

ORANGE DESIGN STUDIO.

THE RESIDENTIAL SPECIALISTS

HERITAGE STATEMENT PACK
102, EAST VIEW, THURSTONLAND

WE DESIGN.

WE MANAGE.

WE BUILD.

ORANGE DESIGN STUDIO.

a taste of ORANGE.

Orange is a young, visionary and award winning architectural design studio. Which is based on the high street of Mirfield, in the heart of Yorkshire. The practice was formed in 2012.

Lead by designer, Jake Hinchliffe, The practice has built it's reputation on engaging with clients briefs and turning their thoughts into amazing, well crafted, homes and spaces.

They have built a commercial reputation amongst many professionals in the construction industry for delivering technically challenging projects, in some cases making the impossible, possible.

Orange have a real passion for working alongside likeminded clients on residential projects to create fantastic homes and spaces for people to reside and enjoy.

From their creative design studio, Orange has full capabilities for handling projects of different sizes, ranging from bespoke home extensions, bespoke residential commissions, and creative housing developments.

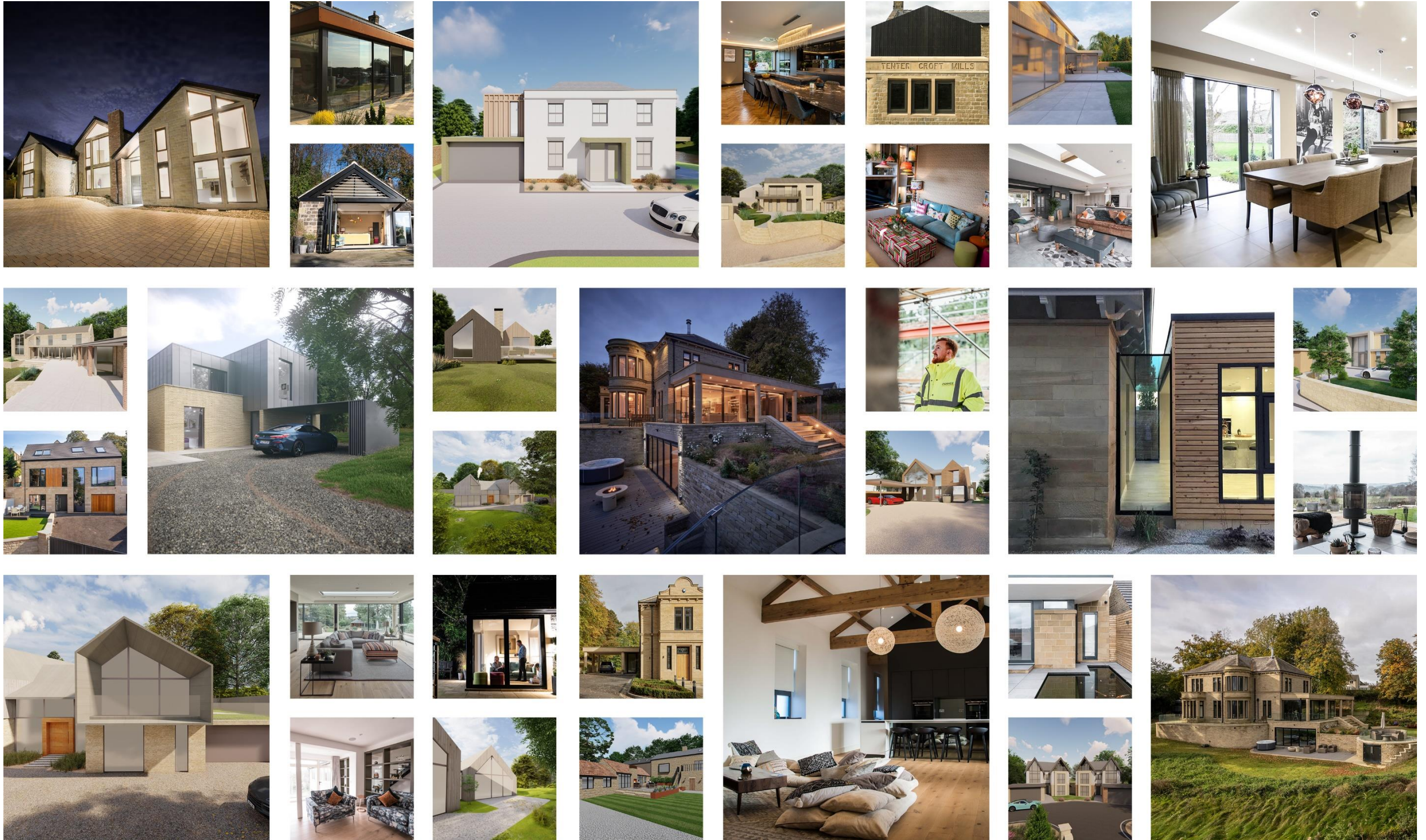
The studio environment has an open company culture with a focus on client service and teamwork.



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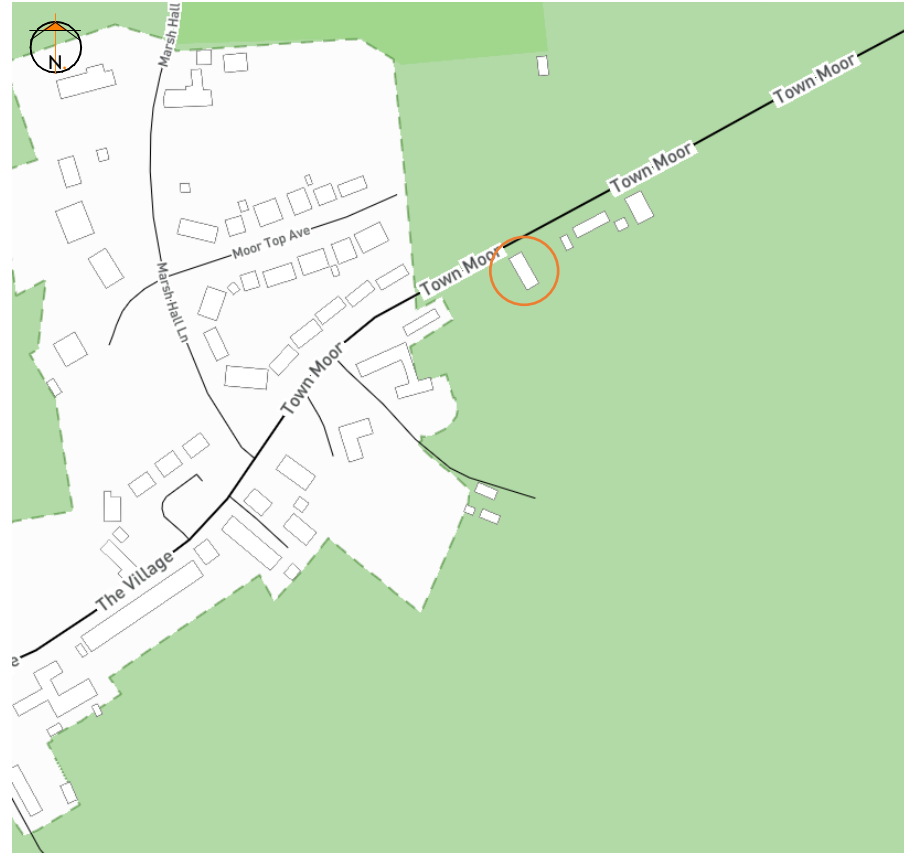
INTRODUCTION.



This heritage statement has been prepared for the proposed development of 102, East View, Thurstonland, HD4 6XF, United Kingdom, (Formerly 102 and 104 East View) to develop the site for a double storey rear extension and erection of porch, with associated internal and external alterations to the existing property.

This statement has been prepared using a combination of site information, local plan information and historical maps.

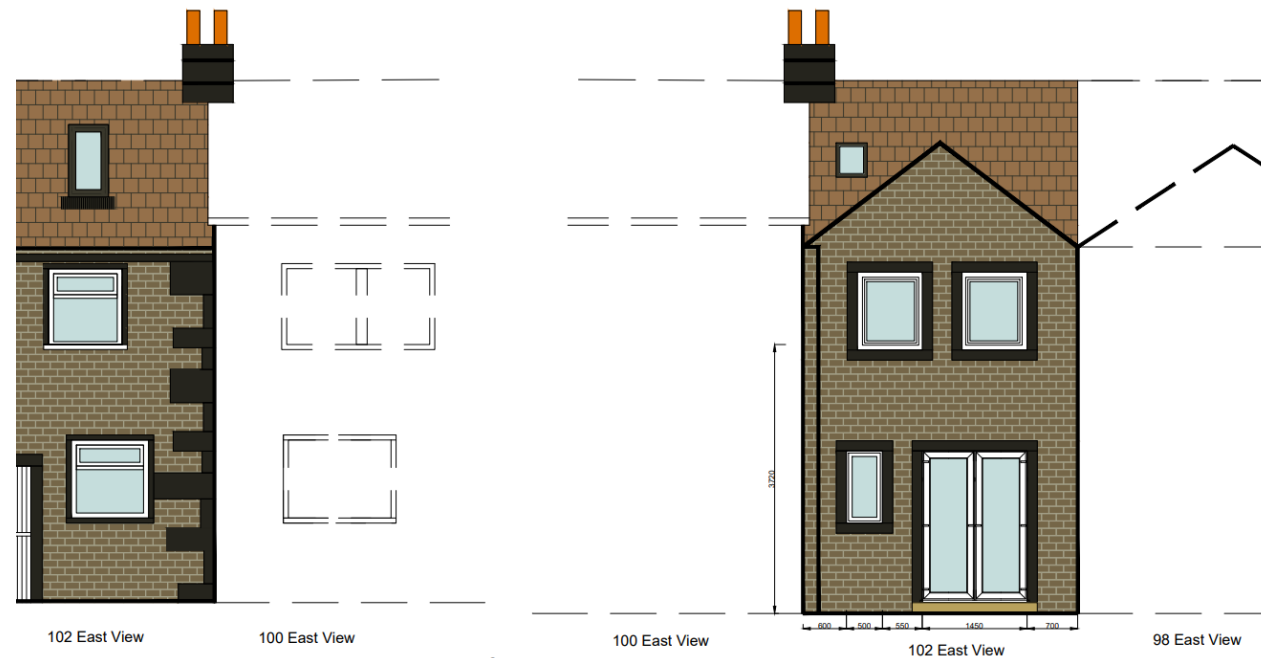
THURSTONLAND GREEN BELT.



The site is within South-East Kirklees Green Belt under the adopted Kirklees District Local Plan.

THIS AREA CONSISTS OF RIVER VALLEYS, LARGE AREAS OF COUNTRYSIDE AND DISTINCTIVE SETTLEMENTS. THE GREEN BELT IS VERY EXTENSIVE IN THIS AREA OF KIRKLEES, ALLOCATED TO SAFEGUARD THE COUNTRYSIDE, PRESERVE THE CHARACTER AND SETTING OF VILLAGES AND TO STOP UNRESTRICTED SPRAWL.

PLANNING HISTORY AT FORMER 102 EAST VIEW.



The new proposed extension will be of a similar construction to the neighbouring property (104 East View), and we will tie into this also. The roofs will incorporate a lead valley flashing to ensure water is dispersed correctly. The proposed extension will incorporate similar materials to the existing property to harmonise the proposed with the existing.

Project: - 102 East View, Thurstonland, HD4 6XF
Sheet Title: - Proposed Elevations
Sheet Number: - E0102EV - BR-03
DATE 27/03/2019 1:50
Mark Hellewell - BSc MH Architectural Management Services t: 07710540271 m: markhellewell@orange.com

2019/91094 – ERECTION OF TWO STOREY REAR EXTENSION (WITHIN CONSERVATION AREA) - APPROVED

Planning was previously approved for the erection of a double-storey rear extension, to allow for a more usable kitchen/dining area and an additional bedroom on the first floor.

EXISTING PROPERTY AT 102 EAST VIEW – (EXTERNAL PHOTOGRAPHS).



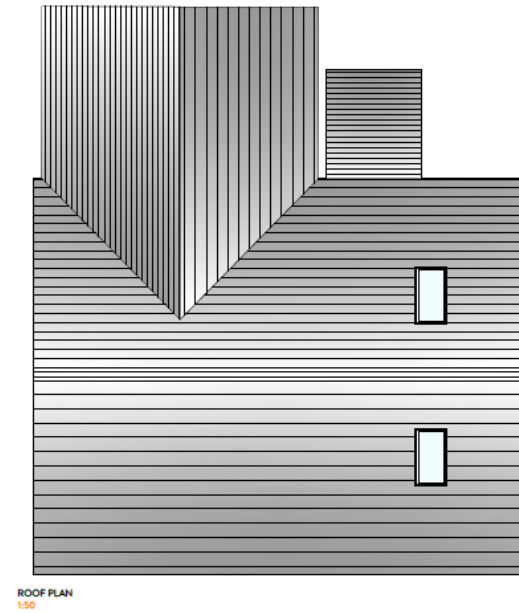
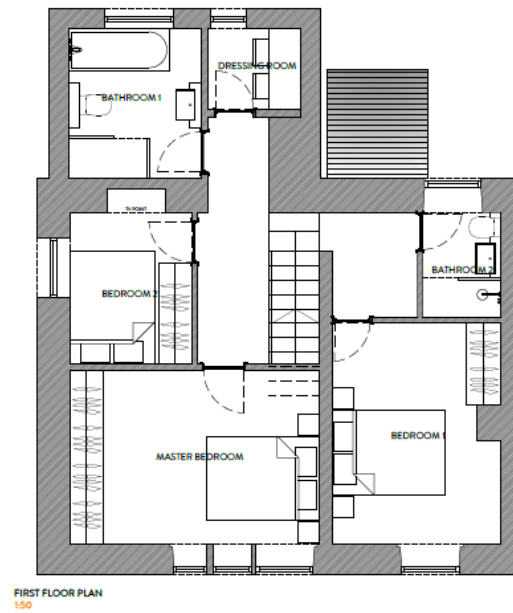
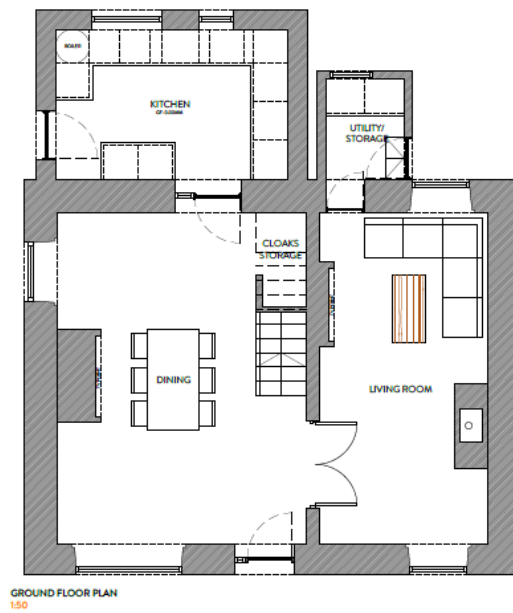
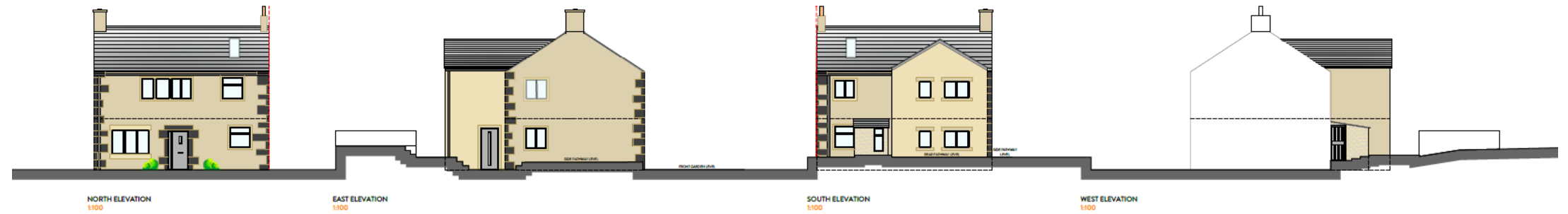
THE PROPERTY IS LOCATED TO THE EAST OF THURSTONLAND, WITHIN A CONSERVATION AREA AND GREEN BELT. THIS IS SHOWN ON THE KIRKLEES LOCAL PLAN MAP. THE EARLIEST RECORDS OF THE PROPERTY DATES BACK TO THE 1890'S.

THE EXISTING PROPERTY CONSISTS OF TWO COTTAGES, IN A BLOCK OF THREE.

TOWARDS THE SOUTH-WEST OF THE BLOCK OF COTTAGES, 104 COTTAGE HAD A TWO-STOREY REAR EXTENSION COMPLETE, PROJECTING OUT 3 METERS FROM THE ORIGINAL HOUSE. THIS EXTENSION HAS USED SYMPATHETIC MATERIALS, WHICH ARE INNKEEPING WITH THE ORIGINAL HOUSE AND NEIGHBOURING PROPERTIES.

THE OTHER COTTAGES ON EAST VIEW HAVE HAD SIMILAR FORMS OF EXTENSION WORKS ALREADY COMPLETE.

EXISTING PLANS AND ELEVATIONS.



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EXISTING MATERIAL PALETTE.

THE EXISTING COTTAGE IS BUILT WITH COURSED STONE AND WEATHER STRUCK POINTING. THE UPVC WINDOWS ACCOMPANIES STONE HEADS AND CILLS. THE WEATHERED COURSED STONE IS VERY INCONSISTENT IN SIZES, RANGING FROM 80MM TO 150MM. THE ROOF IS OF A STONE FLAG CONSTRUCTION. THE EXISTING SINGLE-STOREY EXTENSION IS A CEMENT BASED RENDER, WHILST THE DOUBLE-STOREY EXTENSION MATCHES THE COURSED STONE OF THE ORIGINAL HOST PROPERTY.

1



COURSED STONE WALLS

Used on the walls of the original dwelling and reclaimed coursed stone used on the existing extension.

2



STONE FLAG ROOF

Used on the roof of the original dwelling and existing extension.

3

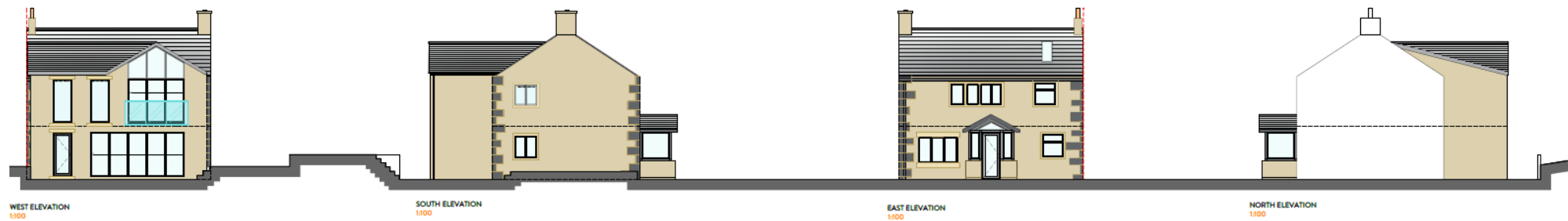


CEMENT BASED RENDER

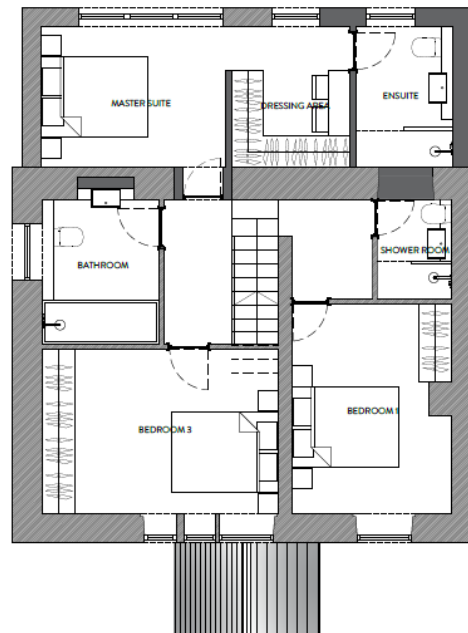
Used on the walls of the existing single-storey rear extension.

FINAL PROPOSAL PLANS AND ELEVATIONS.

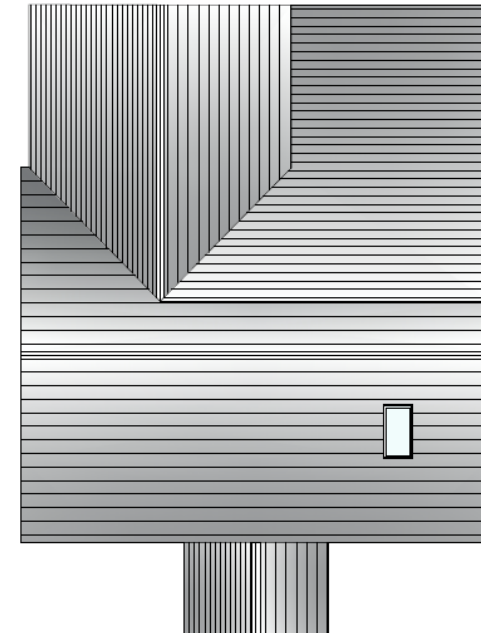
PROPOSED DESCRIPTION - DOUBLE STOREY REAR EXTENSION, AND ERECTION OF PORCH, WITH ASSOCIATED INTERNAL AND EXTERNAL ALTERATIONS.



GROUND FLOOR PLAN
1:50



FIRST FLOOR PLAN
1:50



ROOF PLAN
1:50

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PROPOSED MATERIAL PALETTE.

THE PROPOSED WORKS WILL BE OF SIMILAR CONSTRUCTION AND AESTHETIC OF THE EXISTING DOUBLE STOREY EXTENSION, FOR THE PURPOSE OF VISUAL AMENITY AND RETAINING THE PROPERTIES HISTORICAL CHARACTER. BLACK ALUMINIUM SIDING WILL BE USED ON THE FRONT PORCH TO GIVE THE COTTAGE A CONTEMPORARY AESTHETIC, CONTRASTING EFFECTIVELY WITH THE HOST PROPERTY.

1



RECLAIMED COURSED STONE WALLS

To be used on the walls of the proposed rear extension.

2



STONE FLAG ROOF

To be used on the roof of the proposed rear extension.

3



GLASS BALUSTRADE

To be used on the first floor master suite of the proposed extension.

POLICY LP24 AND IMPACT.

DESIGN - “GOOD DESIGN SHOULD BE AT THE CORE OF ALL PROPOSALS IN THE DISTRICT AND SHOULD BE CONSIDERED AT THE OUTSET OF THE DEVELOPMENT PROCESS, ENSURING THAT DESIGN FORMS PART OF PRE-APPLICATION CONSULTATION OF A PROPOSAL. DEVELOPMENT BRIEFS, DESIGN CODES AND MASTERPLANS SHOULD BE USED TO SECURE HIGH QUALITY, GREEN ACCESSIBLE, INCLUSIVE AND SAFE DESIGN, WHERE APPLICABLE. WHERE APPROPRIATE AND IN AGREEMENT WITH THE DEVELOPER SCHEMES WILL BE SUBMITTED FOR DESIGN REVIEW.”

“A. The form, scale, layout and details of all development respects and enhances the character of the townscape, heritage assets and landscape.”

“C. Extensions are subservient to the original building, are in keeping with the existing buildings in terms of scale, materials and details and minimise impact on residential amenity of future and neighbouring occupiers.”

IN LINE WITH KEY DESIGN PRINCIPLE 1 (LOCAL CHARACTER AND STREET SCENE) OF THE KIRKLEES SPD, AND POLICY LP24 DESIGN (A) AND (C) OF THE LOCAL PLAN, THE PROPOSED DESIGN OF THE DOUBLE STOREY REAR EXTENSION COMPLEMENTS THE EXISTING PROPERTY, STREET SCENE OF TOWN MOOR LANE AND CHARACTER OF THURSTONLAND IN TERMS OF MATERIALTY, APPEARANCE, SCALE AND DESIGN. THE PROPOSED REAR EXTENSION MAINTAINS VISUAL COHESION WITH NEIGHBOURING BUILDINGS, AS THE PROPOSED REAR EXTENSION WILL MATCH THE EXISTING MATERIAL PALETTE, WITH THE USE OF RECLAIMED COURSED STONE FOR THE MAIN SHELL OF THE BUILDING AND STONE FLAG CONSTRUCTION FOR THE ROOF.

WE HAVE ALSO TAKEN THE OPPORTUNITY TO ENHANCE THE APPEARANCE OF THIS HISTORIC PROPERTY, BY REMOVING AN EXISTING UNSYMPATHETIC SINGLE STOREY REAR EXTENSION, CURRENTLY USED AS A UTILITY ROOM. THIS EXISTING UNSYMPATHETIC EXTENSION HAS BEEN BUILT USING A CONCRETE BASED RENDER – MATERIALS THAT VISUALLY RETRACT AWAY FROM THE HISTORICAL CHARACTER.

POLICY LP35 AND IMPACT.

HISTORIC ENVIRONMENT- “PROPOSALS SHOULD RETAIN THOSE ELEMENTS OF THE HISTORIC ENVIRONMENT WHICH CONTRIBUTE TO THE DISTINCT IDENTITY OF THE KIRKLEES AREA AND ENSURE THEY ARE APPROPRIATELY CONSERVED, TO THE EXTENT WARRANTED BY THEIR SIGNIFICANCE, ALSO HAVING REGARD TO THE WIDER BENEFITS OF DEVELOPMENT”.

“A. Ensure that proposals maintain and reinforce local distinctiveness and conserve the significance of designated and non-designated heritage assets.”

“B. Ensure that proposals within Conservation Areas conserve those elements which contribute to their significance.”

OUR DESIGN PRESERVES AND ENHANCES THE CHARACTER OF THE CONSERVATION AREA WHILE RESPECTING THE HISTORICAL SIGNIFICANCE OF THE EXISTING BUILDING. THE PROPOSED WORKS HAVE BEEN DESIGNED WITH CAREFUL CONSIDERATION OF THE HERITAGE VALUE OF THE EXISTING DWELLING AND ITS SURROUNDINGS. THE PROPOSED EXTENSION MAINTAINS THE ORIGINAL CHARACTER AND DOES NOT DETRACT FROM THE SIGNIFICANCE OF THE PROPERTY OR THE CONSERVATION AREA. RECLAIMED STONE AND STONE FLAGS WILL BE USED TO RESPECT THE HISTORICAL CONTEXT.

OUR DESIGN IS VERY SYMPATHETIC, UNLIKE THE EXISTING SINGLE-STOREY EXTENSION ALREADY ON SITE. OUR SELECTION OF MATERIALS ARE APPROPRIATE AND SYMPATHETIC TO THE EXISTING BUILDING AND CONSERVATION AREA. RECLAIMED COURSED STONE WILL BE USED, WHICH ALIGNS WITH LOCAL ARCHITECTURAL STYLES AND TRADITIONS. THIS ENSURES CONTINUITY AND HARMONY IN DESIGN.

THE PROPOSED EXTENSION AND PORCH ENHANCES THE OVERALL CHARACTER OF THE CONSERVATION AREA. THE DESIGN IMPROVES THE STREETScape AND PROVIDES A BETTER ENTRANCE EXPERIENCE FOR THE PROPERTY, WHILE PRESERVING THE CHARACTER, RATHER THAN COMPETING WITH IT.

POLICY LP57 AND IMPACT.

“GREEN BELT - THE EXTENSION, ALTERATION OR REPLACEMENT OF EXISTING BUILDINGS IN THE GREEN BELT AREA.”

“A. Proposals to extend buildings which have already been extended should have regard to the scale and character of the original part of the building.”

“C. The proposal does not result in a greater impact on openness in terms of the treatment of outdoor areas, including hard standings, curtilages and enclosures and means of access.”

“D. The design and materials should have regard to relevant design policies to ensure that the resultant development does not materially detract from its Green Belt setting.”

THE PROPOSAL IS NEITHER PREJUDICE TO THE OPEN CHARACTER AND SETTING OF THE GREEN BELT OR DISPROPORTIONATE TO THE HOST PROPERTY AT 102 EAST VIEW. THE PROPOSED DESIGN HAVE BEEN CAREFULLY CONSIDERED TO MAINTAIN THE OPENNESS OF THE GREEN BELT. THE OVERALL SCALE AND MASSING IS MODEST AND PROPORTIONATE TO THE EXISTING DWELLING, ENSURING THAT IT DOES NOT DOMINATE THE SURROUNDING LANDSCAPE.

THE APPEARANCE OF PROPOSED WORKS ARE INKEEPING WITH THE ESTABLISHED CHARACTER OF THURSTONLAND. THE SELECTED MATERIAL PALETTE, DOES NOT DETRACT FROM THE THURSTONLAND GREEN BELT SETTING, BUT INSTEAD COMPLEMENTS THE AREA, WITHOUT ALSO OVERPOWERING THE COTTAGES CHARACTER.

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ARCHITECTURAL PRACTICE

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