

Proposed South West
(Rear) Elevation

The current house:

Is not a building containing one or more flats, or a flat contained within such a building
 Was constructed between 1 July 1948 and 28 October 2018
 Has not already had additional storeys added to it
 Is not on Article 2(3) land* or a site of special scientific interest
 Was not changed to be used as a house (from a previous non-residential use) under permitted development rights.

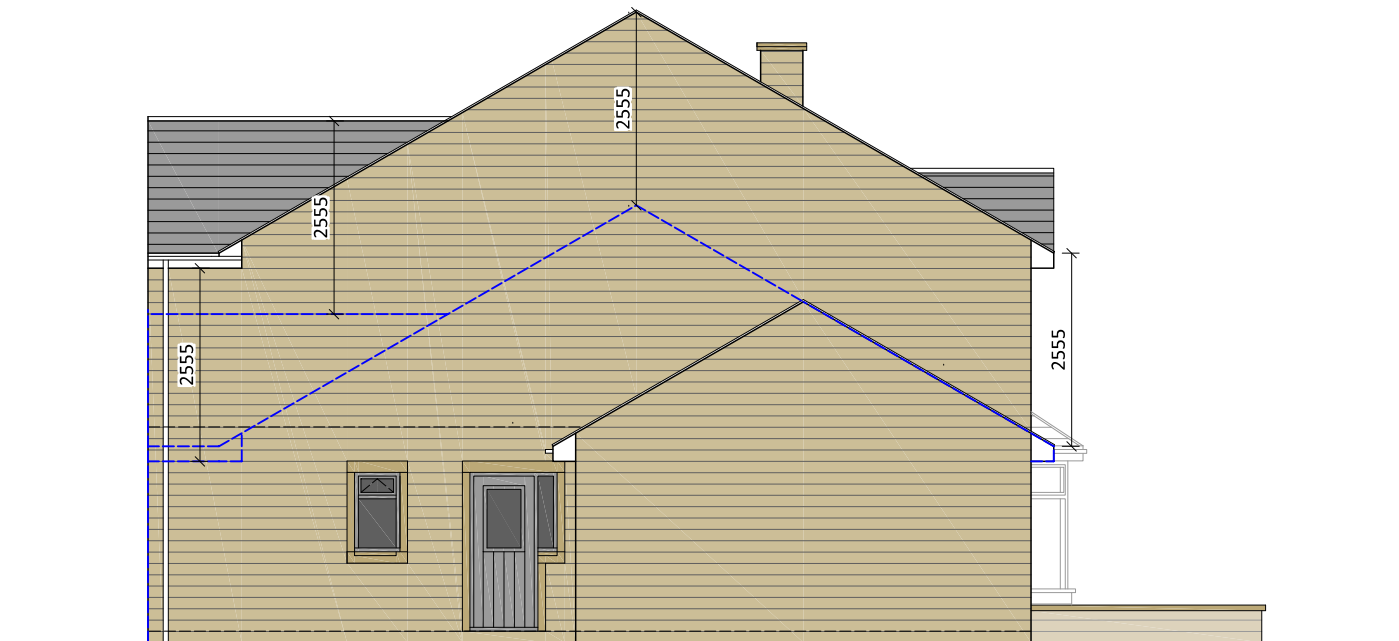
Limitations on the proposed development:

Number of additional storeys:

One storey can be added to a single storey house
 Two storeys can be added if the house has more than one storey.

Height increases:

The house cannot exceed 18 metres in total height
 Each added storey cannot add more than 3.5 metres to the total height
 If not detached (e.g. terrace or semi) the total height cannot be more than 3.5 metres higher than the next highest building that the house is attached to, adjoins, or is in the same row as.
 The additional storeys must be constructed on the principal part* of the house
 The additional storeys must not exceed 3 metres in height or the height of any existing storey in the principal part* of the house (measured internally from floor to ceiling)
 Engineering operations must only include works within the existing curtilage of the house to strengthen existing walls and foundations
 The materials used must be of a similar appearance to those used in the construction of the exterior of the current house
 Windows must not be placed in any wall or roof slope forming a side elevation of the house.



Proposed South East (Side) Elevation

REV	DATE	AMENDMENT	BY	CHKD

PROJECT:	Holmlea, The Knowle, Shepley, Huddersfield			
CLIENT:	Mr. James Bradley			
DRAWING:	Proposed Elevations 1			
DRAWN BY:	DB	CHECKED BY:	GG	CREATED: 02/12/2024
				SCALE: 1:100 @ A3
STATUS:	Developed Design		DRAWING No:	REVISION:
			1499/P1-201	