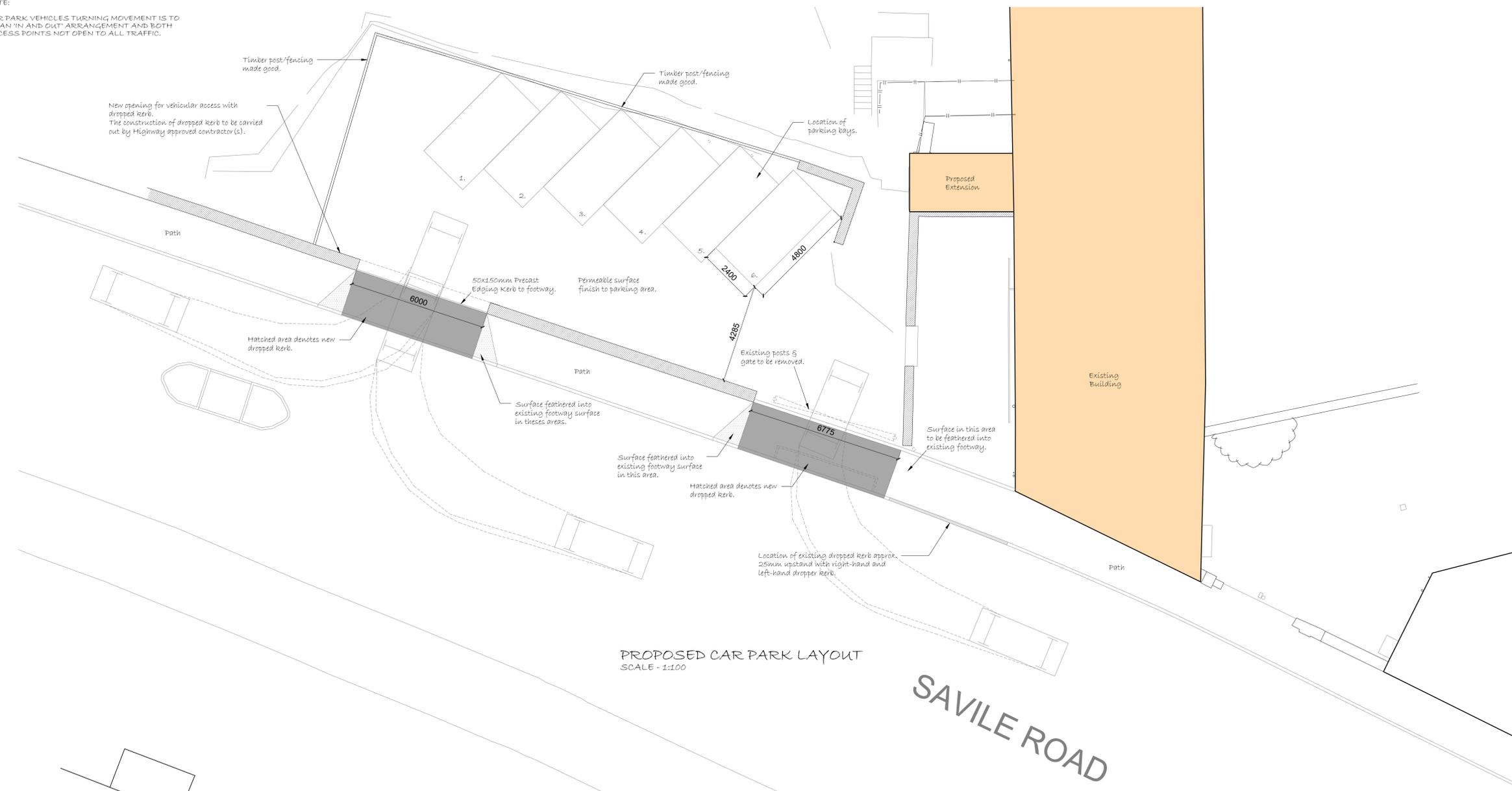


## NOTES

All efforts have been made in measuring existing site. However the contractor / builder is responsible for checking & confirming all given dimensions on site prior to pricing & works.  
Extent of boundary ownership confirmed by applicant.

**Proposal -**  
Application for the planning permission for the Proposed Single-Storey extension and external alterations to shopfront to front and side elevation including change of use of part vacant area into class E Restaurant/Cafe to meet end user requirements and as shown on the application plans.

HIGHWAY SAFETY REQUIREMENT -  
NO WAITING AT ANY TIME (SIGNAGE)  
RESTRICTIONS TO PROTECT THE SIGHTLINES FROM THE TWO ACCESS POINTS ONTO SAVILE ROAD.  
TRANSPORT REGULATION ORDER (TRO) AND YELLOW LINES TO HIGHWAYS REQUIREMENTS.  
**NOTE:**  
CAR PARK VEHICLES TURNING MOVEMENT IS TO BE AN 'IN AND OUT' ARRANGEMENT AND BOTH ACCESS POINTS NOT OPEN TO ALL TRAFFIC.



- 1) GENERAL BUILDING NOTES
- All works to be in accordance with Building Regulations, current editions and amendments and to the satisfaction of the Building Control Authority.
  - All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
  - All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc. and with the requirements of all relevant and current Statutory Authority regulations.
  - All structural calculations if required to be submitted by client appointed Structural Engineers and upgraded as necessary as works proceed to suit any clients requirements.
  - The contractor must ensure and will be held responsible for the stability of the building structure at all stages of the contract.
- 2) APPROVED DOCUMENT A STRUCTURE
- All structural details and calculations if required to be submitted for approval to Building Control Authority by client appointed Structural Engineer.

PLANNING ISSUE

Rev	Description	Date	By	App'd
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**tractus:dma**  
architectural design  
Stross House, Scout Hill Mills, Broad Street  
Dewsbury, West Yorkshire, WF13 3SA  
t: 01924 462 550 m: 07791 717 404  
e: asif@tractusad.co.uk

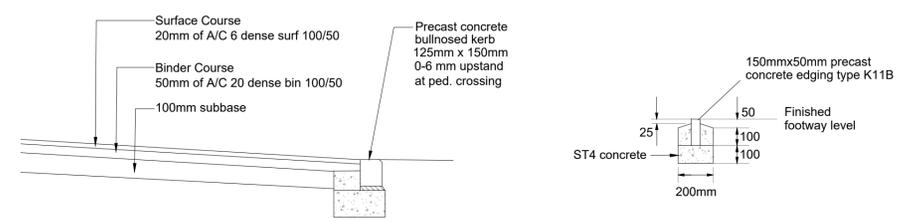
Client  
NAFEES BAKERS LIMITED

Project  
HEADFIELD MILLS, UNIT 19-20  
SAVILE ROAD, DEWSBURY

Drawing title  
PROPOSED CAR PARK LAYOUT

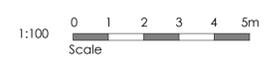
Drawn by	Date	App'd
AM	07/25	-

Drawing no	Project no	Scale @ A1	Rev
PL-04	23-918	1:100	-



TYPICAL PAVING SECTION  
1:20

150 x 50 EDGING DETAIL  
1:20



CDM 2015

RISKS

- RESTRICTED ACCESS TO SITE.
- SITE WELFARE REQUIREMENTS.
- SITE CLEARANCE.
- WORKING AT HEIGHT.
- INSTALLATION OF TEMPORARY AND RE-ROUTED SERVICES.
- HANDLING LOADS.