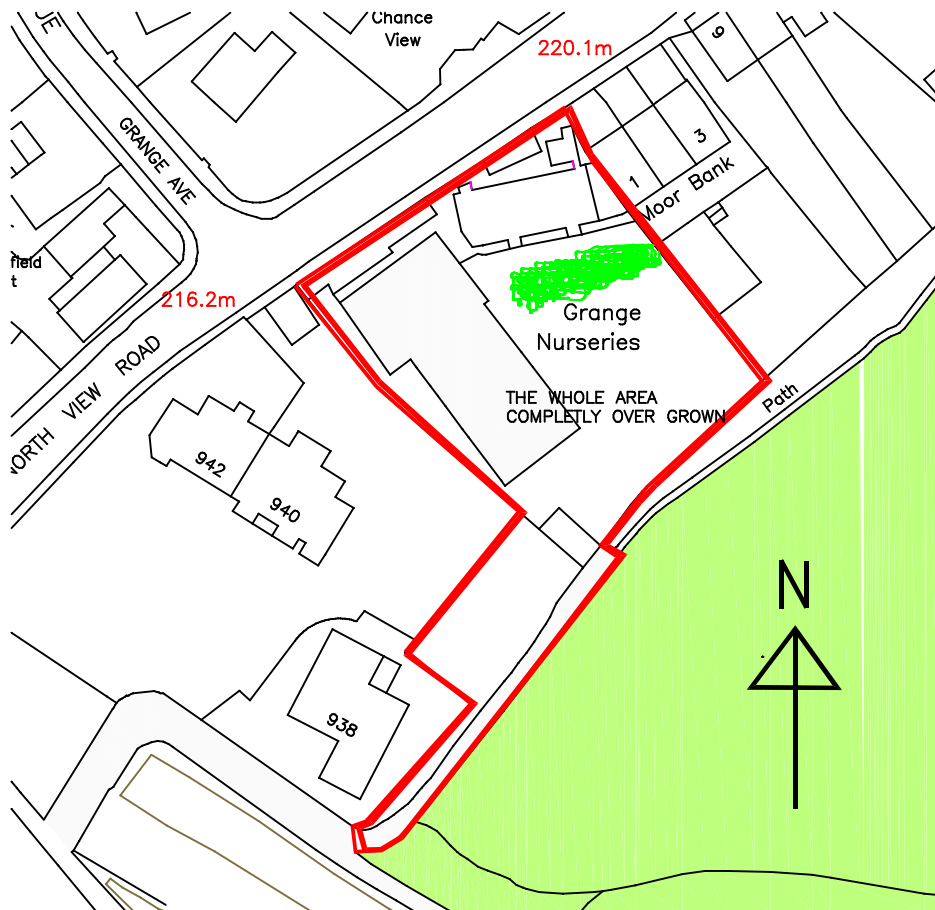


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PROPOSED REFURBISHMENTS TO BUNGALOW.
REMOVE OUTER BUILDINGS AND CART AWAY AS PER PLAN DETAILS.
EXCAVATION PROPERATION
GROUND LEVELS 300 BELOW EXISTING FLOOR LEVEL.
FOUNDATION FOR NEW BUILD
FRONT FACING PORCH,
END FACING EXTENSION,
TWO STOREY EXTENSION TO REAR GARDENS,
INTERNAL PREPERATION WORKS.
CHECK TIMBER FLOOR AND JOISTS REPLACE AS REQUIRED.
STRIP-OUT EXISTING BATHROOM CART AWAY.
PREPAIR FOR NEW BARHROOM SUITE,
REMOVE WALLS AND PREPAIR FOR INSTULATION OF NEW STAIR CASE.
PREPAIR OPENINGS FOR NEW DOORS AND FEATURED ARCH OPENINGS AS PER DETAILSON PLAN.
REMOVE NAILS AND PLASTER TO FULL CEILINGS
PREPAIR FOR 150X50 STRENGHEN JOIST TO UNDERSIDE OF EXISTING CEILING JOISTS FORMING NEW FLOOR AND CEILING.
ROOF VOID PREPERATION.
CHECK FOR STRUCTURAL WALLS PREPAIR FULL AREA FOR NEW REFURBISHMENT.
ALL INTERNAL WALLS TO BE CHECKED FOR DAMP PENERTRATION REMOVE AND REPLACE PLASTER AS REQUIRED
SERVICES
ELECTRIC. WATER, GAS, BROADBAND, TV, TO BE REPLACED AS PER REQUIREMENTS.
NEW KITCHEN AND BATHROOM TO GROUND FLOOR.
NEW ENSUITE X2 TO FIRST FLOOR..

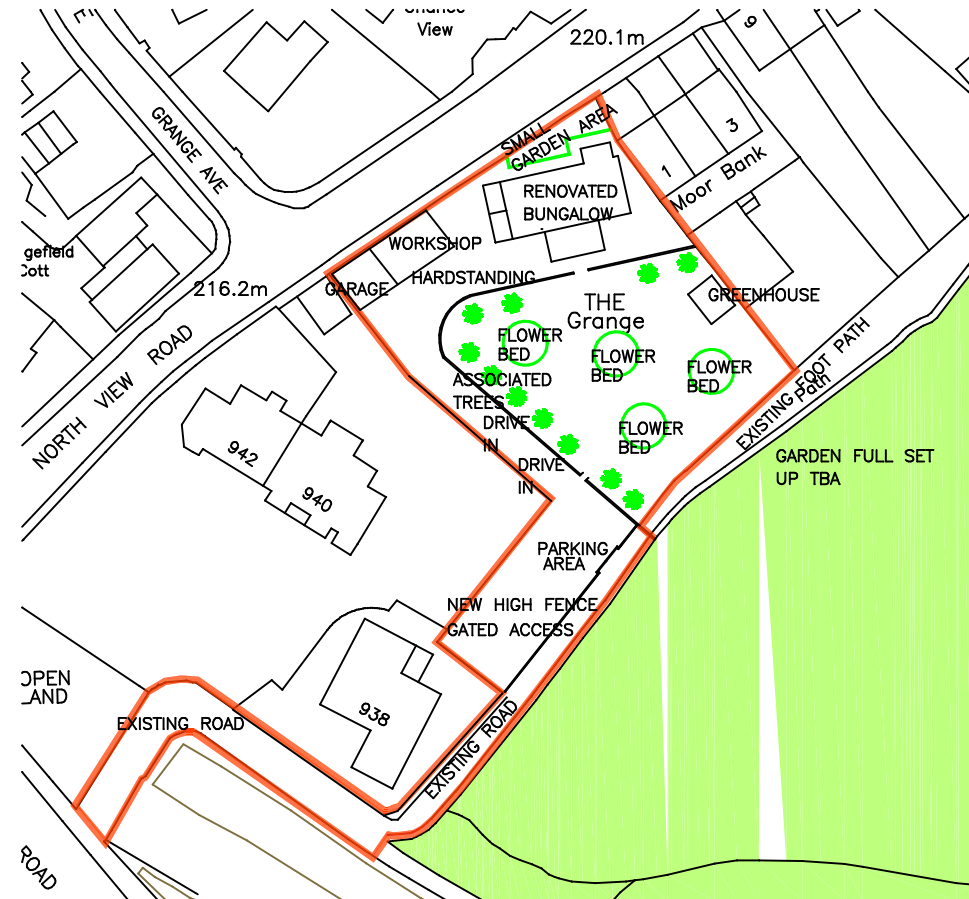
EXISTING YORK STONE ROOF TO BE REMOVED AND REPLACED WITH NEW BATTENS AND FELT.
PREPAIR OPENINGS FOR VELUXE ROOF LIGHTS
RENEW BARGE BOARDS TBA.
CHECK AND REPLACE RAIN WATER SYSTEM AND SVP AS REQUIRED.
ALL DRAINAGE TO BE CHECK REPLACED AND REMOVED AS PER REQUIREMENTS.

ALL CEMENT RENDERING TO BE INSPECTED FOR DAMP PENETRATION REMOVE AND REPLACED PREPARED FOR OUTER INSULATION/RENDERED MEMBRANE FIX TO EXISTING.
ALL EXISTING WINDOWS AND DOORS TO BE REMOVED AND REPLACED.

CONSTRUCTION
BUILT APPROXIMATLY IN THE 1800
FOUNDATION, HARDCORE BASE ,DRY WALL FOOTING, SOLID RED BRICK, CEMENT RENDERED OUTER SKIN, PLASTER FINISH INNER SKIN.
ROOF, YORKSHIRE STONE.
WINDOWS,DOORS AND PORCHES IN TIMBER AND UPVC, ALL IN MUCH NEED OF REPLACEMENT.
EXISTING GROUND LEVELS FINISHED ABOVE EXISTING AIR BRICKS TO FLOOR VOID.
ALL OUTER BUILDINGS WILL BE REMOVED IN THE NEW BUILD REFURBISHMENTS.
ALL AS COLOURED MARKED

WORK ON THE BUILDING WAS CARRIED OUT IN THE EARLY 1970 TO CONVERT THE BUILDING INTO TWO SEPERATE UNITS THE NEW OWNER WISHES TO REFURBISH THE ENTIRE BUILDING AND LAND AS PER PROPOSED PLANS.

AS PROPOSED
1=1000



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PROPERATION AND CONSTRUCTION OF ROAD FOR ACCESS TO REAR.
REMOVE EXISTING GARAGE AND CLAPSED STONE WALL AND TIMBER FENCING TO NEW PLOT PURCHASE, REPAIR AND REPLACE AS REQUIRED
PREPAIR TRACK ROAD AND PATH AS DETAILED TBA.

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USE OF THE APPROPRIATE MATERIALS.
ALL THE WORKS INVOLVED IN THE CONSTRUCTION.
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CLIENT	MR AND MRS S, O'BRIEN 34 THORNEDENE WAY, TONG, BRADFORD BD48NW.		
PROJECT	REFURBISHMENT OF BUNGALOW AT GRANGE NURSERIES WEST GATE HILL TONG BRADFORD BD4 6NS		
DETAIL	EXISTING AND PROPOSED BLOCK PLAN OF FULL AREA		
SCALE	1=1000 1=200	DATE	JULY 2024
DRAWN BY	AH	DRAWING NO	O' BRIEN FILE D3

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