



**BLACUP BECK CULVERT MAINTENANCE AND
MANAGEMENT REPORT For:**

‘CASCADE’ Westgate, Cleckheaton

Date: JULY 2024

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Date: 18/07/2024

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Date: 18/07/2024

Document History

Revision & Amendment Record			
Rev	Date	Revision Details	Revised by

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INTRODUCTION

1.1 General

This report has been provided to support a planning application for the development comprising of 180 No. new residential dwellings at Westgate, Cleckheaton, BD19 5DR. A discharge of conditions planning application has been submitted (ref: 2023/93077) from which a consultation response from the Lead Local Flood Authority at Kirklees Council has been provided. The consultation response for Condition 12 states *"the scheme shall include trash screen and safety screen requirements, and a detailed maintenance and management regime for the piped and open sections of the watercourse (and ancillary screens) in the form of risk assessment and method statement, culminating in an itinerary and schedule of tasks. No part of the development shall be brought into use until the watercourse works comprising the approved scheme have been completed. The maintenance and management regimes shall be implemented thereafter."*

The purpose of this management plan is to demonstrate how the culverted watercourse of Blacup Beck at this particular residential development will be maintained in compliance with various requirements and best practice guidance, including but not limited to, the National Planning Policy Framework (NPPF) and SuDS Manual (CIRIA, 2015).

The management plan aims to:

- Summarise the various drainage features used within the site;
- Establish who is responsible for the maintenance of the components;
- Set out how to maintain the incorporated components following construction;
- Ensure that all those involved in the maintenance and operation of the culverted watercourse and ancillaries understand their functionality and maintenance requirements in terms of supporting long-term performance.

Maintenance inspections should be recorded in Section 3.2 of this report to ensure that the document stays up to date.

1.2 Site Description

The proposed development consists of 180 No. new dwellings accessed by a proposed adoptable road from A643 Westgate, within the town of Cleckheaton.

The site is brownfield within which the last three buildings were demolished in early 2024 to make way for the development. There is an existing private road (Stone Street) that is used to access the site, which will be stopped up to construct the adoptable access road.

There are two access points on the culvert, one is a hole in the surface slab (presumed old industrial unit) without any sort of cover, approx. 20m downstream of the culvert inlet and the other is a brick culvert with a traditional cover which is approx. 10m from the culvert outlet. These will be referred to as Chamber 1 and Chamber 2 for the upstream and downstream access points, respectively.

The culvert is to be maintained by Meadfleet Open Space Management (Meadfleet) under a private management company agreement.

A plan showing the culvert to be maintained is shown in Appendix A.

MAINTENANCE AND MANAGEMENT REGIME

2.1 General

Only trained personnel will be permitted to undertake maintenance of the culverted watercourse and ancillaries where responsibility lies with Private Management Companies. This work must be carried out in accordance with the Confined Space Regulations.

Tables outlining the maintenance activities that should be undertaken for each feature, outlined in the following sections, in accordance with the SuDS Manual, CIRIA, 2015. These tables must be reviewed by the Meadfleet.

2.2 Inspections and Reporting

An initial pre-handover inspection will be required to ensure that the drainage elements have been constructed in accordance with the design.

All inspections and maintenance activities shall be carried out by staff with an appropriate level of experience in drainage maintenance. All inspections shall be recorded, and records kept for future reference.

During the first year of operation, inspections shall be carried out after significant storms, to ensure correct functioning of all components.

2.3 Culverted Watercourse

The existing culverted watercourse of Blacup Beck is to remain in place. It is made up of a brick section, a 750mm VC pipe and a 1.2m dia. concrete pipe. The two access points are to remain accessible for maintenance.

Details of the maintenance regime for the culverted watercourse are provided in the table below:

Maintenance Regime	Required Action	Typical Frequency
Regular Maintenance	Inspect and identify any areas which are not operating properly, take remedial action if required.	Monthly for 3 months, then annually
	Remove debris from the catchment surface where it might cause risk to performance.	6 Monthly
Remedial Actions	Repair/rehabilitate inlets, outlets, etc.	As required.
Monitoring	Inspect inlets, outlets, etc. to ensure correct operation in accordance with design and in good condition.	Annually
	Survey inside for sediment build-up and remove if necessary.	Every 5 years or as required.

Meadfleet will be responsible for the maintenance of the culverted watercourse within the site curtilage subject to the completion Private Management agreement.

2.4 Trash Screen to Inlet

A trash screen is to be installed on the inlet of the culverted watercourse. This is to be fixed to the brick section of the culvert and given the size of the structure (2.45m x 1.48m), a bespoke product will be required. A typical detail representative of the proposal is included within Appendix B.

Details of the maintenance regime are provided in the table below.

Maintenance Regime	Required Action	Typical Frequency
Regular Maintenance	Remove litter and debris.	Every 2 Months, or as required.
	Manage other vegetation and remove nuisance plants.	Monthly for 3 months, then as required.
	Inspect inlets for blockages, and clear if required.	Every 2 Months.
	Inspect banksides, structures, etc. for damage.	Every 2 Months.
	Tidy all dead growth before start of growing season.	Annually.
	Remove sediment as necessary	Annually or as required.
Remedial Actions	Repair erosion or other damage by rebuilding as specified within the design.	As required.

Meadfleet will be responsible for the maintenance of the trash screen to the inlet of the culverted watercourse subject to the completion of a Private Management agreement.

2.5 Headwall and Safety Screen to Outlet

A headwall with a safety screen is to be installed on the existing 1.2m dia. concrete pipe, which is the outlet of the culverted watercourse. A typical detail representative of the proposal is included within Appendix C.

Details of the maintenance regime are provided in the table below.

Maintenance Regime	Required Action	Typical Frequency
Regular Maintenance	Remove litter and debris.	Every 2 Months, or as required.
	Manage other vegetation and remove nuisance plants.	Every 2 Months at start, then as required.
	Inspect outlets for blockages, and clear if required.	Every 2 Months.
	Inspect banksides, pipework etc. for damage.	Every 2 Months.
	Tidy all dead growth before start of growing season.	Annually.
	Remove sediment from outlets as necessary	Annually or as required.
Remedial Actions	Repair erosion or other damage.	As required.
	Repair outlets.	As required.

Meadfleet will be responsible for the maintenance of the traditional headwall and safety screen to the outlet of the culverted watercourse subject to the completion of a Private Management agreement.

CONTACT DETAILS AND RECORD OF MAINTENANCE

3.1 Contact Details of Individual Responsible for this Plan

In the event of concern over any matter related to the culverted watercourse, please contact:

Name	
Address	
Phone	
Email	

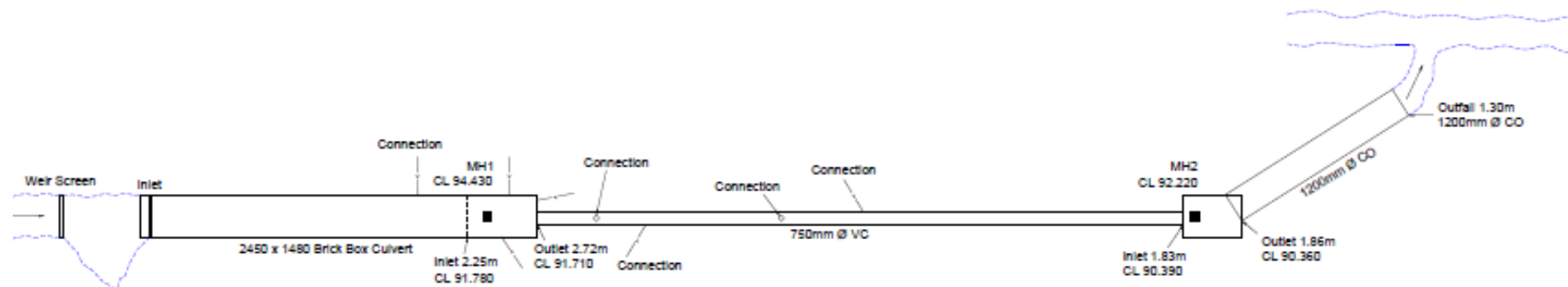
3.2 Record of Maintenance and Photographic Evidence

Please provide a record of all inspections (including all photographic evidence) below.

APPENDIX A – CULVERT PLAN & SECTION



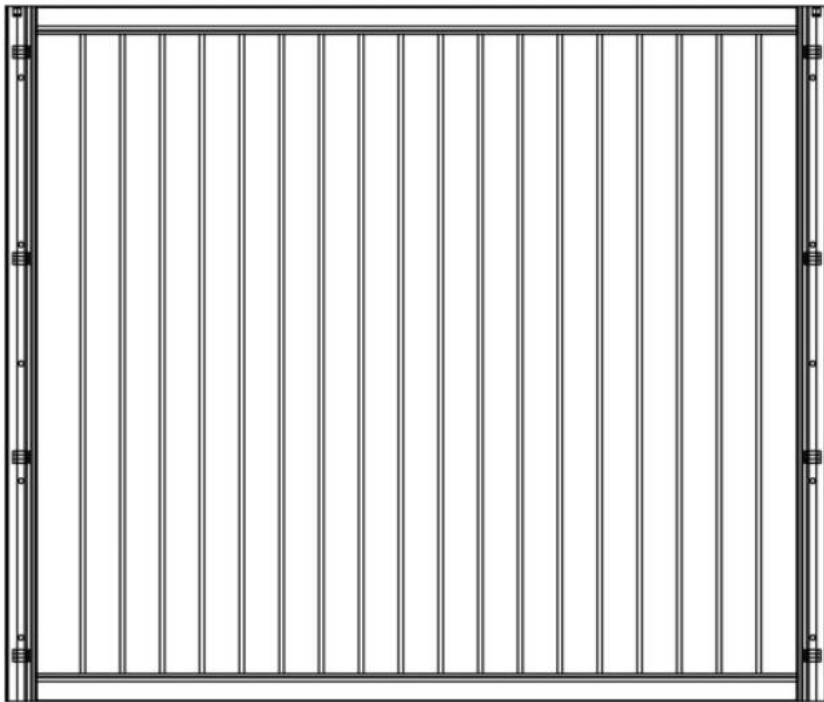
Plan View



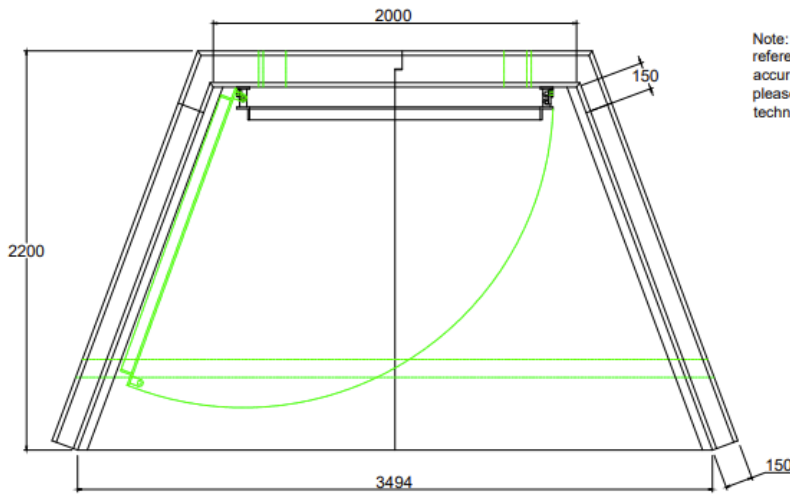
Section View



APPENDIX B – TYPICAL TRASH SCREEN DETAIL (FOR INLET)



APPENDIX C – TYPICAL HEADWALL WITH SATEFY SCREEN DETAIL (FOR OUTLET)



Note: Isometric drawing is for reference only, details may not accurately represent actual design - please see detailed views for technical information

