

Kirklees Council
Planning and Development
PO Box 1720
Huddersfield
HD1 9EL

Date : 12.12.2024

RE : DISCHARGE OF CONDITIONS 2024/62/90616/W – LAND BETWEEN, BRADSHAW ROAD AND HONEY HEAD LANE, HONLEY, HOLMFIRTH, HD9 6EE

CONDITION 3 – ACCESS & PARKING

- Please see attached (70)001 REV A for access and parking provision (S184 to be submitted prior to dropped kerb installation)
- Street lighting location to be relocated as per (70)001 REV A in conjunction with Kirklees Street Lighting



- Light Beige Resin Bound Gravel
- To Driveway in line with landscape plan.

CONDITION 4 – PARKING

- Please see attached (70)001 REV A for access and parking provision
- 52 & 54 Honey Head Lane parking to remain as existing



- Light Beige Resin Bound Gravel
- To Driveway in line with landscape plan.

CONDITION 5 – TURNING FACILITY

- Please see attached (70)001 REV A for turning provision

CONDITION 6 – CONSTRUCTION MEANS OF ACCESS

- Please see attached Construction Means of Access REV A document and (70)005 REV A

CONDITION 7 – BIN STORAGE & COLLECTION

- Please see attached (70)002 for location of bin storage & presentation points



Timber Bin storage areas located to side elevation of dwellings

CONDITION 11- MATERIALS

- Please see below materials for the approved dwelling.
- Walling to be 140mm on face tumbled stone



- Roofing to be Artificial Stone Slate Tiles

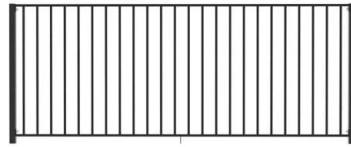


CONDITION 12- BOUNDARY TREATMENT

- Please see attached landscaping plans ((70)003 & (70)004) for boundary treatment location



Double Sided Planed Larch Slatted Panel Fence to side and rear boundaries
1.8 Meters High x 1.8 Meters Wide Post to Post



1M High flat top iron estate railing to site frontage of Plot One

Yours Sincerely,

Edward Gribbin

Architectural Designer

Orange Design Studio Limited