summarise;

6.02 – Each dwelling has a driveway with parking for a minimum of 2 vehicles, along with generous garaging.

6.03 – Each house will have a car charging point.

6.04 – Each house has a bin store area, and there will be a bin collection point at the front of the site, as indicated on the plan.

6.05 – The entrance design and sightlines are appropriate, and emergency vehicle access is in line with guidelines.

7.0 – CLIMATE CHANGE STATEMENT

7.01 - In the construction of the houses conditions can be included to cover;

- a). Insulating the property to exceed the current building regulations.
- b). Car charging points will be installed to both properties for electric vehicles.
- c). Install some form of renewable energy to achieve and surpass the SAP and EPC requirements.

7.02 - The houses are in a sustainable location, with amenities including schools, supermarkets, post office, and public houses all within 1/2 mile. The site is close to main bus routes.

8.0 - CONCLUSION

8.01 - The proposals provide 2 family homes that site comfortably within the site.

8.02 - Due the size of the site, the houses will maintain very good sized gardens and amenity space, leaving a spacious and open appearance.

8.03 - Accompanying highways and ecology reports provide additional justification.

8.04 – The proposals do not impact detrimentally on highways safety.

8.05 - We therefore trust that Kirklees MC can support these proposals and add to the Kirklees housing stock.