

NOTES

All efforts have been made in measuring existing site. However the contractor / builder is responsible, for checking & confirming all given dimensions on site prior to pricing & works.

Extent of boundary ownership confirmed by applicant.

Proposal -

Planning Application for - Change of Use/Conversion of vacant (former Public House) into 3Nr. Dwellings and 1Nr. New Build Bungalow to meet the applicant's requirements and as shown on the application plans.

Previous Use -

former A4 - Pub or drinking establishment (new class Sui Generis).

Proposed Use -

C3(a) - Dwellinghouse.

1) GENERAL BUILDING NOTES

- a) All works to be in accordance with Building Regulations, current editions and amendments and to the satisfaction of the Building Control Authority.
- b) All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
- c) All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc. and with the requirements of all relevant and current Statutory Authority regulations.
- d) All structural calculations if required to be submitted by client appointed Structural Engineers and upgraded as necessary as works proceed to suit any clients requirements.
- e) The contractor must ensure and will be held responsible for the stability of the building structure at all stages of the contract.

2) APPROVED DOCUMENT A STRUCTURE

- a) All structural details and calculations if required to be submitted for approval to Building Control Authority by client appointed Structural Engineer.

PLANNING ISSUE

Rev	Description	Date	By	App'd
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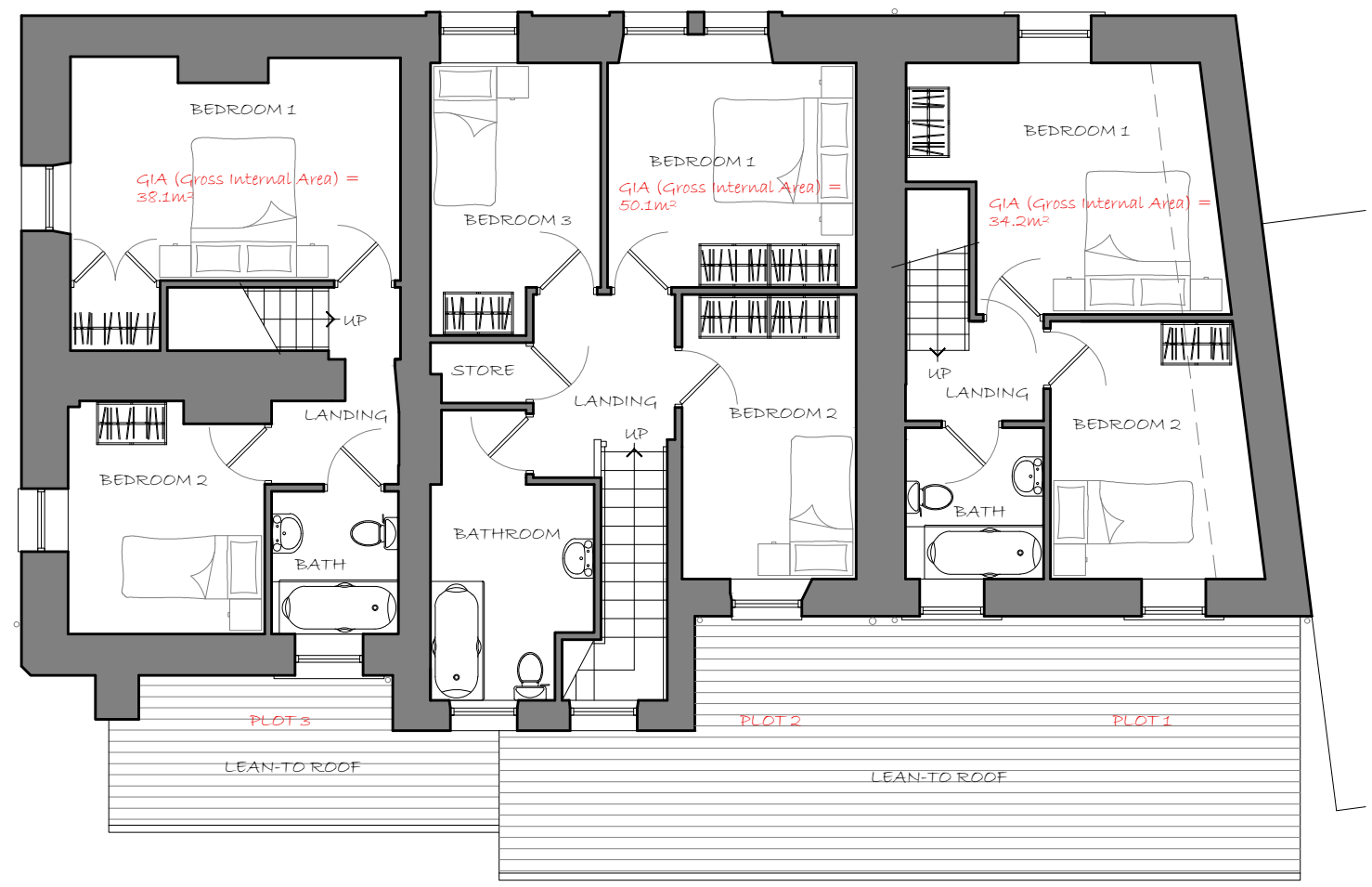
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architectural design

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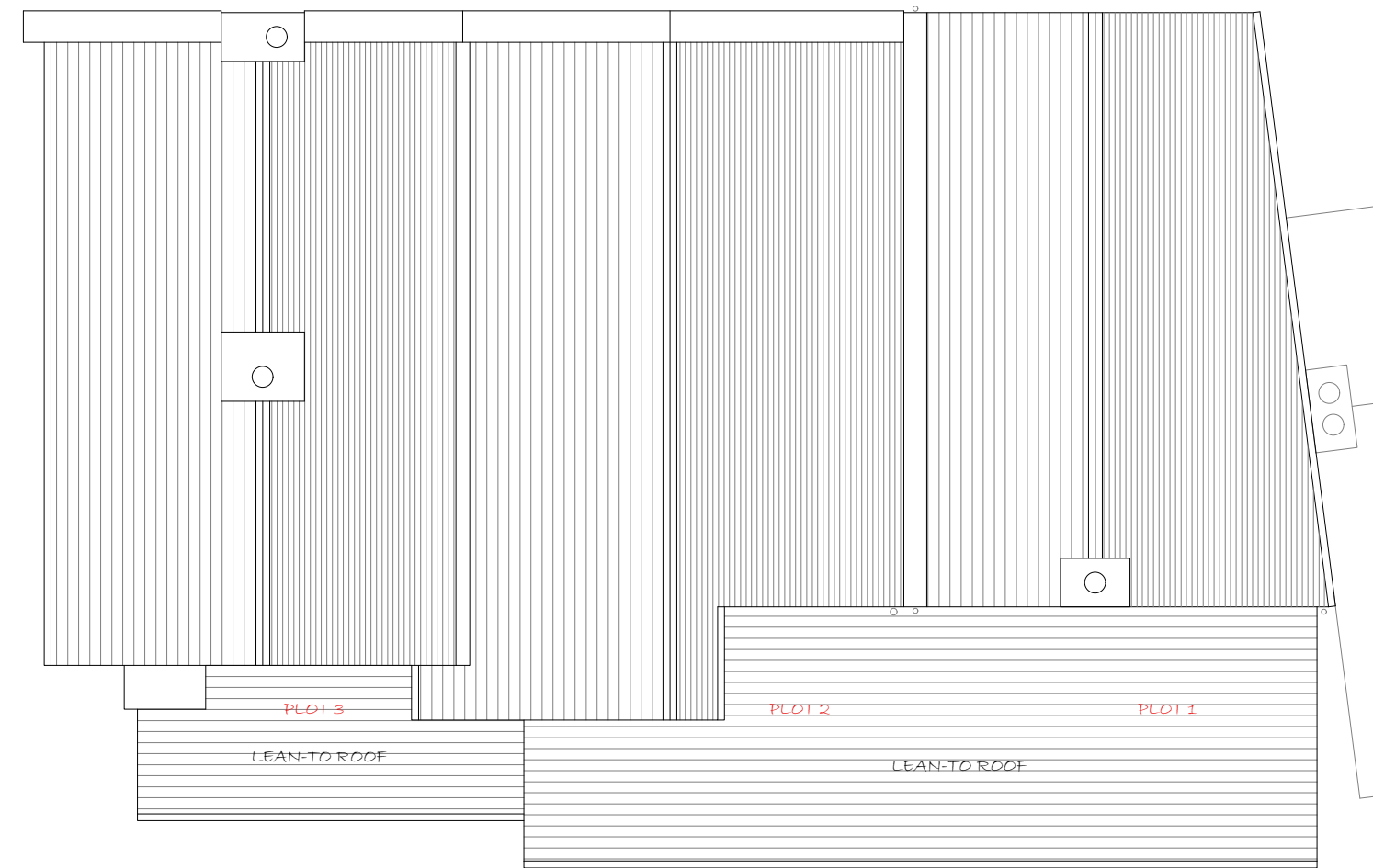
Client
Mr. M. Rodgers

Project
The White Hart
New Mill, Holmfirth

Drawn by AM	Date 03/24	App'd -
Drawing no PL-03	Project no 24-927	Scale @ A3 1:100
		Rev -



PROPOSED FIRST FLOOR PLAN
SCALE - 1:100



PROPOSED ROOF PLAN
SCALE - 1:100

- Materials As Proposed -
- Walls - Coursed stonework as existing.
 - Doors - Painted timber framed doorset(s).
 - Windows - upvc framed double-glazed units.
 - Roof - Stone slate to pitched roof, with stone slate/grey concrete tile to lean-to roof.
 - Guttering - Black upvc guttering and downpipes.

- CDM 2015
- RISKS
1. Working adjacent to live road/restricted access.
 2. Site welfare requirements.
 3. Site clearance.
 4. Temporary support/concrete works.
 5. Working at height.
 6. Installation of temporary and re-routed services.
 7. Handling loads.